

SDNW ADU ENTRY 1 - MARY'S COTTAGE - SMALL FOOTPRINT

PROJECT SUBMITTED BY
S.A.G.E. DESIGNS NW ARCHITECTURE STUDIO INC
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206.963.1420

PROJECT DESCRIPTION

This is a Small Cottage with a loft. The footprint of the dwelling space is 16' x 20' with a 9' x 16' loft. There is an attached 12' x 21' garage that was existing which was included in the project and remodeled to match the new aesthetics. This could be excluded in future iterations of this design.

NARRATIVE

This project was designed for a single working mom to have a rentable space on her property. Design consideration was also given for the possibility of the client to move in to this cottage and rent out the "big house". Each design decision was evaluated on optimizing every possible foot of space and the possibility of multi-functional uses. The sleeping space is bare minimum yet comfortable. The vaulted ceiling combined with many windows contributes to making the space feel comfortable and generous.

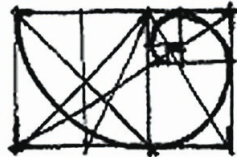
Please note that some construction documents have been included to fulfill the submittal requirements such as building sections, construction assembly notes (materials) and room dimensions.

MAJOR MATERIALS & METHODS

Advanced framing - saves lumber and increases insulation;
Hardi siding, Plywood sheathing (not OSB), 5/8" GWB,
hardwood & tile (or marmoleum) flooring; Non-vented roof
assembly including a combination of spray foam & batts. See
Typical Construction Assembly Notes on Section Drawing for
additional information.

ESTIMATED CONSTRUCTION COST
\$150,000.00 COMPLETED IN LATE 2019

MECHANICAL SYSTEMS INCLUDE
PANASONIC WHISPER GREEN WHOLE HOUSE FAN
RADIANT HEAT IN CONCRETE FLOOR (GROUND LEVEL)
WALL MOUNTED RADIATOR (IN LOFT)
PROVIDED BY HEAT PUMP WATER HEATER WHICH ALSO
HEATS THE DOMESTIC HOT WATER



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Green Environments*

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client
city of seattle

date
2.15.2020

phase
adu entry



DADU 2020



SAVVY & ARTFUL

SDNW ADU ENTRY 1 - MARY'S COTTAGE - SMALL FOOTPRINT

CEILING FANS

PRICE FOR THE PLAN

\$1000.00

\$150.00/HR FOR ANY FURTHER WORK

ABOUT SAGE

I consider myself a master space planner and especially a master of small spaces. In every design I strive to make every square foot count if not every square inch. Privacy within the home as well as from outside as well as how the sun comes in to the building are also key components of every project. Sustainable materials and construction methods have been instrumental in my architecture practice for over 20 years. Thank you for considering my Entry in to the ADU Stock Plan Challenge.

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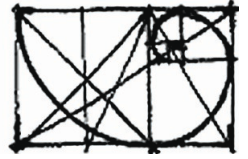
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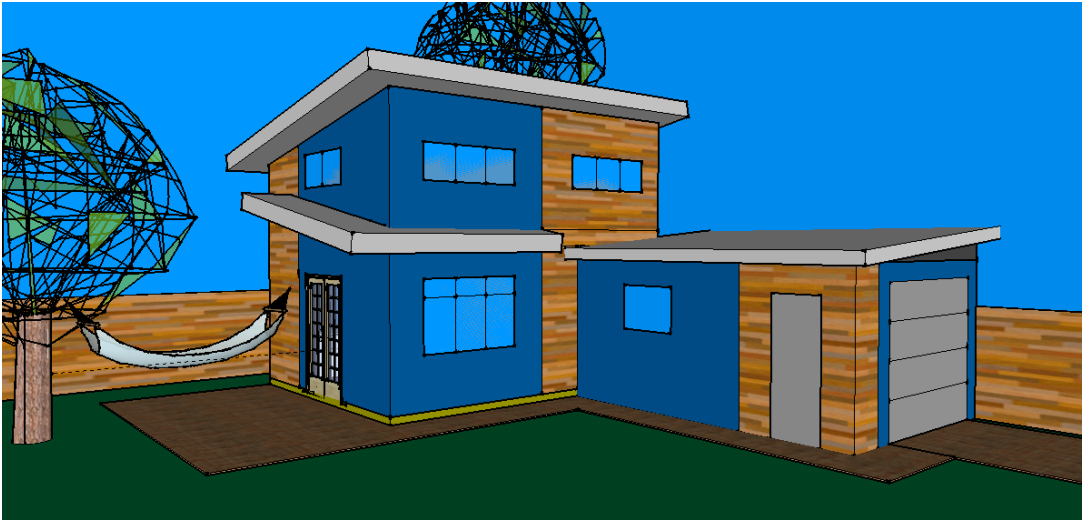


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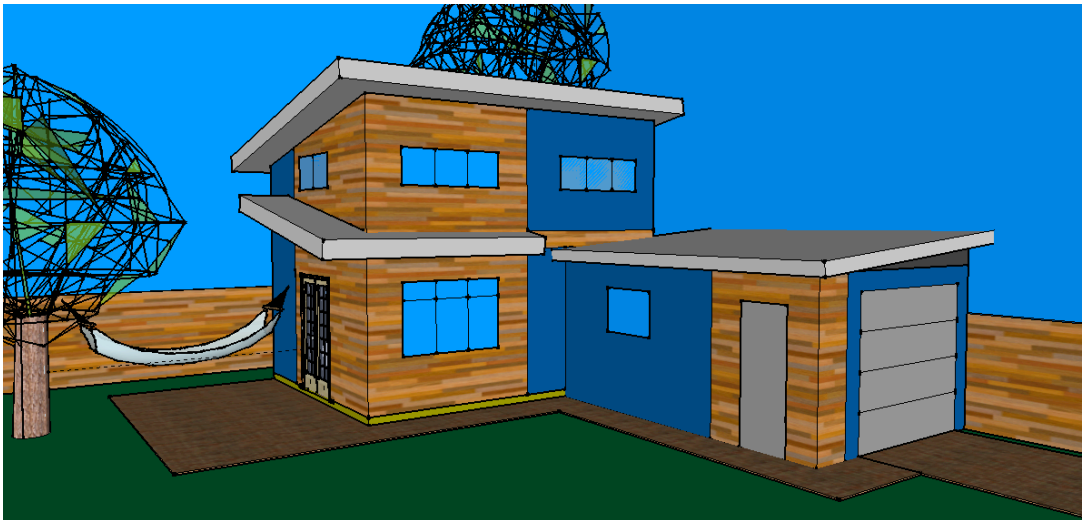


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OPTION A



OPTION B

client
coucoules

project
backyard cottage

project number
sdnw 170712

date
10.20.2017

phase
design development



3 D concept

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**YOUR GREEN
BUILDING DREAMS**

WINDOW SCHEDULE						
MARK	QTY	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	NOTES
A	1	5'-0"	1'-6"	FIXED	30	1-7, 3 UNITS
B	1	4'-0"	2'-6"	SLIDER	30	1-7
C	1	4'-0"	2'-6"	CASEMENT	30	1-7, EGRESS
D	1	1'-6"	2'-6"	CASEMENT	30	1-7, TRANSLUCENT GLASS
E	1	6'-0"	4'-0"	CSMT/FIXED/CSMT	30	1-7, 3 UNITS
F	1	5'-0"	2'-0"	FIXED	30	1-7, 3 UNITS
G	3	6'-0"	2'-0"	FIXED	30	1-7, 3 UNITS
H	1	2'-6"	4'-10"	AWNING/FIXED/FIXED	30	1-7, 3 UNITS
I	1	5'-6"	2'-6"	FIXED	30	1-7, REPLACEMENT WINDOW VERIFY SIZE

