The ASPIRE DADU

ASPIRE to Build Affordable Housing - A Structural Insulated Panel Kit Design

Close to Home Housing
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The ASPIRE DADU Project Description:

Close to Home has been working since 2013 on affordable housing solutions in response to various needs. Our initial passion arose from the desire to help with housing after natural disasters, specifically, in response to the tornados of 2011. Since then, we have seen homelessness explode within Seattle and the movement toward living with a smaller footprint has grown globally. Our ASPIRE, initially envisioned as a tiny house on wheels, is presented with a foundation and is applicable as both a small-footprint and low-cost DADU. Additionally, she is designed with green materials and design features throughout. Built with Structural Insulated Panels, the building project is as low impact as possible from the start and allows for homeowners to participate in a relatively quick build, under the guidance of a contractor. Because of her size, she can be positioned as desired on the lot to maximize both light and privacy.

How our ASPIRE DADU fulfills the Design Criteria:

Our work at Close to Home has had us inside many a tiny house, ADU, and DADU. We have worked hard to design a home that is: **beautiful, energy efficient, space efficient, sustainable, and yes, affordable**. In our initial work to put a DIY Kit together, we wanted to be sure that we had absolutely every component, and that meant we could check the sustainability of each material. We built a prototype (now our model home) in order to check the design and materials choices, and now understand the complete **cost of the materials** and how they perform during installation and beyond. We also worked to understand what projects could be accomplished by a homeowner interested in some DIY components.

Now as we read the criteria for Seattle's pre-approved DADUs, we believe that ASPIRE is an excellent fit for the **categories of both small-footprint and low-cost DADUs**. Although the 220 sq. ft. footprint sounds as if things might be tight, because of the high ceiling and careful interior design, people are always amazed at how spacious the interior feels. ASPIRE is an excellent solution for a small lot or a larger lot where a homeowner wants to maintain green space or space between the units – or where trees need to be avoided. Because we utilize SIPs construction, the building envelope goes up in just 2 days, with the windows and door being installed on day 3 of the build. That helps to keep costs lower with the opportunity then for the interior to be built out as the exterior is being weather-proofed and sided.

We feel strongly that our work to provide more affordable housing solutions has dovetailed at the right time with the work by the City of Seattle, and we believe that ASPIRE is an excellent match for one of your pre-approved DADU designs.

Thank you for your consideration.

Estimate of Construction Cost

CLOSE TO HOME

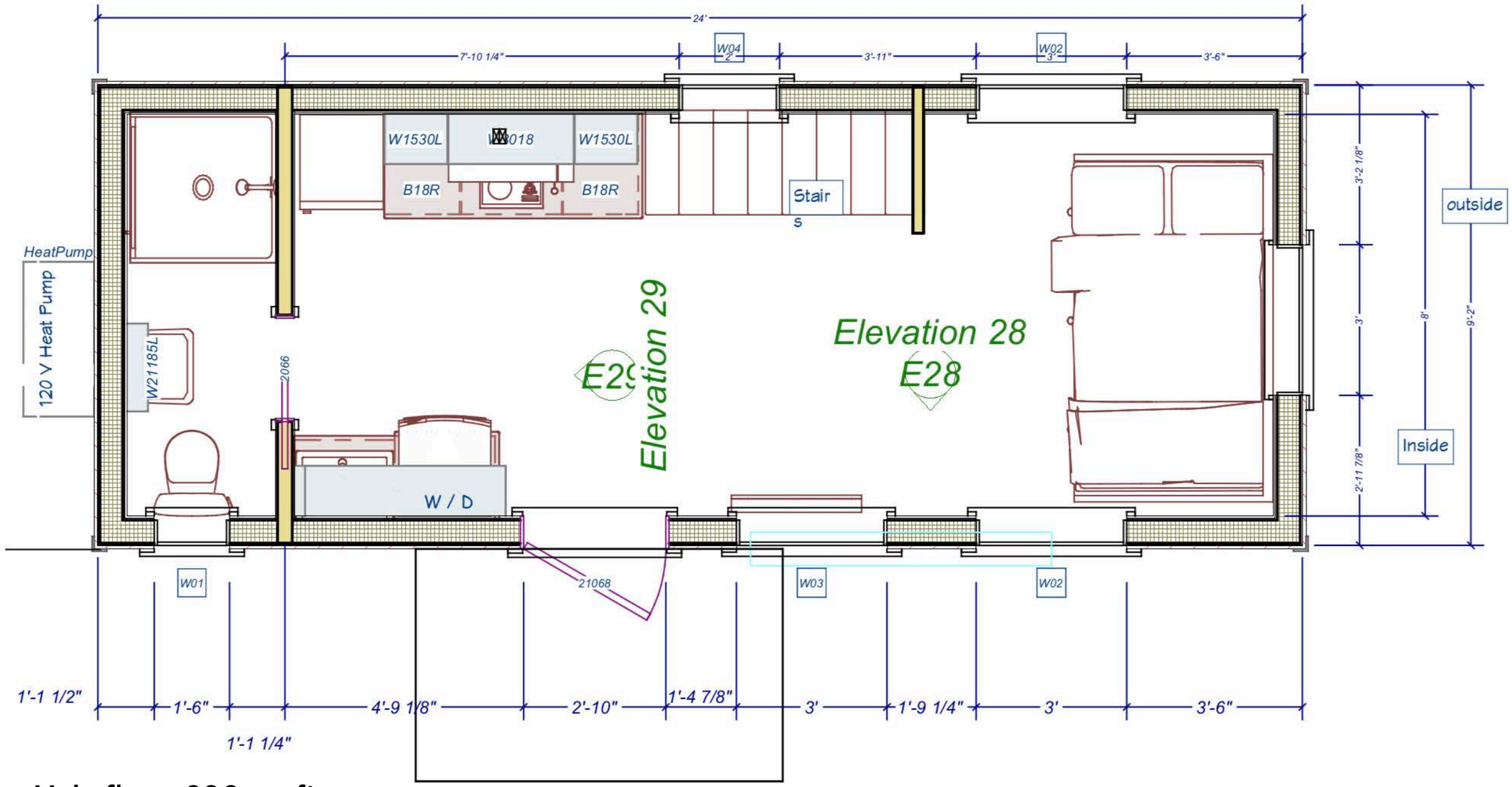
tiny living, big solutions

Description	# of Units	Cost per Unit	Total Cost
ASPIRE Tiny House on a Foundation*	1		$ 45,000
*Price includes everything in the ASPIRE Kit!			
Construction Estimate - Elliott Bay Builders - All Labor Except for Site Prep			$ 25,000
Subtotal			**$ 70,000**
Additional Estimated Costs			
Shipping (Estimated) SIPs - Frederickson, WA to Seattle (50 miles)			$ 150
Permitting Fees			$ 2,000
Site Work/Concrete Foundation Install			$ 5,000
Utilities			$ 1,000
		Estimated TOTAL for Project w/o Tax	**$ 78,150**

Elliott Bay Builders estimates building the first ASPIRE in a maximum of five weeks, bringing that timeline to three weeks in total construction time by the third ASPIRE home. This timeline assumes that the site work has been prepped with foundation ready to go.

Due to the limited and small scale of these homes it would be advantageous if we could remove the need for inspections during the "rough-in" phase. If we could have a Final inspection (Plumbing/Electrical/Building) supported by photos, that would greatly improve the pace of the project.

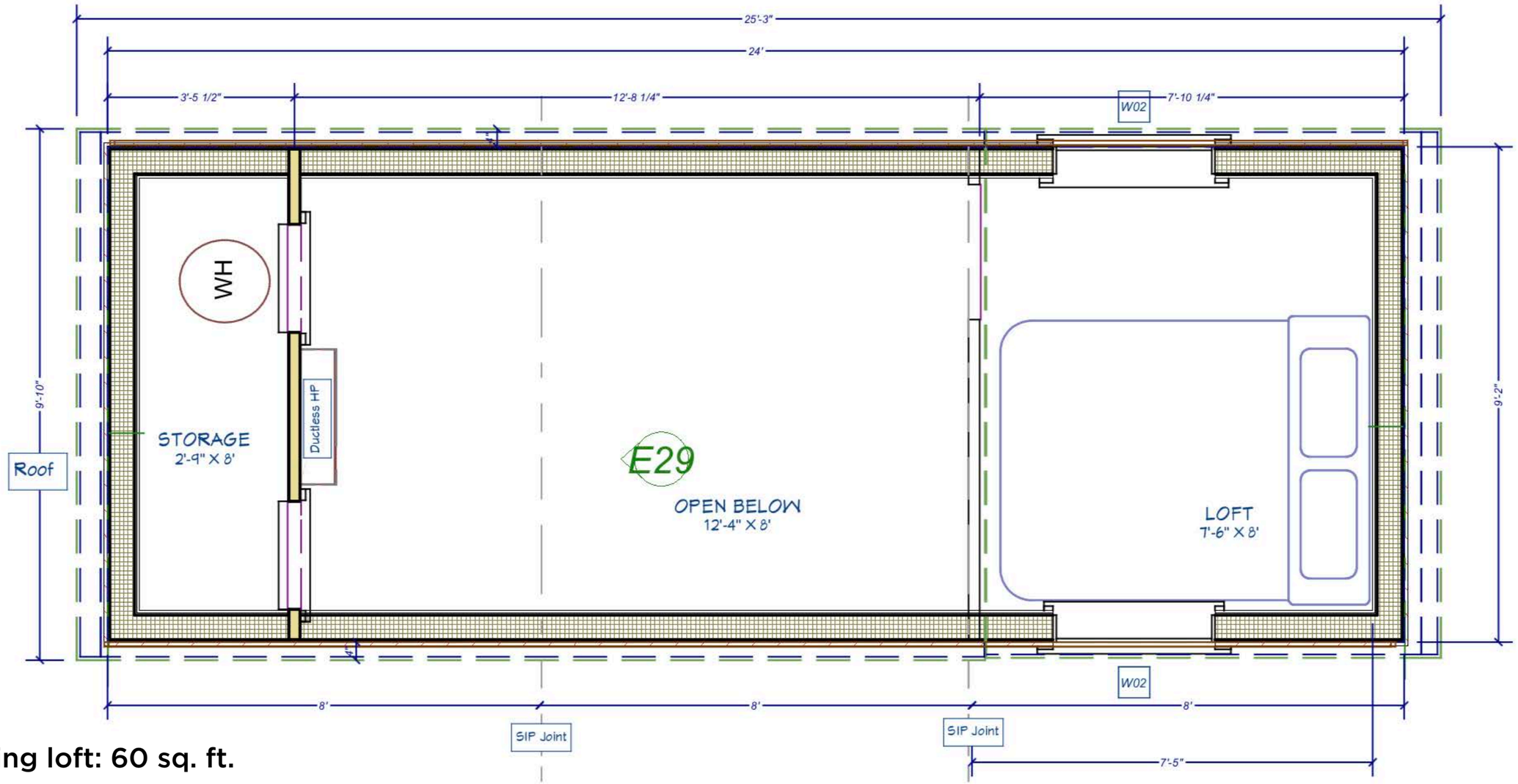
Main Floor Plan - 1/4" = 1-0'



Main floor: 200 sq. ft.

- Living/sleeping area
- Dining area & kitchen w/high ceilings
- Bathroom
- Closet & storage

Upper Floor Plan - 1/4″ = 1-0′



Sleeping loft: 60 sq. ft.

- Fits a queen sized bed and 2 small bedside tables
- Or 2 twin mattresses

Storage loft: 22 sq. ft.

- Water heater is situated here
- Ample “out of sight” storage area

PREMIER SIPS
STRUCTURAL INSULATED PANELS

INSULFOAM
A CARLISLE Company

MANUFACTURING/SALES

19727 57th AVE E.
PUYALLUP, WA 98375
OFFICE-800.275.7086
FAX-253.271.3265

1155 BUSINESS PARK DR.
DIXON, CA 95620
OFFICE-707.678.6900
FAX-707.678.2962

SALES

270 FLOSS FLAT SUITE A
BELGRADE, MONTANA 59714
OFFICE-406.388.5553
FAX-406.388.5557

NOTES:

Close to Home

GENERAL NOTES

1. PREMIER IS A MATERIAL SUPPLIER AND NOT A BUILDER. PROPER INSTALLATION OF OUR PRODUCT SHOULD BE DONE BY A QUALIFIED CONTRACTOR. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL APPLICABLE AND LOCAL CODES AND REGULATIONS.
2. SHOP DRAWINGS ARE PREMIER'S INTERPRETATION OF THE PLANS PROVIDED. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS AND VERIFY ALL DIMENSIONS WITH ARCHITECT. PANELS ARE FABRICATED PER THESE SHOP DRAWINGS. ANY DISCREPANCIES OR MISSING ITEMS IN THESE SHOPS SHOULD BE NOTED.
3. PREMIER SHOP DRAWINGS ARE TO BE USED IN CONJUNCTION WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS. IF ANYTHING IS NOT CLEAR OR THERE ARE QUESTIONS THEY SHOULD BE IMMEDIATELY DIRECTED TO THE ENGINEER OF RECORD.
4. CONTRACTOR SHOULD LOOK THROUGH THE PLANS CAREFULLY TO INSURE THAT ALL ASPECTS OF SIP PACKAGE CAN BE CONSTRUCTED THROUGH THEIR PREFERRED MEANS AND METHODS PRIOR TO SIGNING OFF ON THE SHOP DRAWINGS.
5. EXECUTION OF WORK FOR SIP PACKAGE MAY REQUIRE COORDINATION WITH OTHER TRADES (I.E. ELECTRICIAN, HVAC, WINDOW/DOOR MANUFACTURER, ETC...). THIS COORDINATION IS THE RESPONSIBILITY OF THE CONTRACTOR.
6. WHEN BUILT PROPERLY A SIP BUILDING PROVIDES A TIGHT ENVELOPE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE SIP STRUCTURE IS PROPERLY VENTILATED TO ENSURE PROPER AIR QUALITY AND HUMIDITY LEVELS.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT ALL SPLINES ARE PROPERLY SEATED INTO THE PANEL RECESSES AND COMPLETELY SEALED WITH MASTIC OR EXPANDING SPRAY FOAM, INCLUDING BUT NOT LIMITED TO SPLINE JOINTS, PENETRATIONS, LIFTING HOLES, ETC. VOIDS BETWEEN SPLINE JOINTS ARE NOT ACCEPTABLE IN A PROPER SIP INSTALLATION.
8. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE PROPER WEATHER BARRIER (I.E. HOUSE WRAPS, FLASHING, ROOF UNDERLAYMENT, ETC..) TO DRY IN THE BUILDING ENVELOPE.
9. SOME DIMENSIONS CAN NOT BE VERIFIED UNTIL CONSTRUCTED. THEREFORE PREMIER TAKES NO RESPONSIBILITY FOR FIELD FABRICATION. SOME FIELD FABRICATED AREAS MAY HAVE BEEN HIGHLIGHTED ON THE DRAWINGS BUT MAY NOT BE LIMITED TO ONLY THOSE AREAS.
10. YOU MAY EXPERIENCE DIMENSIONAL VARIANCES FROM THE CONSTRUCTION DRAWINGS AS PANELS ARE ASSEMBLED DUE TO GAPS AT PANEL JOINTS AND ADDITIONAL MISCELLANEOUS CONSTRUCTION VARIABLES SUCH AS FABRICATION TOLERANCES, LUMBER POST THICKNESS VARIANCES, ETC. FIELD CUTTING THE SIPS MAY BE REQUIRED TO ENSURE THAT THE TOTAL WALL OR ROOF ASSEMBLY IS PER THE CONSTRUCTION DRAWINGS. PREMIER WILL ADD GAPS AS INDICATED ON PANEL LAYOUTS BETWEEN PANEL JOINTS IN THE SHOP DRAWINGS (TYPICALLY 1/8" GAP).
11. IT IS THE BUILDERS RESPONSIBILITY TO DETERMINE ALL MATERIALS NECESSARY FOR PANEL INSTALLATION. THIS INCLUDES VERIFYING THAT THE MATERIALS PREMIER WILL BE PROVIDING ARE ADEQUATE FOR THE PROJECT AND SOURCE ANY ADDITIONAL MATERIALS REQUIRED FOR PANEL INSTALLATION THAT ARE NOT PROVIDED BY PREMIER.

REVIEWING PANEL LAYOUT DRAWINGS

TWO ROUNDS OF REVISIONS/EDITS ARE INCLUDED IN THE INITIAL PRE-PRODUCTION SERVICES PORTION OF THE PBS ESTIMATE. ADDITIONAL REVISIONS MAY INCUR ADDITIONAL FEES.

WHEN REVIEWING SHOP DRAWINGS, BEGIN BY CHECKING ALL OF THE OVERALL DIMENSIONS OF THE PROJECT. IF THE PROJECT HAS FLOOR PANELS, PLEASE CHECK POINT LOAD LOCATIONS FOR SOLID BLOCKING AND MAKE SURE ANY OPENINGS OR STEP DOWNS ARE CORRECT. AFTER THE FLOORS HAVE BEEN COMPLETELY CHECKED, MOVE TO THE WALLS. THE WALLS WILL BE SHOWN ON A KEYED FLOOR PLAN WITH WALL NUMBERS CALLED OUT AND AN ARROW POINTING THE VIEW DIRECTION OF EACH OF THE PANEL WALL LAYOUTS. THESE NUMBERS AND THEIR ORIENTATION WILL ALSO BE LOCATED BELOW EVERY PANELIZED WALL. OBSERVE THE LOCATION OF THE PANEL CORNER LAPS. SOME OF THE WALLS WILL BE SHORTER DUE TO CORNER LAPS AND TO THE PANEL THICKNESS. AFTER YOU HAVE MADE SURE ALL DIMENSIONS MATCH YOUR ARCHITECTURAL PLANS, MOVE TO THE WINDOWS AND DOORS. MAKE SURE THAT THE ROUGH OPENINGS FOR THE WINDOWS AND DOORS ARE THE CORRECT SIZE AND ARE LOCATED PROPERLY. IF THE ROOF FOR THE PROJECT IS ALSO PANELS, CHECK THE ROOF PITCH, RIDGE LOCATION, AND THE OVERHANGS AT THE EAVES AND GABLES. EVEN IF THE ROOF IS A SYSTEM OTHER THAN PANELS, GABLE WALL HEIGHTS MAY BE DEPENDENT ON HEEL HEIGHTS OR BE NOTCHED FOR LOOK OUT SUPPORTS. IF THERE ARE SKYLIGHTS, CHECK THE ROUGH OPENINGS FOR CORRECT SIZE AND LOCATION. PANEL DRAWINGS ARE TO BE REVIEWED BY OWNER/AGENT AND APPROVED BY OWNER, CONFIRMING ALL DIMENSIONS. OWNER IS RESPONSIBLE FOR VERIFYING ALL PANEL DRAWING DIMENSIONS TO ENSURE PROPER ASSEMBLY. CHECK CORRECT DIMENSIONS AND CLOUD CHANGED DIMENSIONS WITH AN APPROPRIATE ARROW REFERENCING THE DIRECTION OF CHANGE. UNCHECKED DIMENSIONS MAY RESULT IN FIELD FABRICATION.

WHEN YOU HAVE FINISHED VERIFYING THE SHOP DRAWINGS AND HAVE MADE ANY CHANGES/CORRECTIONS, COPY THOSE CHANGES TO THE SHOP DRAWINGS AND SEND BACK TO PREMIER FOR REVISIONS.

ANY AND ALL DISCREPANCIES RELATED TO PANELS ON SITE ARE THE RESPONSIBILITY OF OWNER UNLESS THERE IS A DIFFERENCE BETWEEN FABRICATED PANELS AND SIGNED SHOP DRAWINGS. PREMIER HOLDS FIRST RIGHT OF DECISION TO REPLACE, REPAIR OR PAY FOR REPAIR OF ALL PRODUCTS IN DISCREPANCY WITH FINAL SHOP DRAWINGS.