WINDOW NOTES:
 1. "U" VALUES TO BE NFRC CERTIFIED.
 2. GLASS TO BE TEMPERED (SG) WHERE REQUIRED PER SRC R308.4
 3. SEE EXTERIOR ELEVATIONS SHEET A21 FOR SAFETY GLASS (SG) LOCATIONS.
 4. WINDOWS & DOORS SHALL LIMIT INFILTRATION PER WSEC R402.4.
 5. WINDOWS MAX U-VALUE = 0.30, TYP. PER WSEC TABLE R402.11 & R402.13
 6. SEE EXTERIOR ELEVATIONS SHEET A21 FOR WINDOW PROFILE
 7. SEE SECTIONS SHEET A41 FOR TYPICAL HEAD HEIGHTS

DOOR SCHEDULE							
MARK	QTY	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	LOCATION	NOTES
1	1 PAR	5'-0"	7'-0"	EXT. 25% GLASS	30	ENTRY	FRENCH DOORS/RELITE ABOVE
2	1 PAR	4'-2" ±	6'-8"	INT. SOLID		BED	SLIDER - NOT USED
3	1	2'-6"	6'-8" ±	INT. SOLID		BATH	1 BARN/OVERHEAD TRACK
4	4	2'-6"	6'-8" ±	INT. SOLID		BED/BATH	4 BARN DOORS/ 2 OH TRACKS
5	1	2'-8" ±	6'-8"	EXT. SOLID		GARAGE	REPLACE DOOR/VERIFY SIZE
6	1	8'-0"	7'-0"	ROLL UP		GARAGE	REPLACE DOOR/VERIFY SIZE 4 GLASS SECTIONS

DOOR NOTES:
 1. "U" VALUES TO BE NFRC CERTIFIED.

VENTILATION SCHEDULE	
SYMBOL	CONTINUOUS WHOLE-HOUSE AIRFLOW RATE REQUIRED CFM PER 2015 SRC TABLE M507.3.3(1) LESS THAN 1900 SF / 0-1 BEDROOMS MIN. 30 CFM
1	100
2	50

NOTES:
 1. WHOLE HOUSE FAN PROVIDE 24-HR. AUTO-TIMER W/ CONTINUOUS, AUTO, & MANUAL OPERATION.
 2. SET TO RUN CONTINUOUS
 3. PANASONIC WHISPER GREEN
 4. USE 100 CFM (MIN) FAN + KITCHEN
 5. USE 50 CFM (MIN) FAN + ALL OTHER LOCATIONS
 6. ALL FANS TO VENT TO OUTSIDE (V.T.O.)
 7. PROVIDE OUTDOOR AIR INLETS PER WINDOW SCHEDULE & NOTES
 8. MECHANICAL VENTILATION TO COMPLY WITH SRC M507
 9. DISTRIBUTE OUTDOOR AIR INLETS PER SRC M507.3.4.4

INSULATION SCHEDULE PER WSEC TABLE R402.1.1							
WALL	FLOOR/DOG	FLOOR	CEILING	VAULTED CEILING	BELOW GRADE	GLAZING	SKYLIGHT
R-21	R-10	R-30	R-49	R-38	R-10/15/21	U-0.30	U-0.20

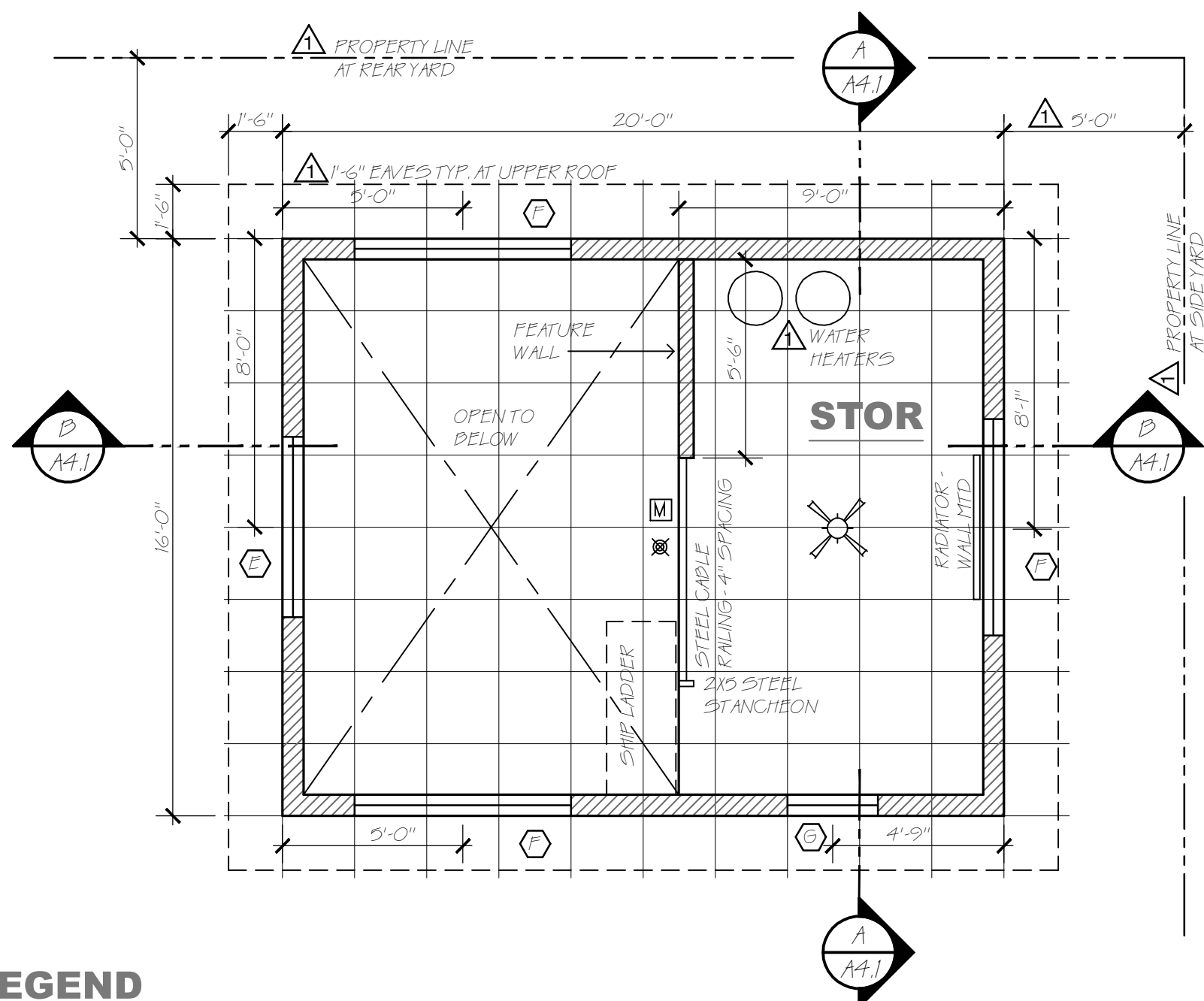
NOTES:
 1. R-VALUES ARE MINIMUMS
 2. U-FACTORS ARE MAXIMUMS
 3. 10 / 15 / 21 MEANS R-10 CONT. INSULATION ON THE EXT. OF THE WALL, OR R-15 CONT. INSULATION ON THE INT. OF THE WALL, R-21 INSULATION CAVITY PLUS THERMAL BREAK BTWN WALL & SLAB.
 4. REFER TO WASHINGTON STATE ENERGY CODE FOR ADDITIONAL DETAILS & EXCEPTIONS
 5. BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3FT OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION
 6. WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.
 7. APPLIED SPRAY FOAM MUST BE INSTALLED BY A CERTIFIED INSTALLER
 8. PRODUCT, SPRETTITE by DAPF Corporation, ESR-2642.
 9. ICC ESR REPORT FOR PRODUCT USED MUST BE PROVIDED ON JOB SITE.
 10. INSTALLED PER SRC R806.0.1.2 AIR IMPERMEABLE & AIR PERMEABLE INSULATION.