ENGINEERING DATA

WIND SPEED: XY MPH EXP.: XY SEISMIC: XY
FLOOR LOAD: ROOF LOAD:
LIVE LOAD: XY PSF LIVE LOAD: XY PSF
DEAD LOAD: XY PSF DEAD LOAD: XY PSF
TOTAL LOAD: XY PSF TOTAL LOAD: XY PSF

LIST OF DRAWINGS

1. TITLE SHEET, PROJECT INFO
2. FLOOR PLANS & SECTIONS
3. PANEL LAYOUTS
4. PBS DETAILS

PROJECT NAME

ARTISAN TINY HOUSE
CLOSE TO HOME
20170831-0006

SITE ADDRESS

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CONTACT INFORMATION

PATRICK SUGHRUE
ARTISAN TINY HOUSE
15206 NW 29TH COURT
VANCOUVER, WA 98685
360-576-6311

DRAWN BY:	ROD K	SEPTEMBER 05, 2017
CHECKED BY:		

REVISIONS:

#	DRAFTER	DATE	TYPE
1.			
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5.			

DELIVERY & STORAGE

IN ORDER TO KEEP YOUR FREIGHT COSTS TO A MINIMUM AND MAKE THE MOST EFFICIENT USE OF THE SPACE AVAILABLE ON A TRUCK, WE TYPICALLY DO NOT SHIP PANELS IN NUMERICAL SEQUENCE. BEAR IN MIND THAT ALL PANELS HAVE MARKINGS WHICH DO MAKE FOR A SMOOTH IDENTIFICATION PROCESS. HOWEVER, IF YOU DESIRE A SPECIAL LOADING PLAN, THAT REQUEST, AND LAYOUT, MUST BE MADE CONCURRENT WITH THE RETURN OF THE SIGNED SHOP DRAWINGS AND MAY BE SUBJECT TO AN ADDITIONAL FEE. PANELS ARE FABRICATED AT 4' & 8' WIDTHS AND UP TO 24' LENGTHS. 6' FORKS ARE REQUIRED FOR 8' WIDE PANELS (REFER TO THE CONTRACT OF SALE FOR MORE INFORMATION OR ASK PREMIER FOR A DELIVERY INFORMATION SHEET). ALL PANELS SHALL BE STORED IN A PROTECTED AREA AND SUPPORTED EVERY 4' TO PREVENT DEFORMATION AND CONTACT WITH THE GROUND. DO NOT USE A BLACK OR DARK COLORED TARP. PRIOR TO INSTALLATION, ALL PANELS SHALL BE COVERED TO PREVENT CONTACT WITH WATER ON ALL EXPOSED PANEL EDGES.

AS A SUPPLIER OF MATERIALS ONLY, PREMIER SIPS DOES NOT ASSUME RESPONSIBILITY FOR ERRORS IN DESIGN, ENGINEERING, OR DIMENSIONS. OWNER/AGENT (ARCHITECT, CONTRACTOR, AND/OR INSTALLER) SHALL VERIFY ALL DIMENSIONS AND SIZES, AND BY SIGNING THESE PLANS, THE OWNER TAKES FULL RESPONSIBILITY FOR THEIR ACCURACY.

LEGEND/ABBREVIATIONS

WALL 1 — PANEL WALL NUMBER: ARROW INDICATES PANEL WALL LAYOUT VIEW DIRECTION

R1 (8:12) — PANEL ROOF NUMBER: (X:12) INDICATES ROOF PITCH ARROW POINTS DOWNSLOPE

PANEL NUMBERING:
F1-03 FLOOR #1 - PANEL 3
W3-12 WALL #3 - PANEL 12*
R4-07 ROOF #4 - PANEL 7
*NOTE:
2ND AND 3RD LEVEL WALLS MAY BE LABELED AS "B" OR "C" RESPECTIVELY:
WB4-01 WALL #4 2ND LEVEL - PANEL 1

WINDOW IN PANEL WALL:
6'-10" 2'-8"x6' — HEADER HEIGHT: HEIGHT OF R.O. FROM TOP OF SUB-FLOOR
WINDOW R.O. (ROUGH OPENING): WIDTH x HEIGHT

SIP CROSS SECTION
STICK FRAME BY OTHERS
FIELD CUT
HOLDOWN — STRAP / HOLD DOWN
SPECIAL ELECTRICAL CHASES

A.B. - ANCHOR BOLTS
EXT. - EXTERIOR
H - HEADER
I.B. - INSUL-BEAM
INT. - INTERIOR
O.C. - ON CENTER
PLAT. - PLATINUM (GPS FOAM)
R.O. - ROUGH OPENING- NOT UNIT SIZE
SIM. - SIMILAR
S.F.B.O - STICK FRAME BY OTHERS
TRIM. - TRIMMER
TYP. - TYPICAL
U.N.O. - UNLESS NOTED OTHERWISE
ZB - ZINC BORATE TREATED OSB
LP. - LONG POINT: TOP SKIN LONGER THAN BOTTOM SKIN
SP. - SHORT POINT: TOP SKIN SHORTER THAN BOTTOM SKIN

PREMIER PANEL IDENTIFICATION
A=7/16" OSB B=3/4" OSB C=5/8" OSB
D=SPECIAL SKIN
EXAMPLE- A 3.50 C
7/16" OSB TOP SKIN
3 1/2" EPS
5/8" OSB BOTTOM SKIN

THIS PROJECT UTILIZES THE FOLLOWING PANEL TYPES
PREMIER FLOOR TYPE PLAT - A3.50A
PREMIER WALL TYPE PLAT - A3.50A
PREMIER ROOF TYPE PLAT - A3.50A

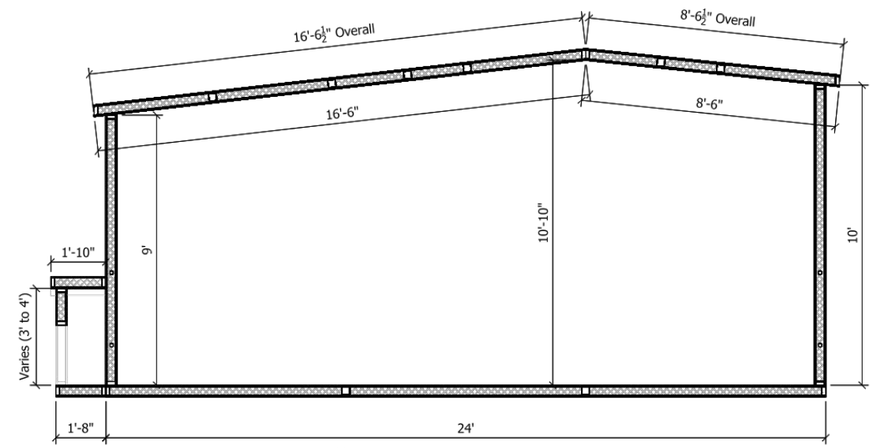
THESE PLANS PRINTED ON 100% RECYCLED PAPER

SIGN HERE PLEASE

CUSTOMER'S SIGNATURE DATE

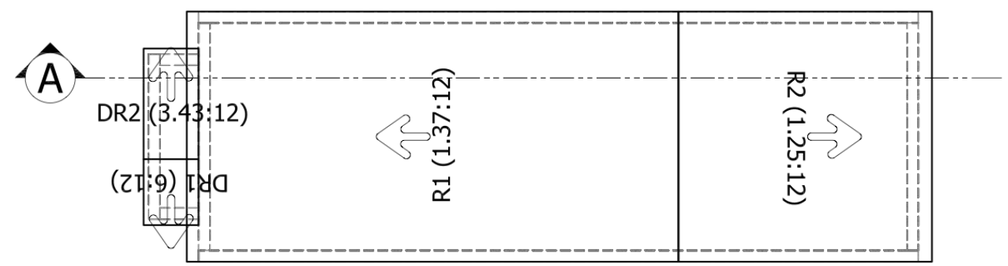
CUSTOMER'S REQUESTED DATE OF DELIVERY

- ☐ REVISE & RESUBMIT
- ☐ APPROVED WITH REVISIONS AS NOTED IN RED
- ☐ APPROVED AS DRAWN



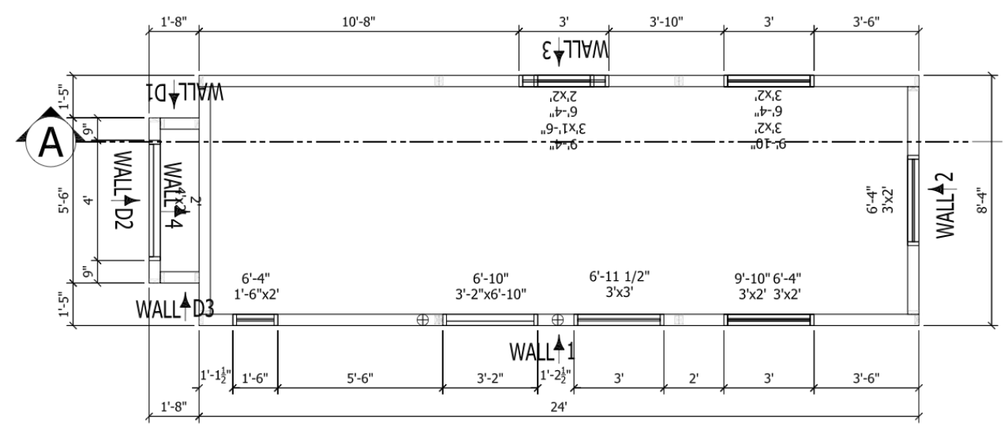
Section A

4 1/2" Panels 1/2" = 1'-0"



Panel Roof Plan

4 1/2" Panels 1/2" = 1'-0"



Main Level Panel Wall Plan

4 1/2" Panels 1/2" = 1'-0"

NOTES:
1. ALL ENGINEERING PROVIDED BY OTHERS.
2. ALL OVERHANG DIMENSIONS ARE TO TOP SKIN OF SIP ROOF PANEL. U.N.O.
3. ROUGH OR SMOOTH OSB DOES NOT DENOTE TOP OR BOTTOM OF SIP. REFER TO PANEL LAYOUTS FOR PANEL ORIENTATION.
4. ALL IN-PLANE, PANEL-TO-PANEL JOINTS PBS-005 U.N.O
5. STANDARD DETAILS PROVIDED FOR TYPICAL INSTALLATION METHODS. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR JOB SPECIFIC CONNECTION DETAILS.
6. BEAM POCKETS TO BE FIELD CUT FOR PROPER ELEVATION AND SIZE.
7. FACTORY INSTALLED LUMBER (IF REQUESTED BY CUSTOMER) WILL BE HIGHLIGHTED IN RED IN THE SIP PANEL LAYOUTS.
8. STANDARD WALL ELECTRICAL CHASES INCLUDED BY DEFAULT. NO ELECTRICAL CHASES IN SIP ROOF PANELS U.N.O.