AIR LEAKAGE TESTING
 THE BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES WG. (50 PASCALS) PER SEC R402.4.12. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.

ENERGY CREDIT SCHEDULE	
MANDATORY EFFICIENCY REQUIREMENTS PER 2015 SEATTLE ENERGY CODE TABLE R406.2	
SMALL DWELLING UNIT - 15 CREDITS REQUIRED	
OPTION 2c - 15 CREDITS - EFFICIENT WATER HEATING	
Electric heat pump water heater with a minimum EF of 2.0 and meeting the standards of NEEA's Northern Climate Specifications for Heat Pump Water Heaters To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency.	
EQUIPMENT: 40 SMITH VOLT EX HYBRID ELECTRIC HEAT PUMP 80-GALLON, MODEL HPTU-80N EFFICIENCY: UEF 2.75	
SEE CODE FOR ADDITIONAL REQUIREMENTS	

EAVE REQUIREMENTS
 FIRE DOWNDRAUGHT PROVIDED AT NORTH & WEST PER CODE
 EAVES WITHIN 5 FEET OF PROPERTY LINE PER SRC TABLE R302.1 (1) FOOTNOTE & ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE IF FIRE DOWNDRAUGHT IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
 NO EAVE VENTING WILL BE ALLOWED AT THIS LOCATION.

EQUIPMENT LIST
 KITCHEN
 ELECTRIC COUNTERTOP BURNER
 THRU-WALL VENT
 NARROW FRIDGE
 DRAWER DISHWASHER
 UNDERMOUNT SINK
 GARBAGE DISPOSAL
 UNDERSHELF LIGHTS W/ OUTLETS
 BATH
 WASHER/DRYER COMPO UNIT
 PANASONIC WHISPER GREEN EXHAUST FAN WITH 24-HOUR TIMER
 GENERAL
 HEAT PUMP WATER HEATER
 HOLDING TANK
 HEATING SYSTEM
 IN-FLOOR RADIANT ON 1ST FLOOR
 WALL MOUNTED RADIATOR IN LOFT

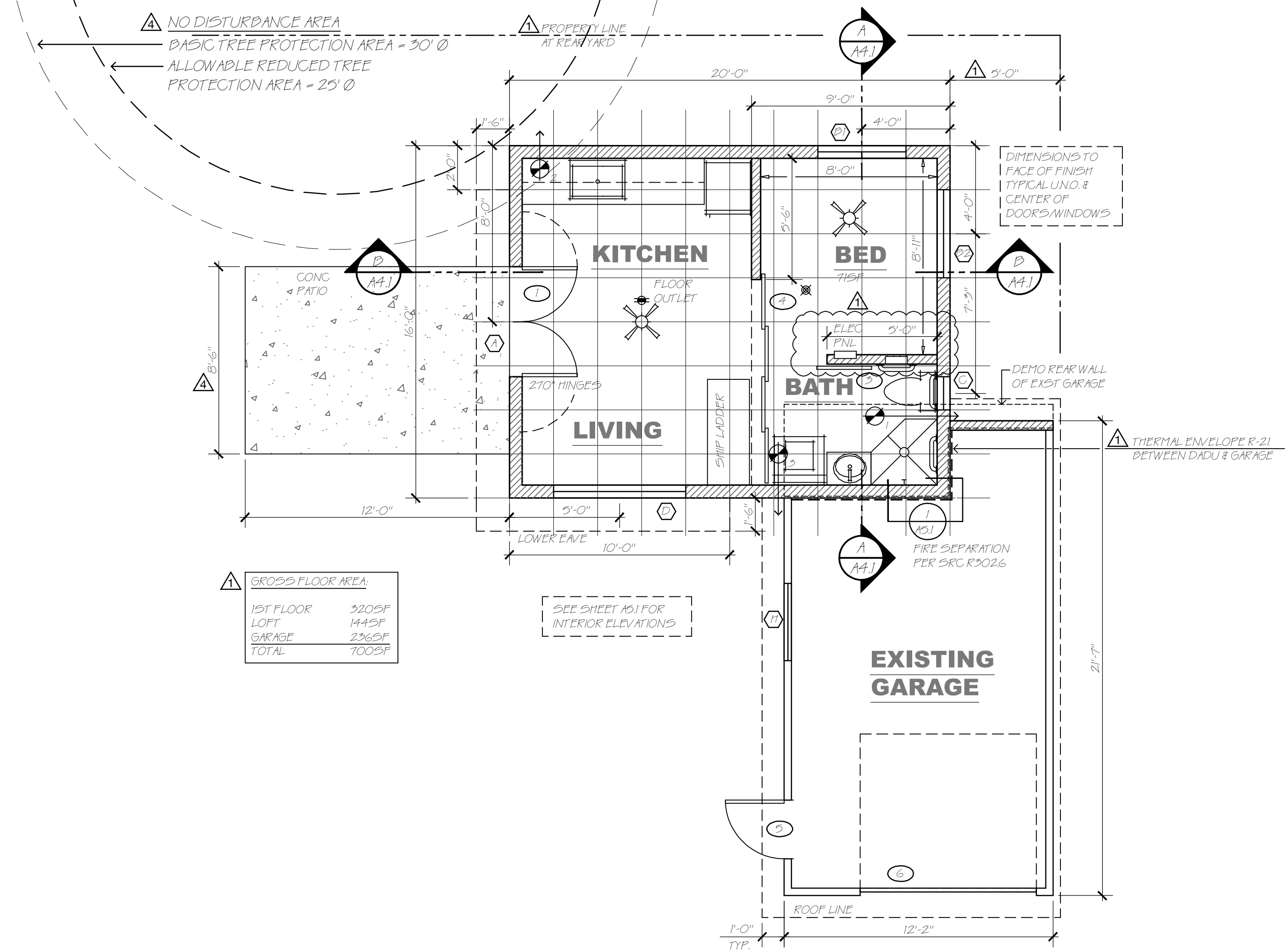


SYMBOL LEGEND

- ☒ SMOKE DETECTOR
- M MONOXIDE DETECTOR
- 600W HEAT SOURCE
- WALL LEGEND
 [---] EXST WALL TO REMAIN
 [---] EXST WALL TO DEMO
 [---] HALF WALL
 [---] NEW WALL
- ⊙ DOOR MARK
- ⊠ WINDOW MARK
- ⊙ KEYED NOTE MARK

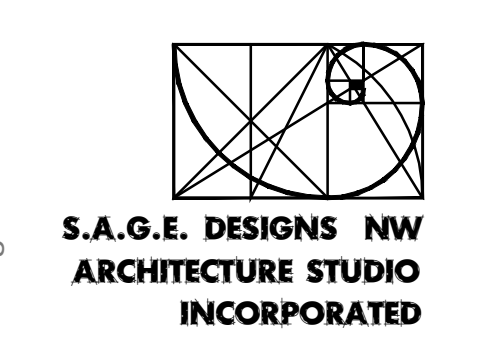
LOFT FLOOR PLAN

1/2" = 1'-0"



FIRST FLOOR PLAN

1/2" = 1'-0"



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PRO.COM
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revision:
 number | date
 cycle 1 rev | 4.16.2018
 cycle 2 rev | 4.23.2018
 cycle 3 rev | 5.24.2018
 cycle 4 rev | 8.25.2018

owner:
coucoules

address:
 3217 41st ave sw
 seattle wa 98116

project #s:
 sdnw 170712
 dci 6615146

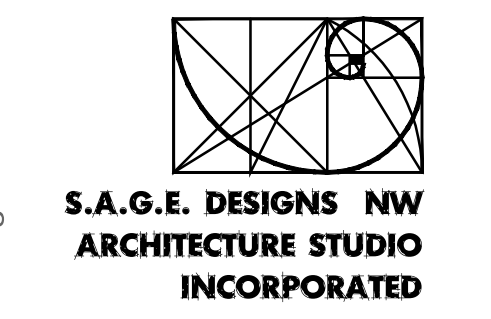
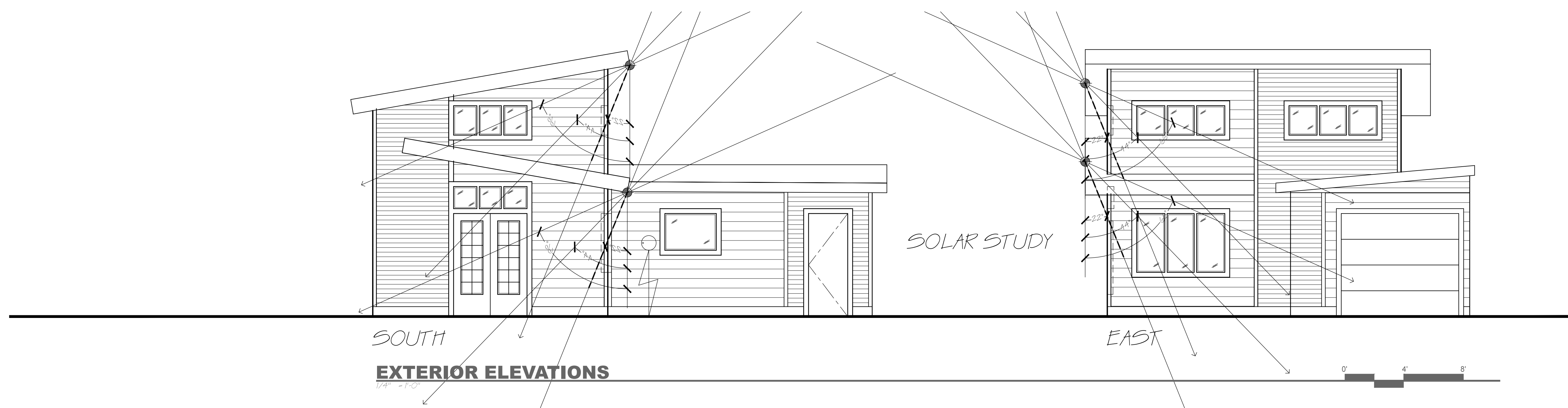
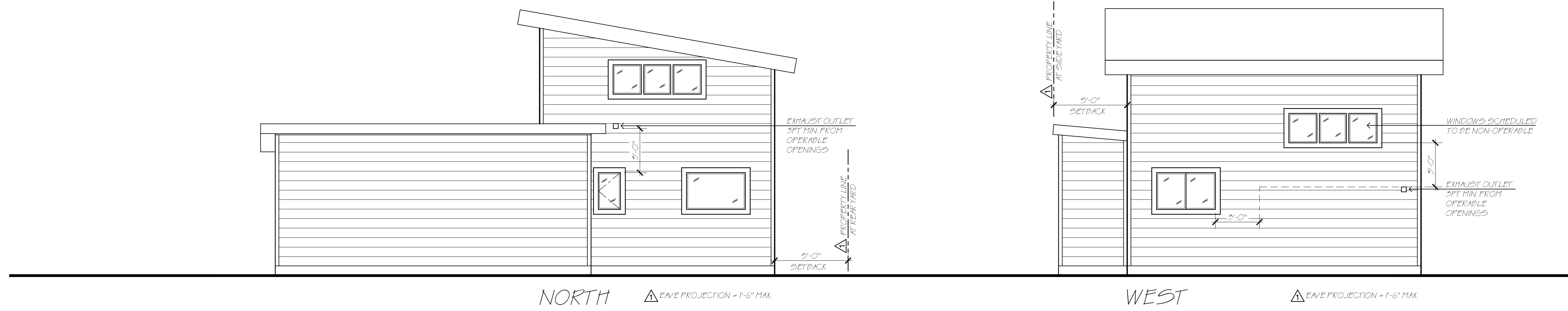
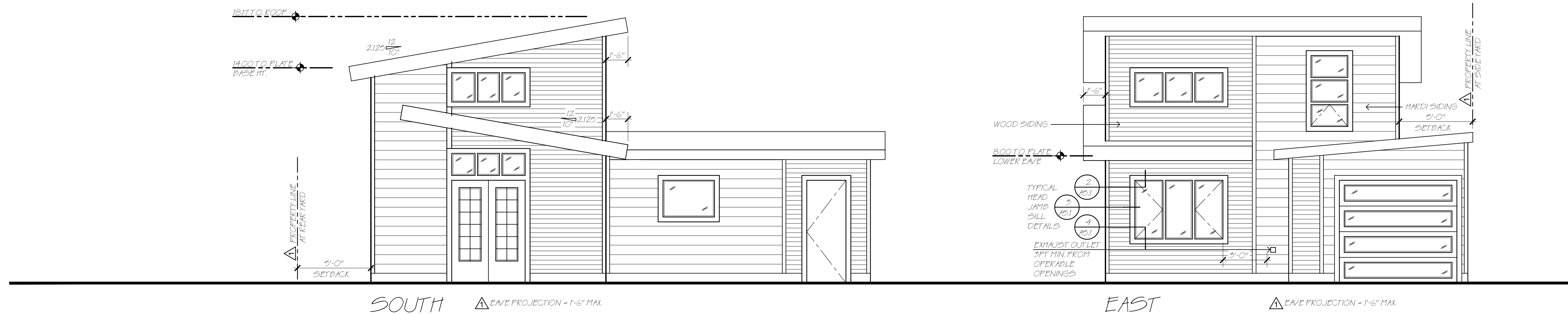
phase:
permit submittal

date:
 19 february 2018

drawing title:
floor plans schedules

scale:
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sheet:
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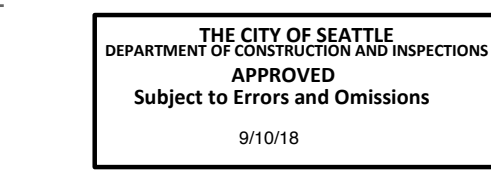


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dci 6615146**

phase:
**permit
submittal**

date:
19 february 2018

drawing title:
**exterior
elevations**

scale:
1/4" = 1'-0"

sheet:
A3.1

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A NEW COTTAGE FOR MARY

TYPICAL CONSTRUCTION ASSEMBLY NOTES

THIS IS AN ADVANCED FRAMING PROJECT - SEE STRUCTURAL DRAWINGS OR STACKING INSTRUCTIONS

FLOOR ASSEMBLY:
 SLAB ON GRADE PER STRUCTURAL OVER
 R-10 INSULATION ENTIRE SLAB PER SECTIONS OVER
 SUBSTRATE PER STRUCTURAL
 FOOTINGS PER STRUCTURAL
 RECESSED SLAB AT SHOWER FOR LINEAR DRAIN
 FLOOR FINISH = ETCHED CONCRETE
 HYDRONIC HEATING IN FLOOR

EXTERIOR WALLS TYPICAL:
 2X6 FRAMING PER STRUCTURAL
 R-21 INSULATION MINIMUM
 PLYWOOD SHEATHING PER STRUCTURAL
 BUILDING PAPER PER CONTRACTOR'S CHOICE
 HARDI LAP SIDING PER ELEVATIONS
 WOOD SIDING PER ELEVATIONS
 5/8" GWB INTERIOR TYPICAL
 WOOD BASE TRIM TYPICAL