PREMIER SIPS
STRUCTURAL INSULATED PANELS
A Company

19727 57th Ave
Puyallup, Wa 98375
800-275-7086

270 Floss Flat, Suite A
Belgrade, MT 59714
406-388-5553

REVISIONS:

#	DESCRIPTION	DATE	TIME
1			
2			
3			
4			
5			

CUSTOMER APPROVAL:

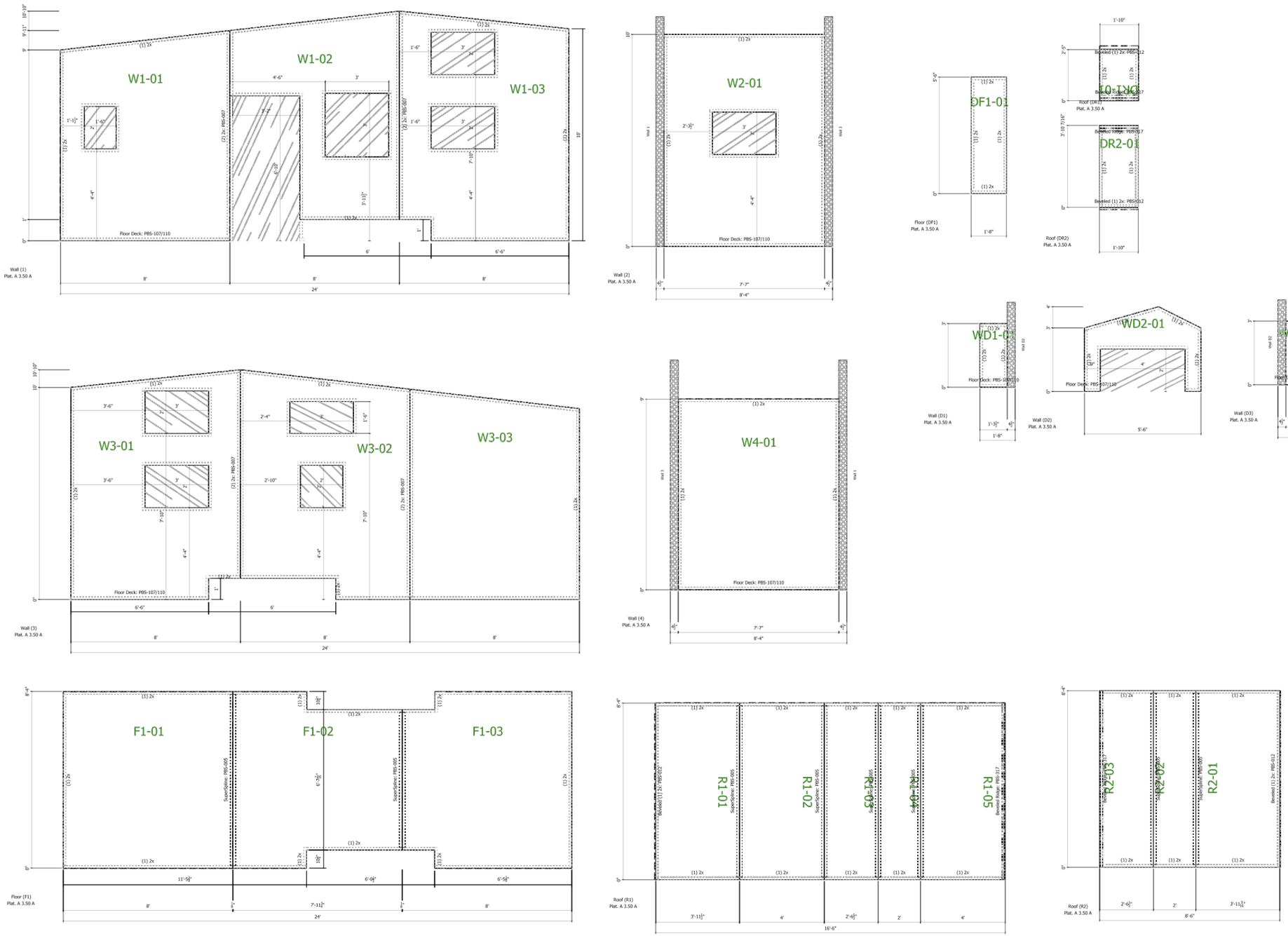
AS A SUPPLIER OF MATERIALS, PREMIER BUILDING SYSTEMS DOES NOT ASSUME RESPONSIBILITY FOR ARCHITECTURAL, STRUCTURAL, ENGINEERING, OR DIMENSIONAL. OWNER/AGENT/ARCHITECT, CONTRACTOR, OR ENGINEER MUST VERIFY ALL ASPECTS OF DIMENSIONS AND SIZES AND BY SIGNING THESE PLANS, THE OWNER/AGENT HAS FULL RESPONSIBILITY FOR THEIR ACCURACY.

SIGNATURE DATE

PROJECT INFORMATION:

Close to Home
Artisan Tiny House
20170831-0006

DRAWN:	BK
CHECKED:	
DATE:	9-05-17
SCALE:	VARIES
SHEET NO.	2 OF 4



Panel Layouts
4 1/2" Panels 1/2" = 1'-0"

PREMIER SIPS
STRUCTURAL INSULATED PANELS
BY A Company

19727 57th Ave
Puyallup, Wa 98375
800-275-7086

270 Floss Flat, Suite A
Belgrade, MT 59714
406-388-5553

REVISIONS:

#	DRAFTER	DATE	TYPE
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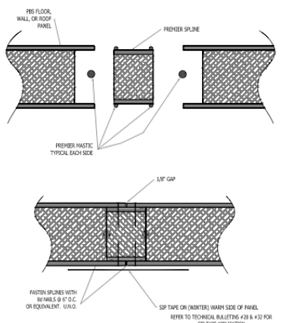
SIGNATURE DATE

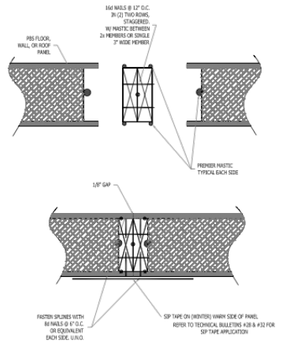
PROJECT INFORMATION:

Close to Home
Artisan Tiny House
20170831-0006

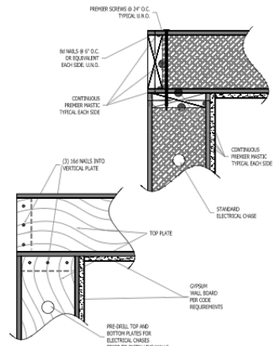
DRAWN:	RK
CHECKED:	
DATE:	9-05-17
SCALE:	VARIES
SHEET NO.	3 OF 4



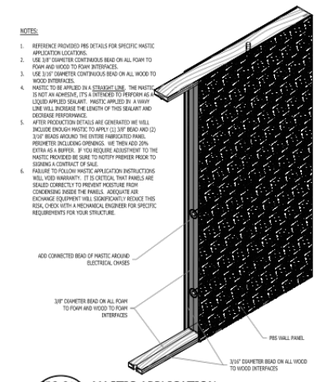
PBS-005 PREMIER SPLINE CONNECTION 11-9-10
PREMIER BUILDING SYSTEMS



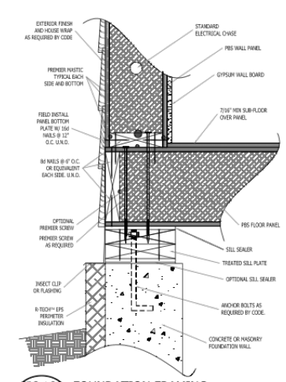
PBS-007 DOUBLE 2x LUMBER CONNECTION 11-9-10
PREMIER BUILDING SYSTEMS



PBS-011 WALL PANEL CORNER CONNECTION 8-16-07
PREMIER BUILDING SYSTEMS

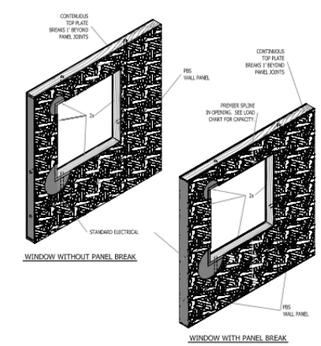


PBS-014 MASTIC APPLICATION
PREMIER BUILDING SYSTEMS

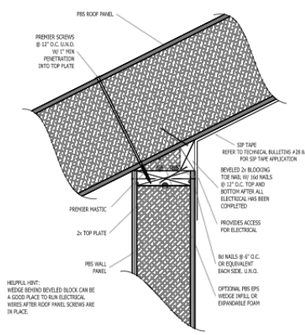


PBS-106 FOUNDATION FRAMING 8-16-07
PREMIER BUILDING SYSTEMS

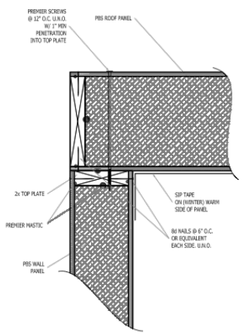
SEE PREMIER DESIGN MANUAL FOR HEADER CHART FOR CAPACITIES



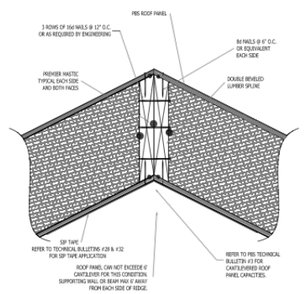
PBS-202 PANEL AS HEADER 8-17-07
PREMIER BUILDING SYSTEMS



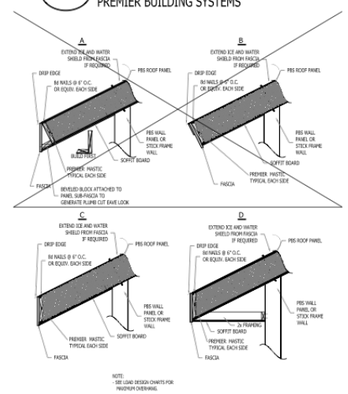
PBS-301 BEVELED BLOCK PANEL WALL/ROOF 11-9-10
PREMIER BUILDING SYSTEMS



PBS-301A GABLE PANEL WALL/ROOF - NO OVERHANG
PREMIER BUILDING SYSTEMS



PBS-313 CANTILEVERED RIDGE WITH BLOCKING 11-9-10
PREMIER BUILDING SYSTEMS



PBS-312 EAVE DETAILS 8-20-07
PREMIER BUILDING SYSTEMS

PREMIER SIPS
STRUCTURAL INSULATED PANELS
A Company

19727 57th Ave
Puyallup, Wa 98375
800-275-7086

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Belgrade, MT 59714
406-388-5553

REVISIONS:			
#	CHAPTER	DATE	TYPE
1			
2			
3			
4			
5			

PRELIMINARY NOT FOR CONSTRUCTION

CUSTOMER APPROVAL:

AS A SUPPLIER OF MATERIALS, PREMIER BUILDING SYSTEMS DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF DESIGN, ENGINEERING, OR DIMENSIONS. OWNER/AGENT (ARCHITECT, ENGINEER, OR CONTRACTOR) IS RESPONSIBLE FOR ALL DIMENSIONS AND SIZES AND BY SIGNING THESE PLANS, THE OWNER TAKES FULL RESPONSIBILITY FOR THESE ACCURACY.

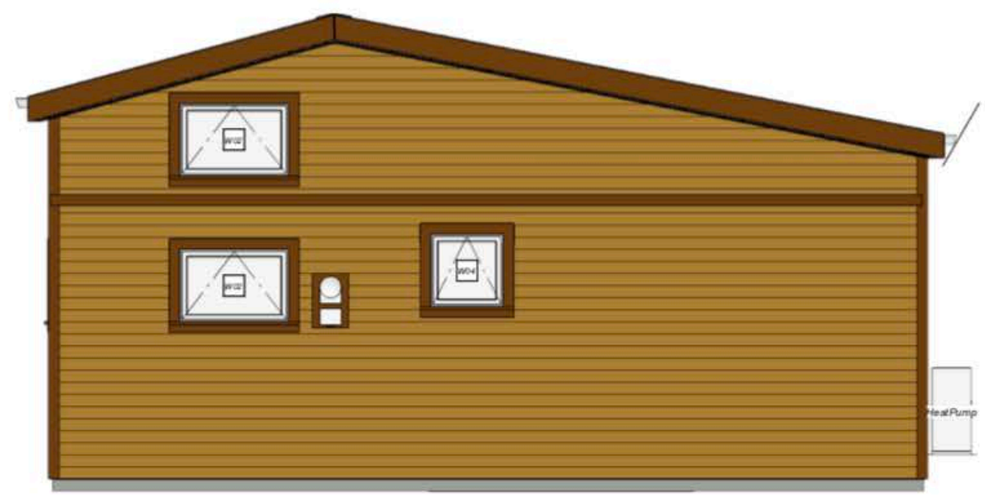
SIGNATURE DATE

PROJECT INFORMATION:

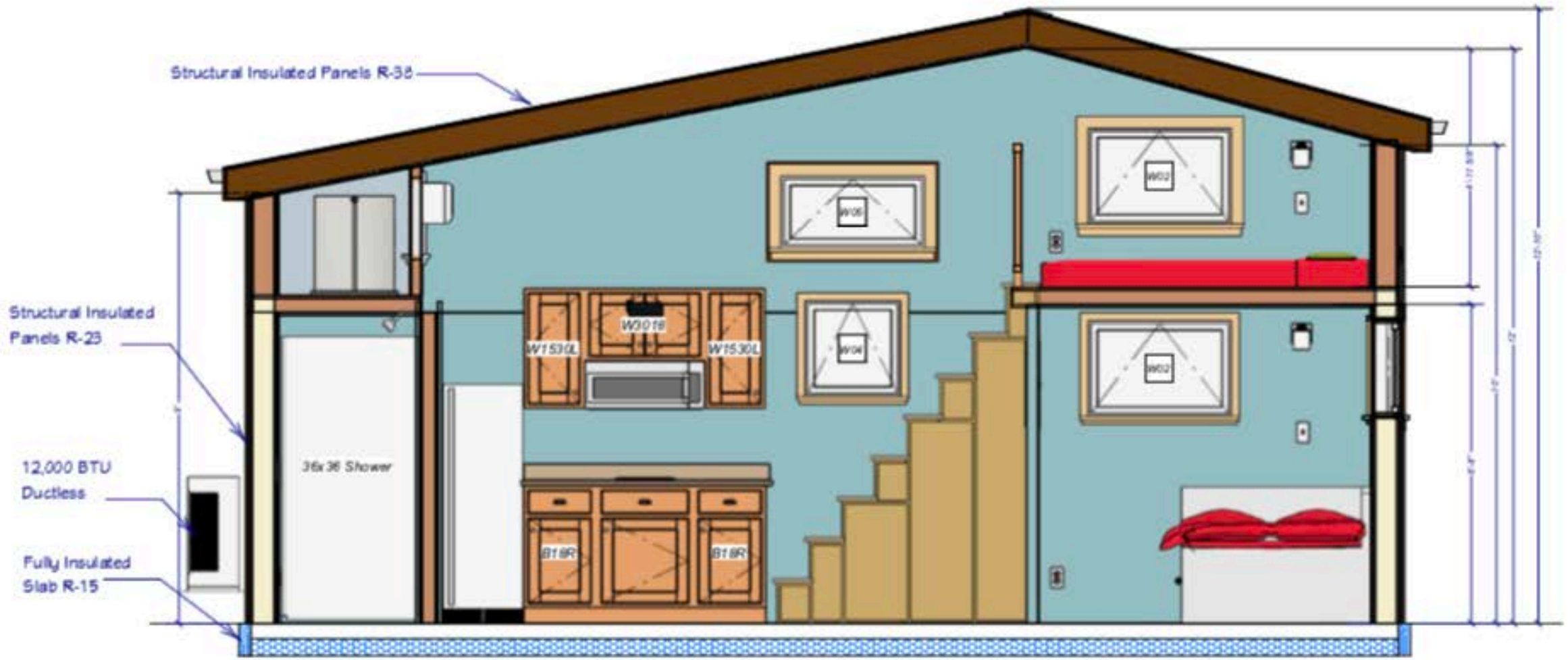
Close to Home
Artisan Tiny House
20170831-0006

DRAWN:	RK
CHECKED:	
DATE:	9-05-17
SCALE:	VARIES
SHEET NO.	4 OF 4

Elevations

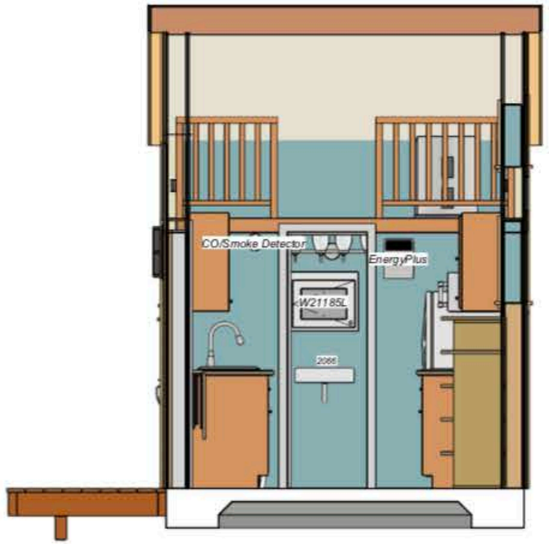


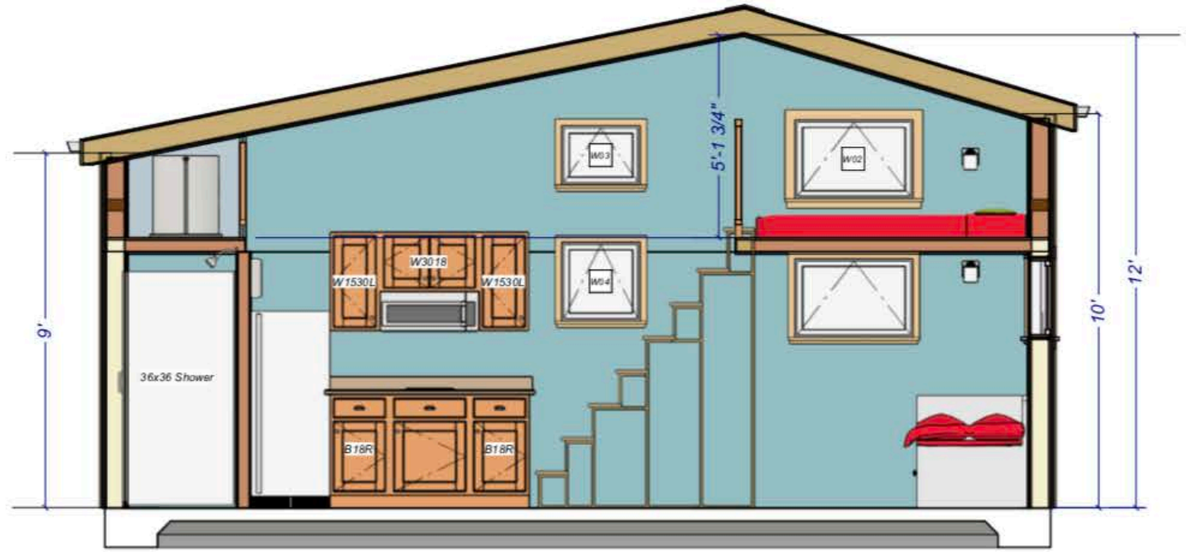
1/4" = 1-0'