EXTERIOR WALL AT EAST/GARAGE:
 FIRE WALL ASSEMBLY PER DETAIL

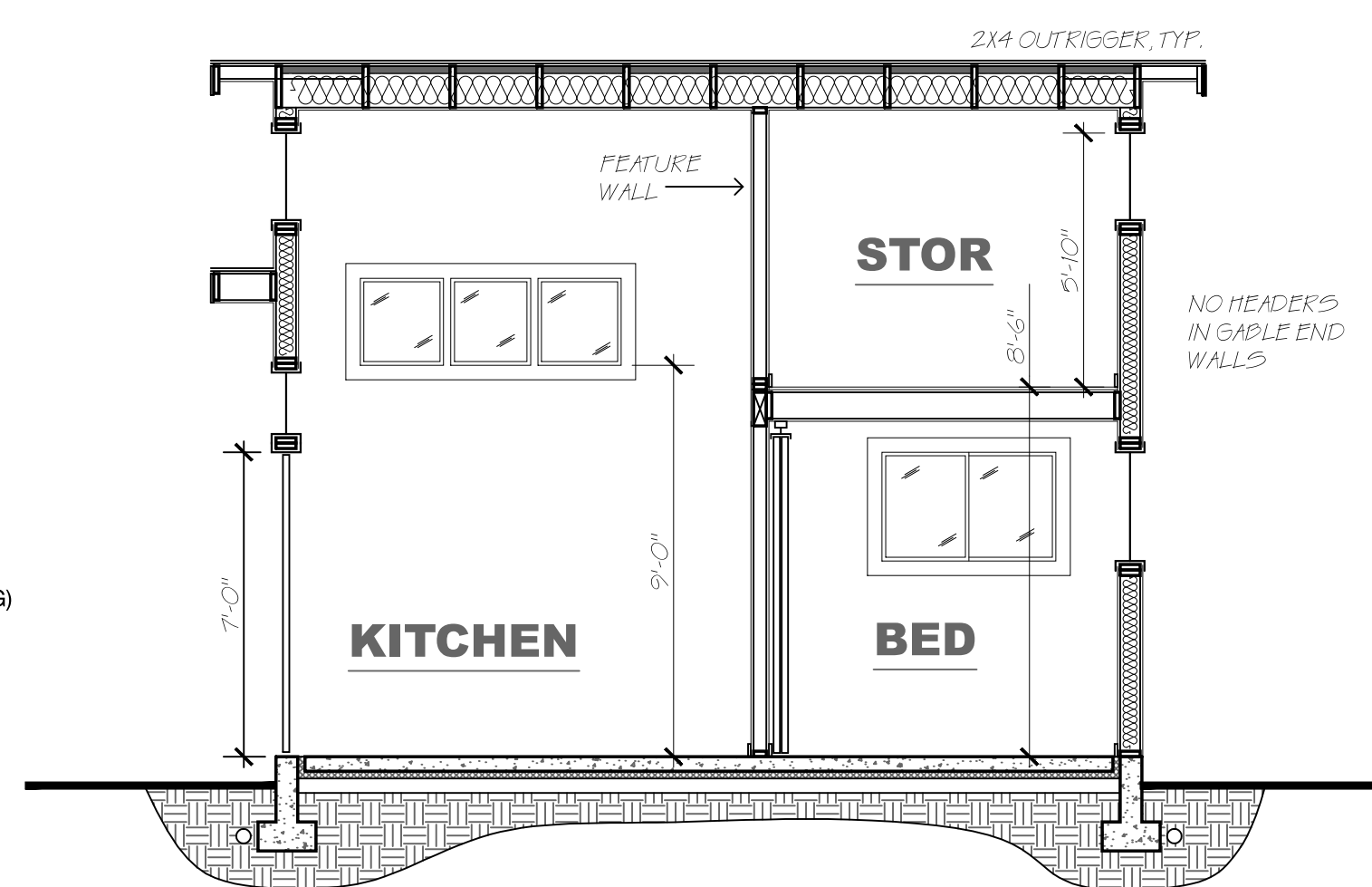
GARAGE WALLS TYPICAL:
 EXISTING FRAMING
 BUILDING PAPER PER CONTRACTOR'S CHOICE
 HARDI LAP SIDING PER ELEVATIONS
 WOOD SIDING PER ELEVATIONS
 PLYWOOD INTERIOR SHEATHING TYPICAL

ROOF/CEILING ASSEMBLY:
 ROOFING - SP MEMBRANE TYPICAL
 GRACE VYCOR ENTIRE SURFACE
 RAFTER FRAMING PER STRUCTURAL
 NON-VENTED ASSEMBLY PER SECTIONS
 1-2" CLOSED CELL SPRAY FOAM INSULATION
 R-38 BATT INSULATION MINIMUM
 5/8" GWB CEILING TYPICAL

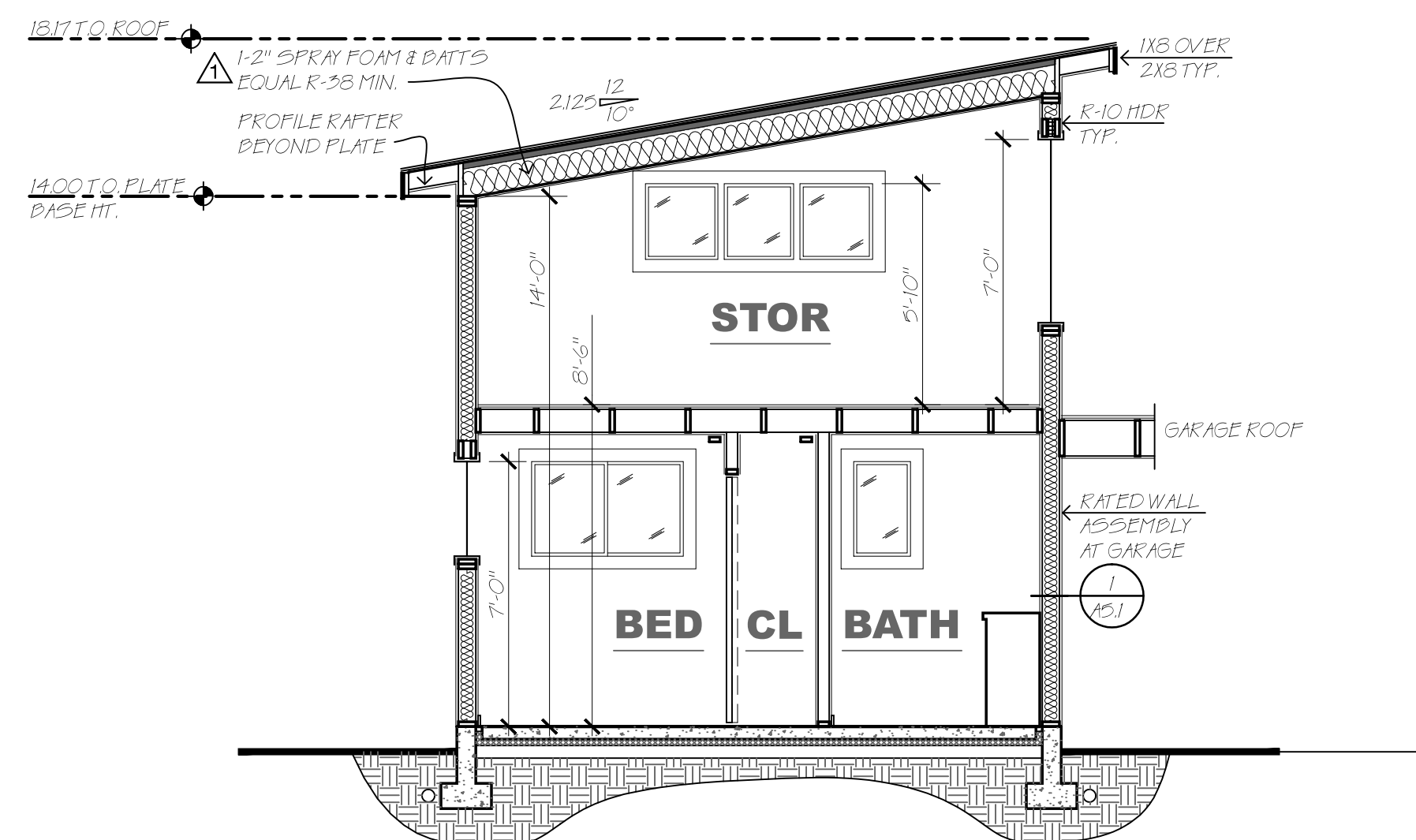
EAVE/SOFFIT CONSTRUCTION:
 FRAMING PER STRUCTURAL
 2X8 BLOCKING CONTINUOUS
 1X8 FACIA
 HARDI PANEL SOFFIT W/ VENTS

INTERIOR WALLS:
 2x4 WOOD FRAMING AT 16" O.C.
 5/8" GWB EACH SIDE TYPICAL
 WOOD 'SIDING' AT FEATURE WALL
 (SOUTH FACE & EAST EDGE ONLY - FLOOR TO CLG)

STORAGE LOFT CONSTRUCTION:
 FINISH FLOORING PER OWNWER DIRECTION
 FLOOR SHEATHING PER STRUCTURAL
 2x8 FRAMING PER STRUCTURAL
 5/8" GWB CEILING TYPICAL



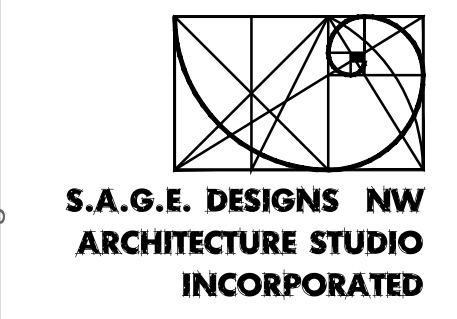
SECTION BB
 EAST @ KITCHEN/BED



SECTION AA
 NORTH @ BED/BATH

BUILDING SECTIONS

1/4" = 1'-0"

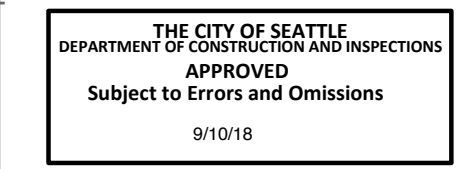


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revision:
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 cycle 1 rev △ 4.16.2018

owner:
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address:
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project #s:
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phase:
**permit
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date:
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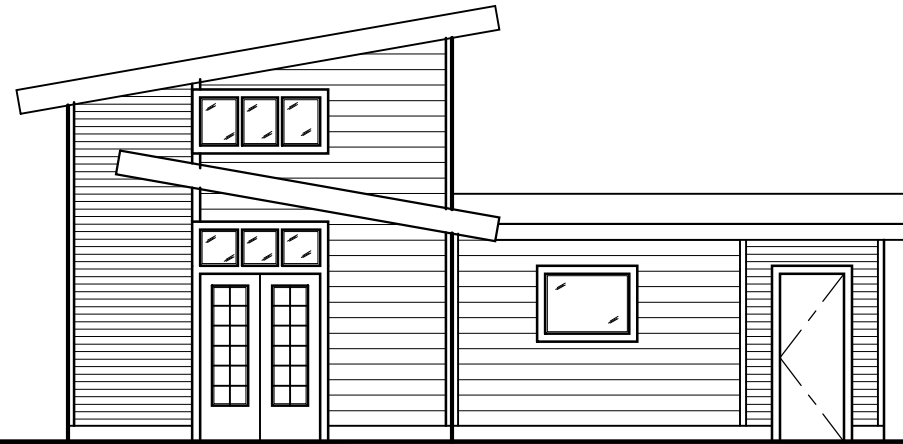
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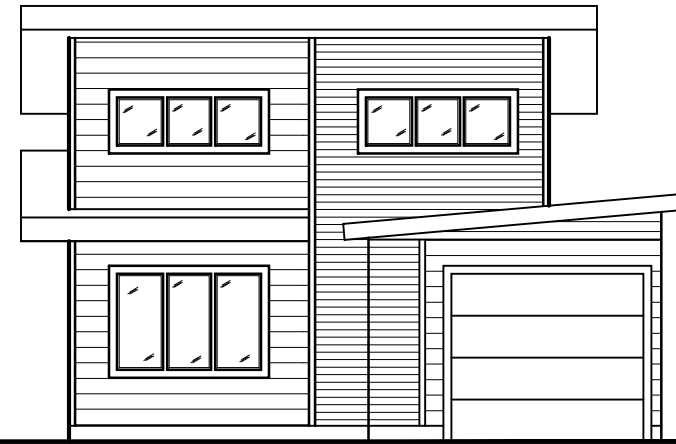
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A NEW COTTAGE FOR MARY

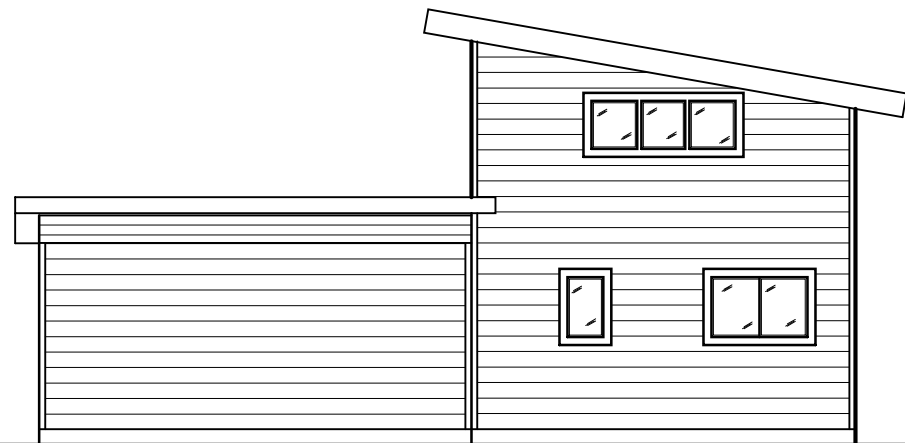
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SOUTH



EAST



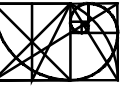
NORTH



WEST

EXTERIOR ELEVATIONS

1/2" = 1'-0"