SECTION A-A

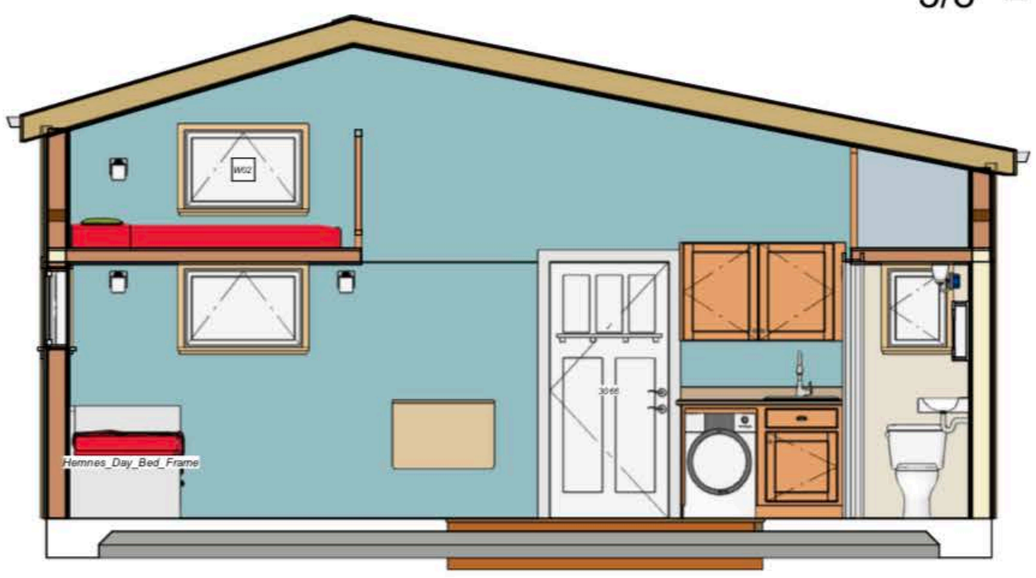
1/4" = 1-0'

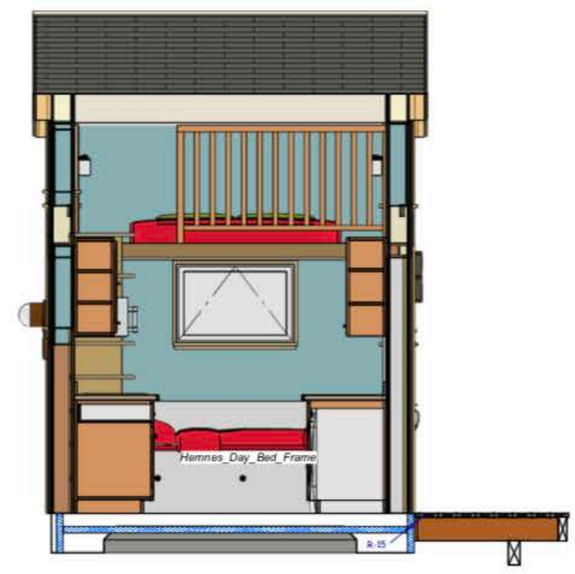




SECTION A-A

3/8" = 1-0'

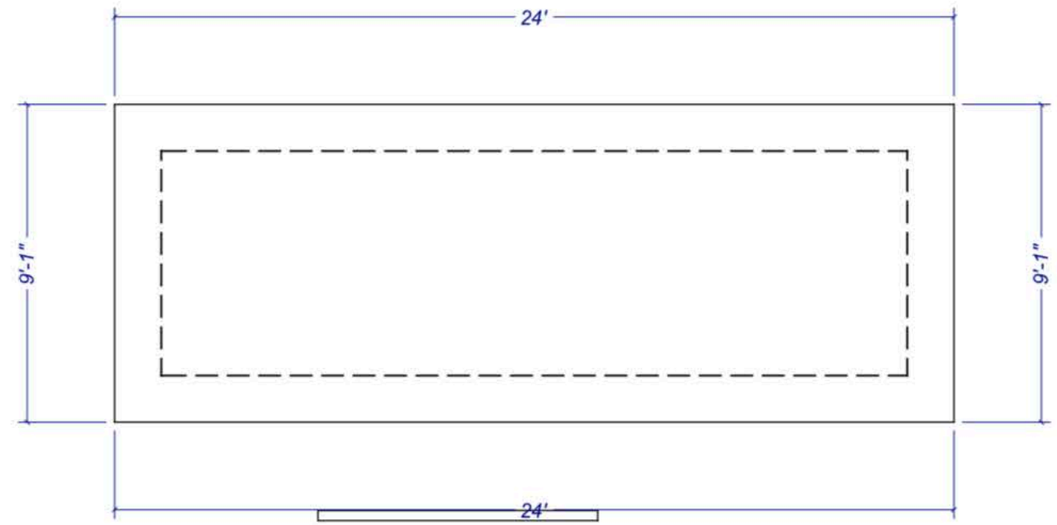


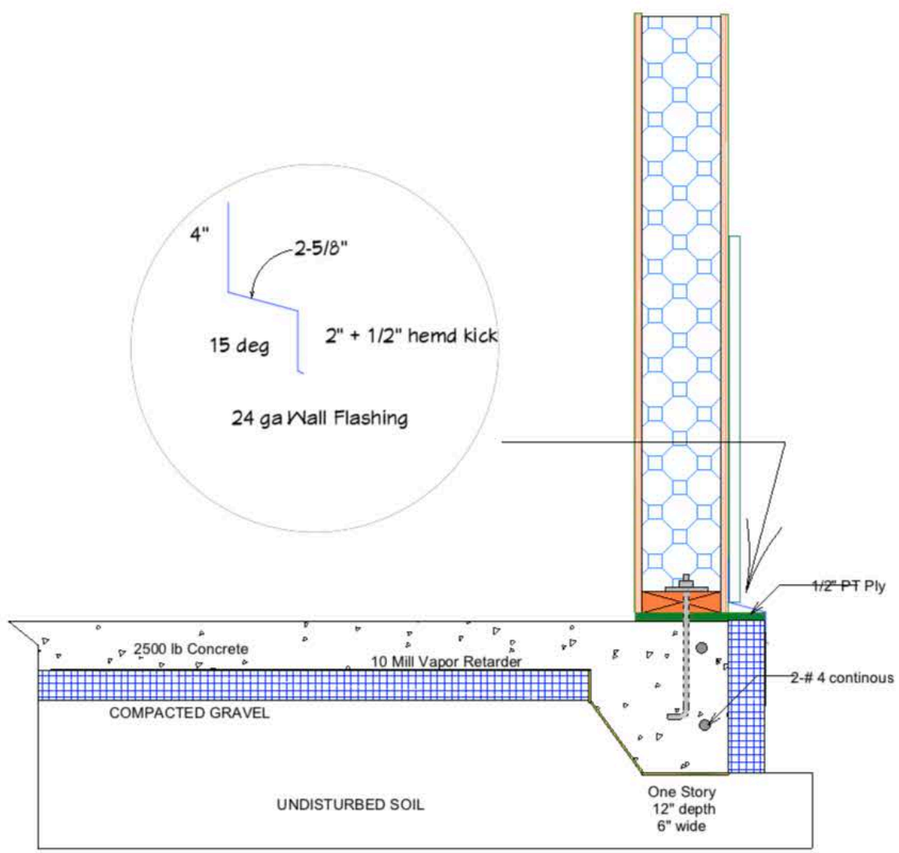


SECTION B-B

1/4" = 1-0'

Footprint & Foundation





Foundation Anchorage in Seismic C,D1
1/2" Bolts min, 7" Embeded W/3x3x.229 Washer
Spaced 12" from ends 6' OC

- Build to SEATTLE IRC 2018
- Slab Perimeter and under R-15 min
- Walls 6" SIP R-23
- Roof 8" SIP R-38
- Use Appendix Q

PRODUCT DETAILS - Major Materials

ASPIRE SPECIFICATIONS:

- Dimensions: 9’W x 24’L x 12’ H (at peak)
- Interior: 216 sq ft with additional 60 sq ft sleeping loft & 22 sq ft storage loft

FACILITIES & FEATURES:

Bathroom with:

- Delta Surround shower stall
- Duravit sink and American Standard dual flush toilet
- Moen showerhead and faucet
- Panasonic Whispersense exhaust fan

Kitchen with:

- Kohler sink with Moen faucet
- 10 cu ft Frigidaire refrigerator
- True Induction 2 burner inset cooktop
- Kohler sink with Moen faucet
- Magic Chef microwave
- Magic Chef washer/dryer combo
- Formica Countertops (installed with “green” water-base application)
- Hampton Bay Cabinetry

Living area with:

- IKEA Daybed – pulls out to make a “Short King” for main floor sleeping quarters (mattresses included)
- IKEA wall-mounted drop-leaf table
- 2 IKEA bar stools for table
- Wall sconces
- Open shelving under stairs

PRODUCT DETAILS - Major Materials - Continued

Loft sleeping area with:

- Queen-sized mattress (included)
- Wall sconces

Storage areas:

- Under the stairs
- in 22 sq ft loft (water heater & bathroom fan located here)

Flooring:

- Kitchen – Forbo Marmoleum Click Cinch Loc Linoleum Flooring
- Bathroom – Forbo Marmoleum Sheet

Siding:

- Selkirk Knotty Western Red Cedar Channel Siding

Windows:

- Andersen® Fibrex® Energy Star double pane windows

Exterior Features:

- Exterior lighting (by front door)

PLUMBING, ELECTRICAL & MECHANICAL SYSTEM OVERVIEW:

- 20 gallon Rheem water heater
- Ductless mini-split system for heating/cooling
- 100 amp electrical panel
- Electrical outlets w/USB chargers
- LED lighting

SIPs (Structural Insulated Panels) PACKAGE MATERIALS includes:

- SIPs: 8’w x 12’h x 6”d panel of insulating foam core sandwiched between oriented strand board (OSB)
- R-values: Walls = R23, Roof = R38, Floor (no SIPs/Concrete Slab) = R15
- Window and door cut-outs
- Corner lumber installed
- Bevel cut lumber for wall or roof rakes
- SIPS assembly accessory package – which includes:
    - Bolts and straps
    - Mastic
    - Spray foam
    - Loose lumber

CONSTRUCTION MATERIALS & GREEN IMPACT:

SIPs are considered a sustainable (green) building product because they:

Save Energy, Save Resources, Improve Indoor Air Quality

Andersen® Fibrex® Energy Star double pane windows

Fibrex is 2x stronger than vinyl and is composed of 40% reclaimed wood fiber by weight, most of which is reclaimed from the manufacturing of Anderson® windows.