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MARY'S BACKYARD COTTAGE

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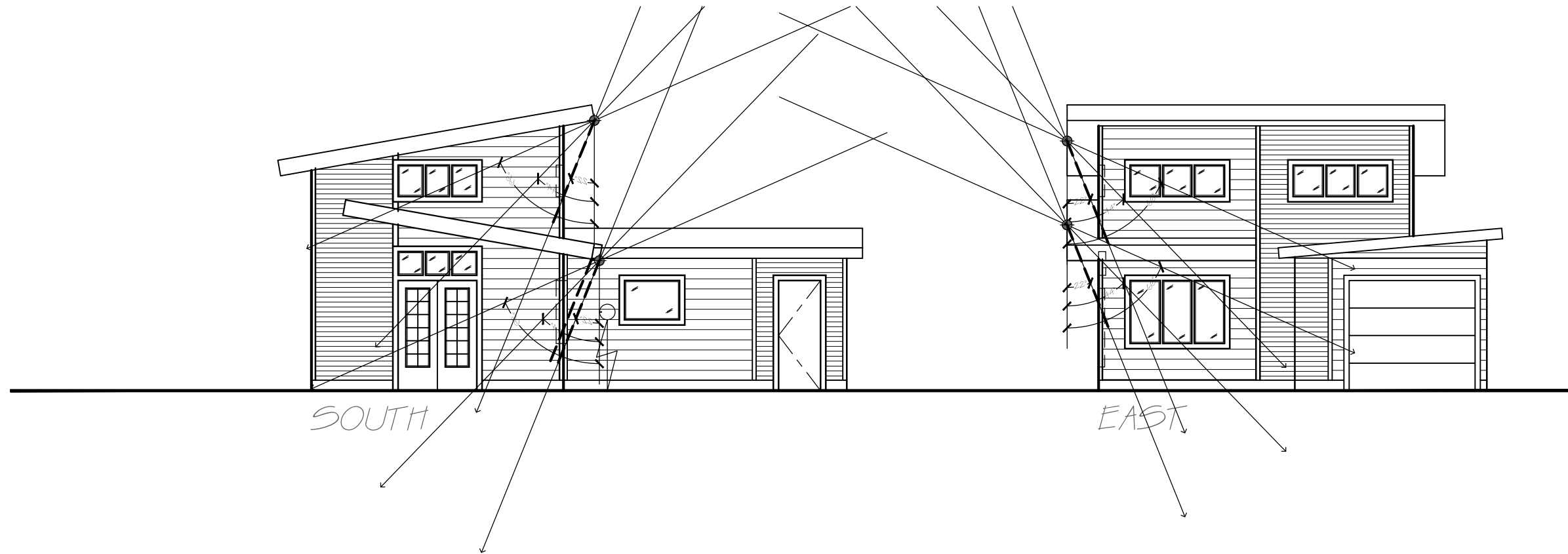
phase:
**design
development**

date:
29 september 2017

drawing title:
**exterior
elevations**

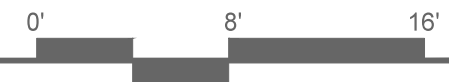
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1/8" = 1'-0"

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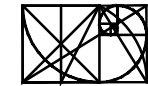


EXTERIOR ELEVATIONS

1/2" = 1'-0"



MARY'S BACKYARD COTTAGE



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**sdnw 170712
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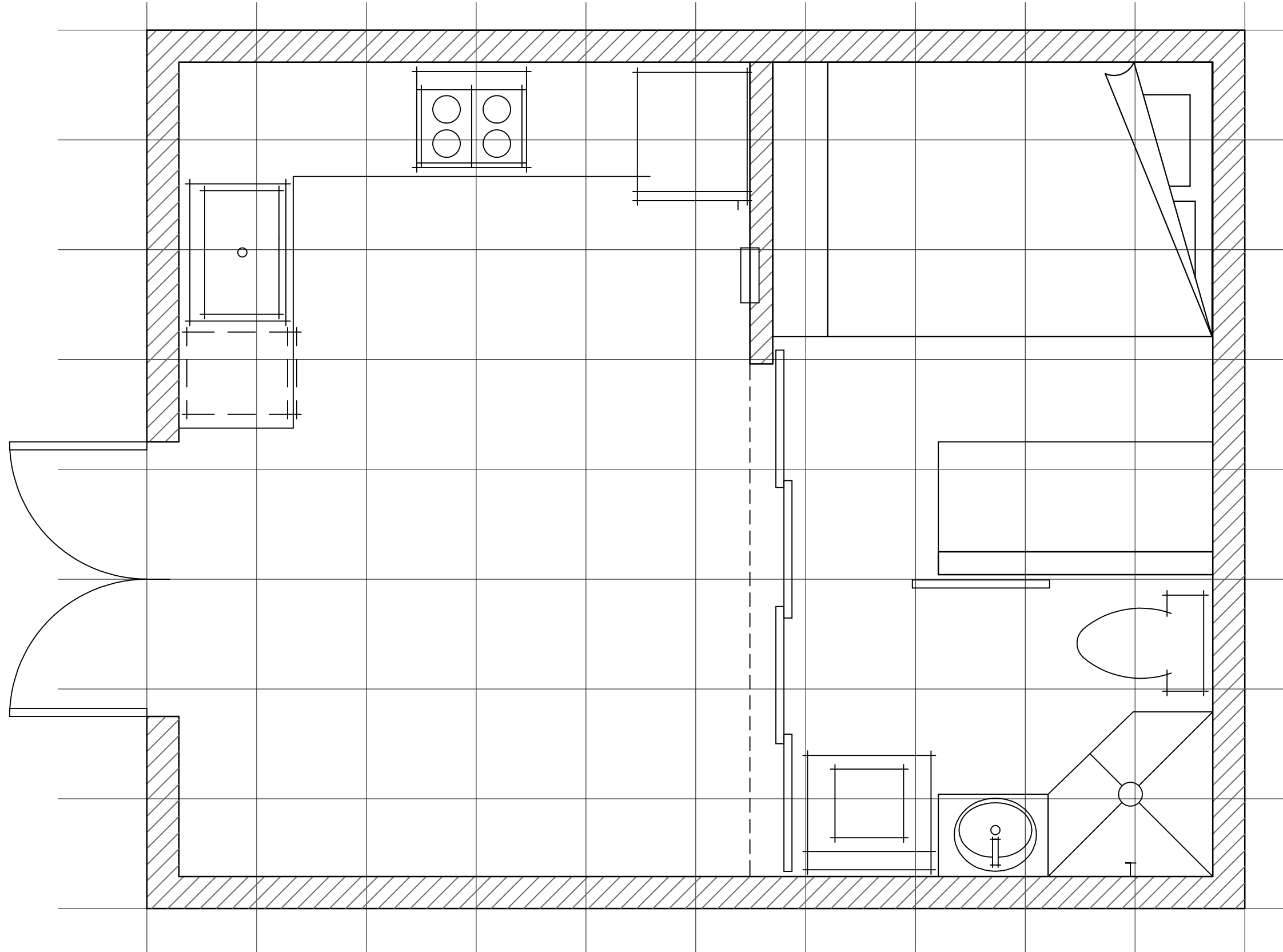
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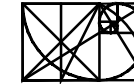
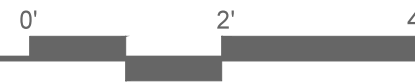
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FLOOR PLAN

1/2" = 1'-0"