Behr Premium Plus Zero VOC interior paint and exterior stain

BEHR PREMIUM PLUS® offers exceptional durability and hide with a finish that resists mildew and stains. In addition, you'll enjoy the benefits of a low odor and zero VOC paint. PREMIUM PLUS is highly ranked by independent 3rd party labs and meets LEED and GREENGUARD® GOLD requirements.

Selkirk Western Red Cedar Siding (Sourced from Home Depot)

Cedar is sourced from Selkirk's Sustainably Managed Forests in British Columbia, Canada

Formica Countertops installed with Water-Based Adhesive

Formica® Laminate products are GREENGUARD Indoor Air Quality Certified® by the GREENGUARD Environmental Institute under the GREENGUARD Standard for Low-Emitting Products, including the requirements for Children & Schools.

Marmoleum Flooring – Living Room/Kitchen

Marmoleum Click Cinch Loc Linoleum Laminate Flooring is produced of natural linoleum on water-resistant HDF with a cork backing for a warm, comfortable, quiet flooring solution. Marmoleum Click Cinch Loc is made primarily from renewable resources, including linseed oil, pine rosin and wood floor. These natural ingredients provide Marmoleum Click Cinch Loc with naturally occurring antistatic and antimicrobial properties that repel dust and dirt, making it easy to clean and reducing exposure to allergens, while inhibiting the breeding of harmful organisms. Marmoleum Click Cinch Loc fits into place using a secure Valinge 5G locking system for a glue-free installation.

CONSTRUCTION MATERIALS & GREEN IMPACT Continued:

SIPs are considered a sustainable (green) building product because they:

Save Energy, Save Resources, Improve Indoor Air Quality

Marmoleum Flooring – Bathroom

Forbo Marmoleum is the most sustainable flooring choice and combines its natural character with stunning floor designs, excellent durability and easy cleaning & maintenance. Marmoleum, Forbo's brand of linoleum, is made from 97% natural raw materials and contains 43% recycled content. It contains no phthalates, no plasticisers and no mineral oil. The key raw materials used in the Marmoleum production include linseed oil, wood flour and jute. Marmoleum flooring is very suitable for people with asthmatic allergies and similar disorders. It is anti-static (which is why it's so easy to keep dust-free), and its proven bacteriostatic properties inhibit micro-organisms.

Panasonic WhisperSense Motion Sensing Bath Fan

Ultra quiet & energy efficient – Energy Star rated and certified by the Home Ventilation Institute (HVI) This fan can be used to comply with ASHRAE 62.2, LEED, Energy Star IAP, CALGreen, EarthCraft, California Title 24 and Washington Ventilation Code.

Lighting

Energy Star rated LED lighting in kitchen & bath plus LED compatible light fixtures in loft & living room

Columbia Forest Products Brand PureBond Hickory Plywood Project Panels (used for stairs, storage, loft flooring/LR ceiling)

An affordable alternative to formaldehyde-laden plywood and features a soy-based PureBond technology that won't subject interior environs to toxic fumes over time. Decorative veneers on both sides of the 3/4 in. x 2 ft. x 8 ft. panel display authentic wood grains that make work pieces come to life. The 7-ply sheet is constructed with 100% wood, featuring a yellow poplar substrate that's assembled with alternating cross bands for utmost strength, rigidity and flatness. Water-resistance allows it to tolerate moisture better than UF-constructed plywood and the multilayered assembly makes it less likely to warp than solid wood.

Moen Bathroom Faucet & Showerhead

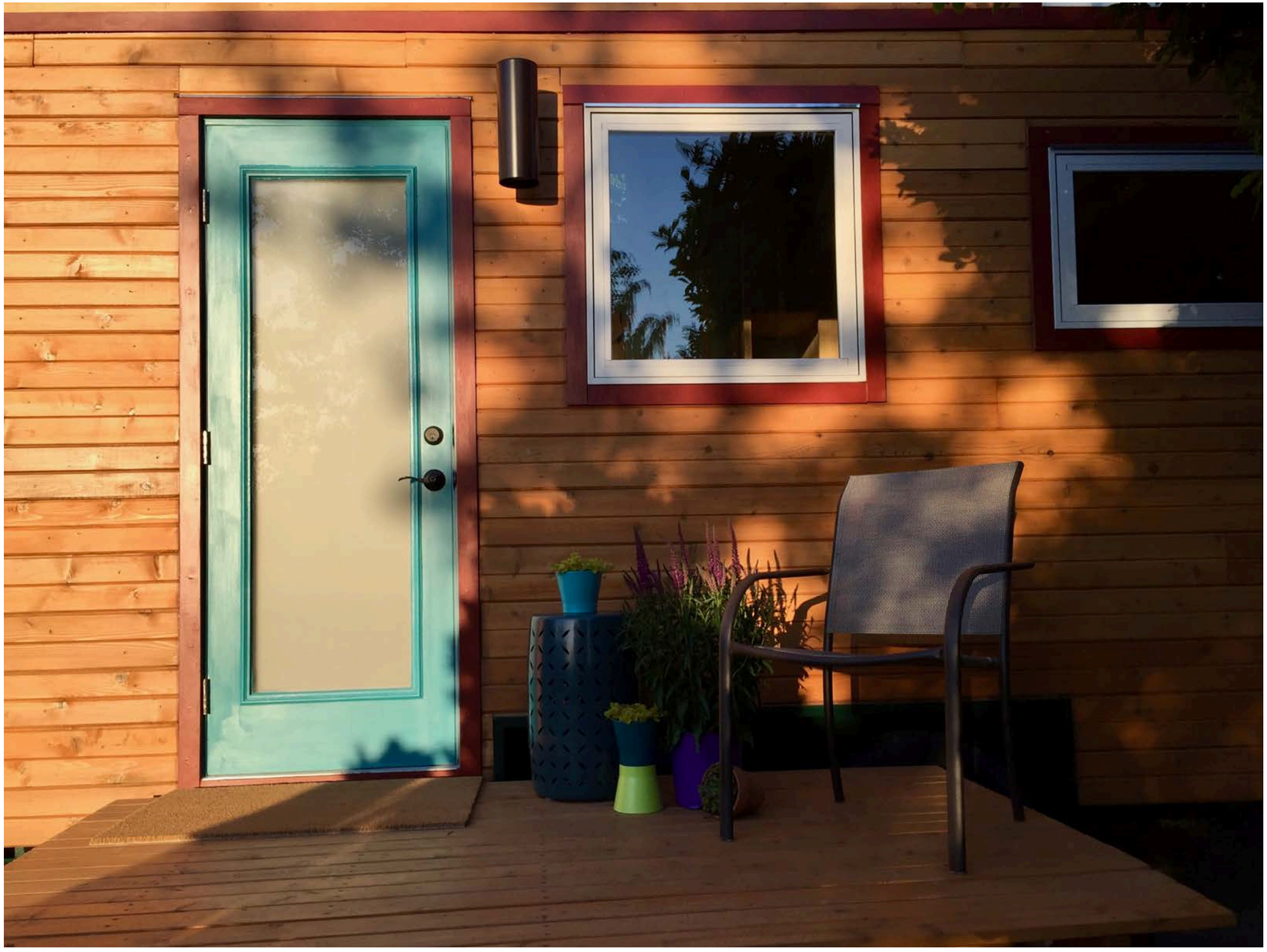
Bathroom Faucet Meets EPA WaterSense criteria to conserve water without sacrificing performance & the showerhead is EPA WaterSense certified for eco-friendly performance.

American Standard H2Option Dual Flush Toilet

High efficiency, low consumption, and EPA WaterSense certified.