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owner: coucoules

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project #: sdnw 170712 dci

phase: design development

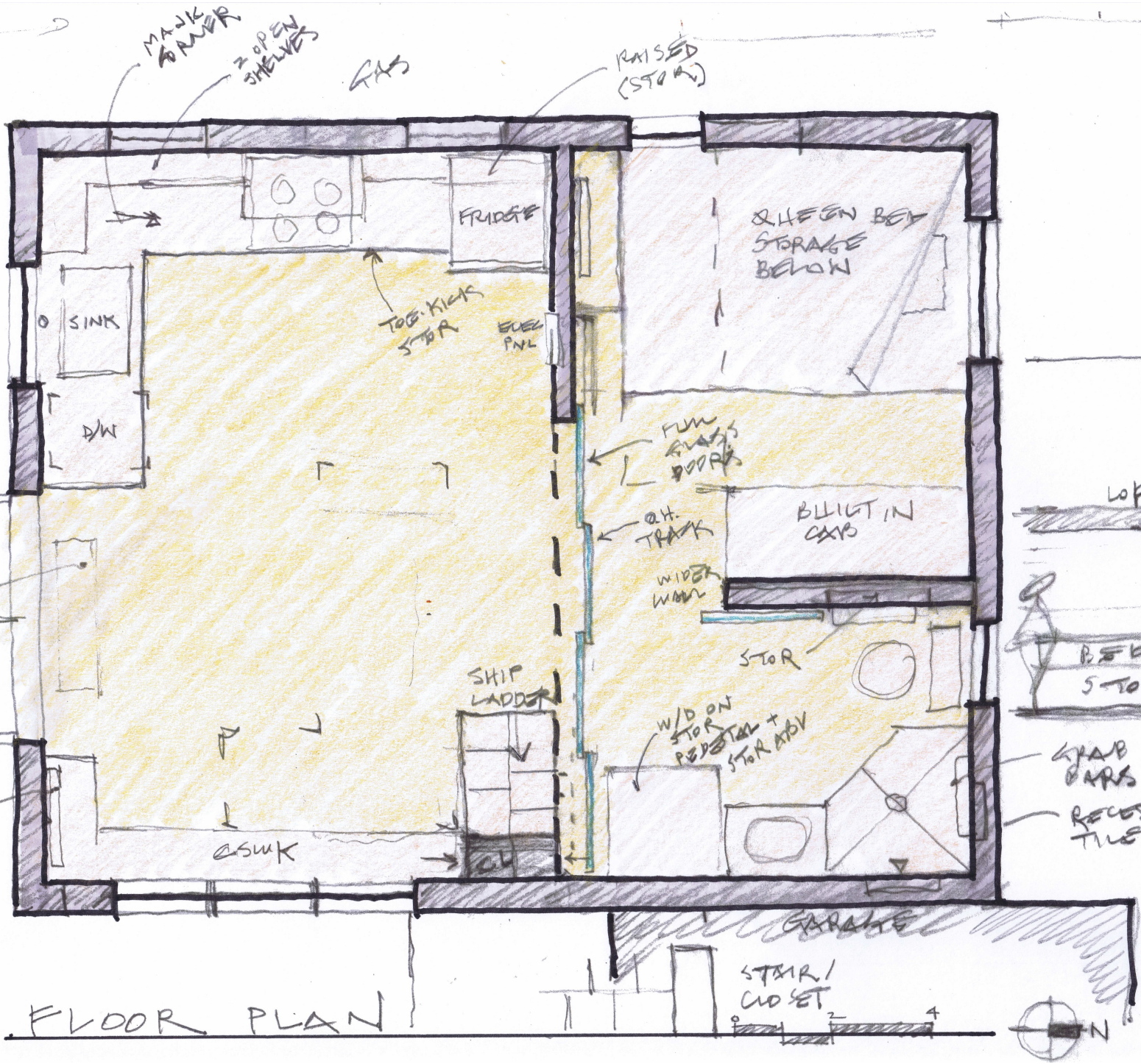
date: 12 august 2017

drawing title: floor plan

scale: 1/2" = 1'-0"

sheet: dd2

DESIGN DEVELOPMENT



FLOOR PLAN

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MARY'S BACKYARD COTTAGE

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address: 3217 34th ave sw seattle wa 98116

project #: sdw 170712 dcl

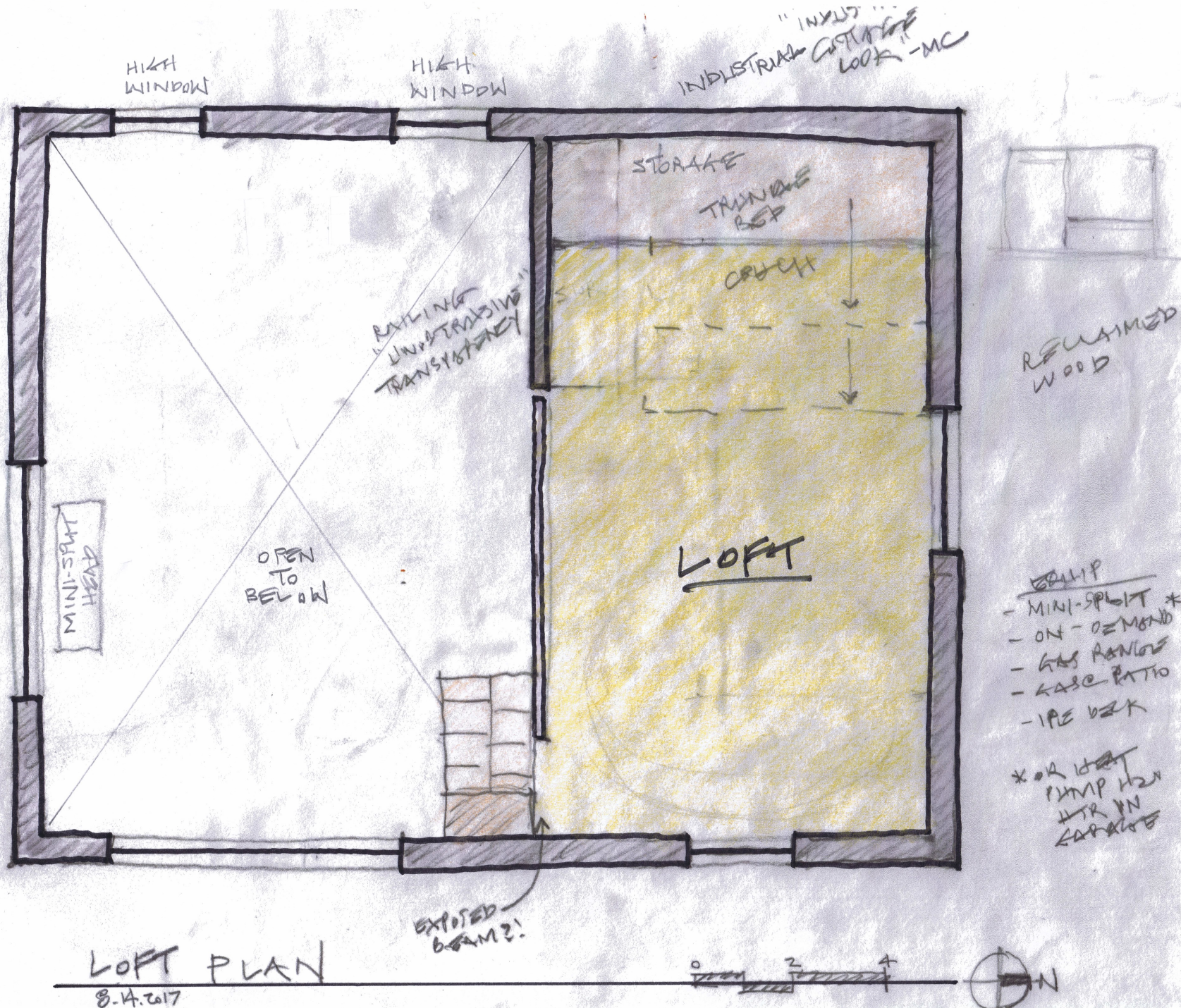
phase: **design development**

date: 14 august 2017

drawing title: **floor plan MAIN**

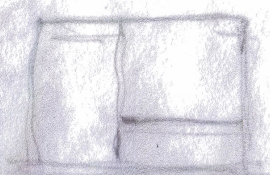
scale: 1/2" = 1'-0"

sheet: **dd2**



LOFT PLAN
8-14-2017

"INDUSTRIAL COTTAGE LOOK" - MC



RECLAIMED WOOD

- EQUIP
- MINI-SPLIT *
 - ON-DEMAND
 - GAS RANGES
 - KASE PATIO
 - IPE DECK
- * OR HOT PUMP H2O HTR IN GARAGE

MARY'S BACKYARD COTTAGE

S.A.G.E. DESIGN NW ARCHITECTURE STUDIO INCORPORATED
Small Artful Green Environments
Sage K. Sasaki
Architect
206.963.1420
sagedesignnw.biz

dcl approval:

VISUALIZE
□ ○ △
ACTUALIZE
Your Green Building Dreams

revision:
number|date

owner:
coucoules

address:
3217 34th ave sw
seattle wa 98116

project #s:
sdnw 170712
dcl

phase:
design development

date:
14 august 2017

drawing title:
floor plan
LOFT

scale:
1/2" = 1'-0"

sheet:
dd2