ASPIRE is:

Affordable, Beautiful, Energy Efficient, Space Efficient & Sustainable



ASPIRE LIVING/DINING ROOM

Furnished with a day bed that pulls out to a short King-sized bed with two storage drawers underneath and a table that folds down when not needed

ASPIRE LOFT

Loft Features

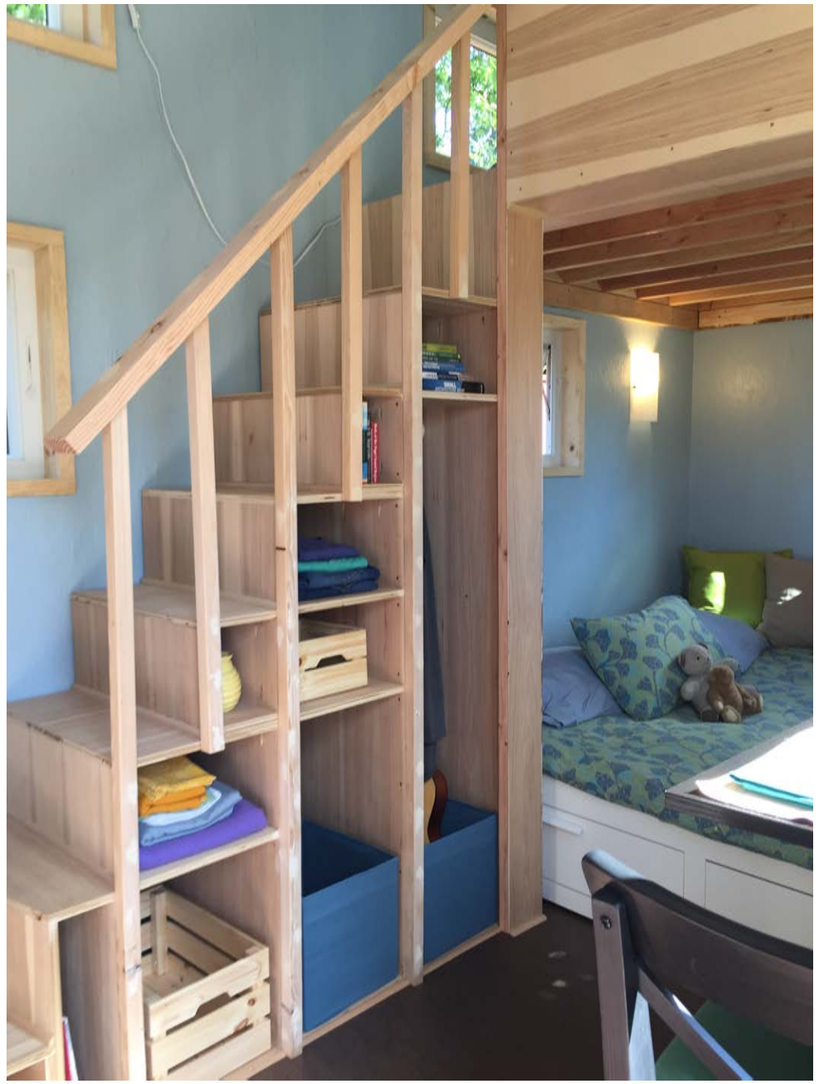
- Fits two twin mattresses or a queen mattress.
- Lights turn on/off at the source for ease
- Outlets are USB capable.
- Two windows for lots of natural light
- We have increased the height of the loft for the “ground bound” version of the design - more ceiling height in the loft will be a good thing!

ASPIRE KITCHEN

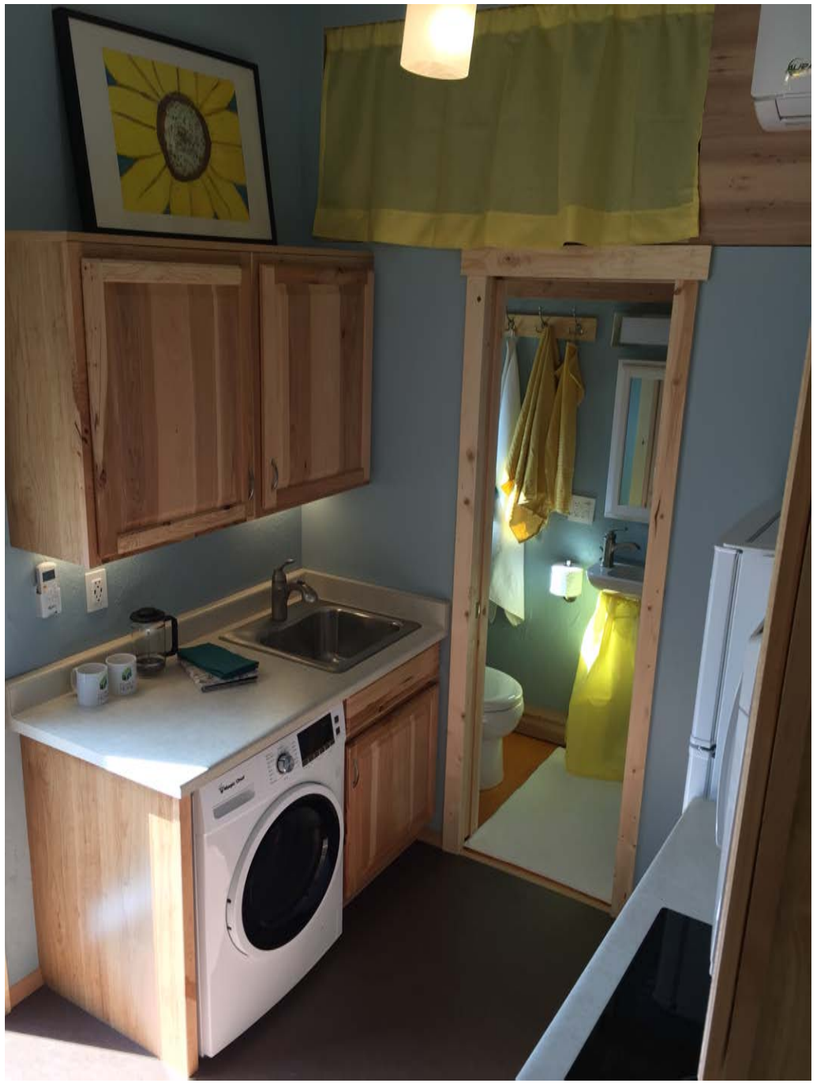
ASPIRE's airy kitchen with its high ceiling is full of the things that make cooking fun and easy whether for a single person or more.

- Standard sized counters and cabinetry
- 10 cu ft refrigerator
- 2 burner stove top
- Microwave

SPACE EFFICIENT FUNCTIONALITY



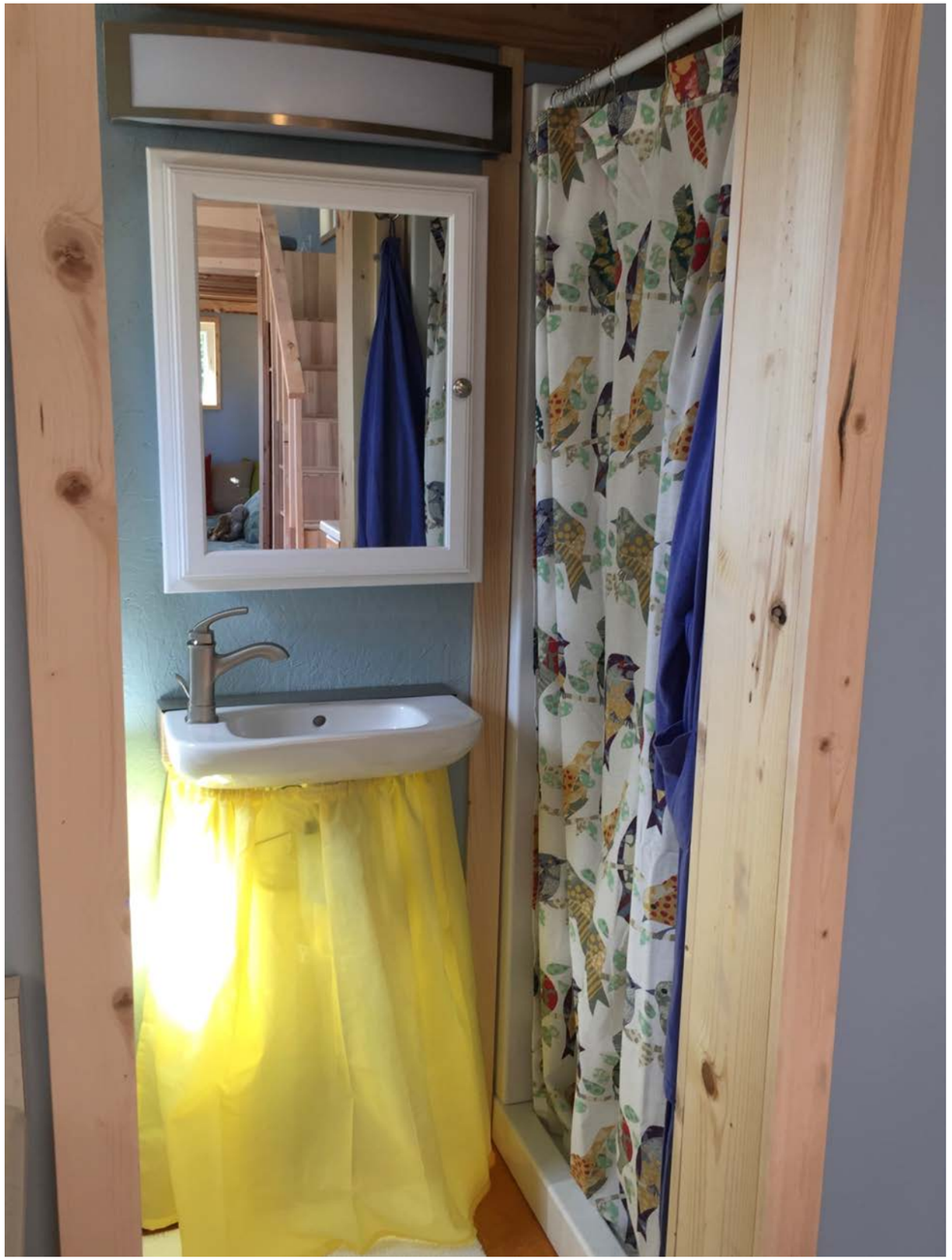
Hanging clothes closet and ample storage space under the stairs



Easy to use storage space in the utility loft and generous storage in the kitchen cabinetry and on top of cabinets.

ASPIRE BATHROOM

Designed with all the standard amenities: shower, dual flush toilet, sink, medicine cabinet, lighting, toilet paper holder, and plenty of towel hooks



ASPIRE: A BEAUTIFUL BACKYARD ADDITION

Day or Night, ASPIRE is a beautiful addition to a backyard and neighborhood! So many people would appreciate the opportunity to call an ASPIRE their home!

PLANS & COST for CUSTOMIZATION

The ASPIRE Plans can be purchased for $1000.

Artisan Tiny House is available for ASPIRE plan customization at a rate of $100/hour.

ASPIRE can be purchased as an all-inclusive Kit (all materials, appliances & furniture) for $45,000.

Yes! In My Backyard!