

SEATTLE CENTER ARENA



SCHEMATIC DESIGN
SEATTLE DESIGN COMMISSION

JUNE 2018

OVG
OAK VIEW GROUP

 seattlecenter

CAAICON

POPULOUS

 DLR Group

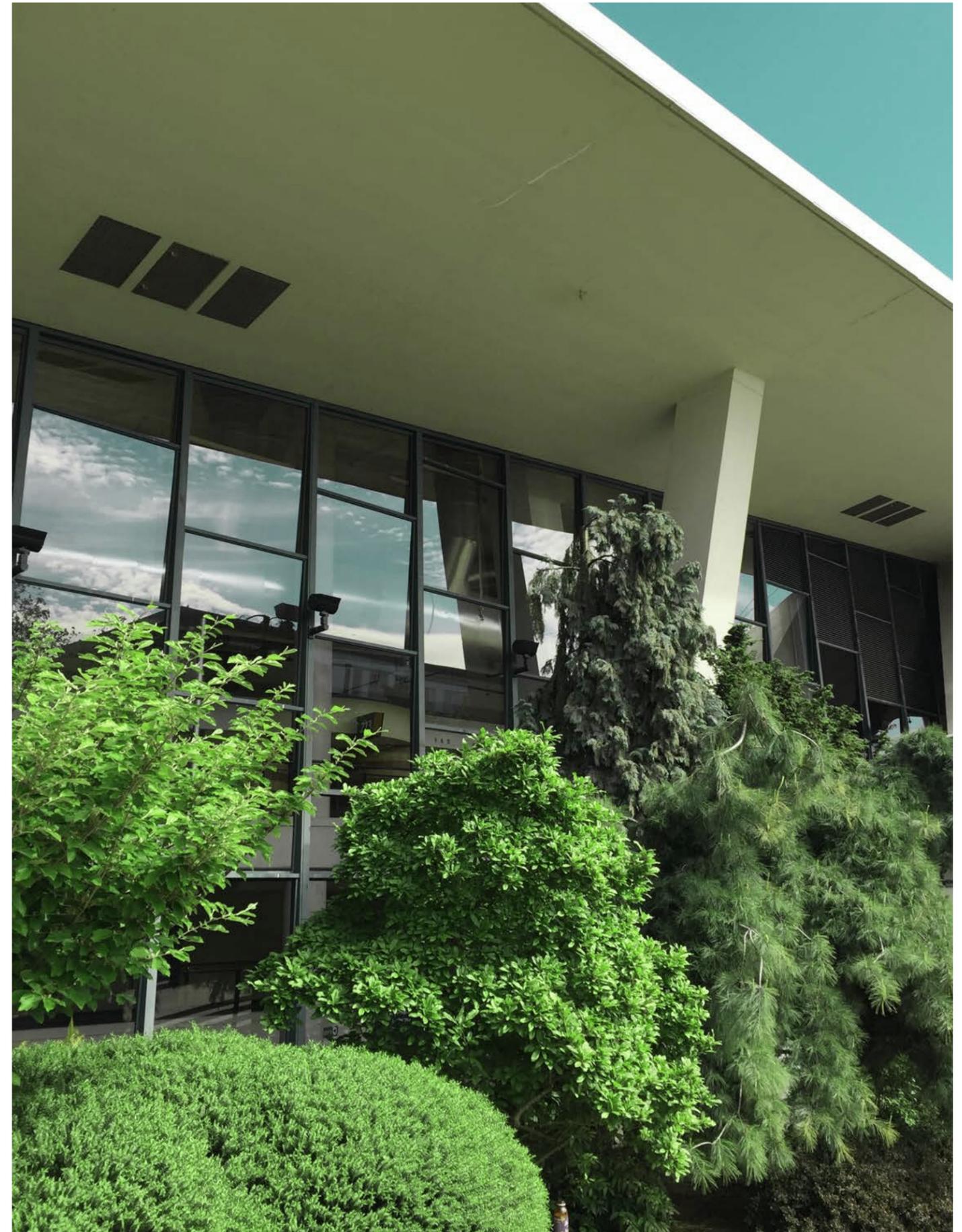
SWIFT COMPANY

HADDAD|DRUGAN

SUSTAINABILITY

PROJECT PERFORMANCE & SUSTAINABILITY GOALS

- Project is targeting LEED-BD+C v.4 Certified.
- Energy performance of at least 3% over ASHRAE 90.1-2013 baseline is being targeted
- Reduce potable water use by at least 30% over baseline, with a goal of 40%
- Minimize potable water used for landscape irrigation
- Achieve WELL Building Standard Certification and create a showcase building that optimizes occupant health and wellbeing. Level of WELL Certification TBD.
- Provide commissioning in conjunction with the use of a high efficiency central utility plant to maximize arena energy efficiency.
- Current targeted total LEED Points = 44
 - 40 - 49 Points = Certified



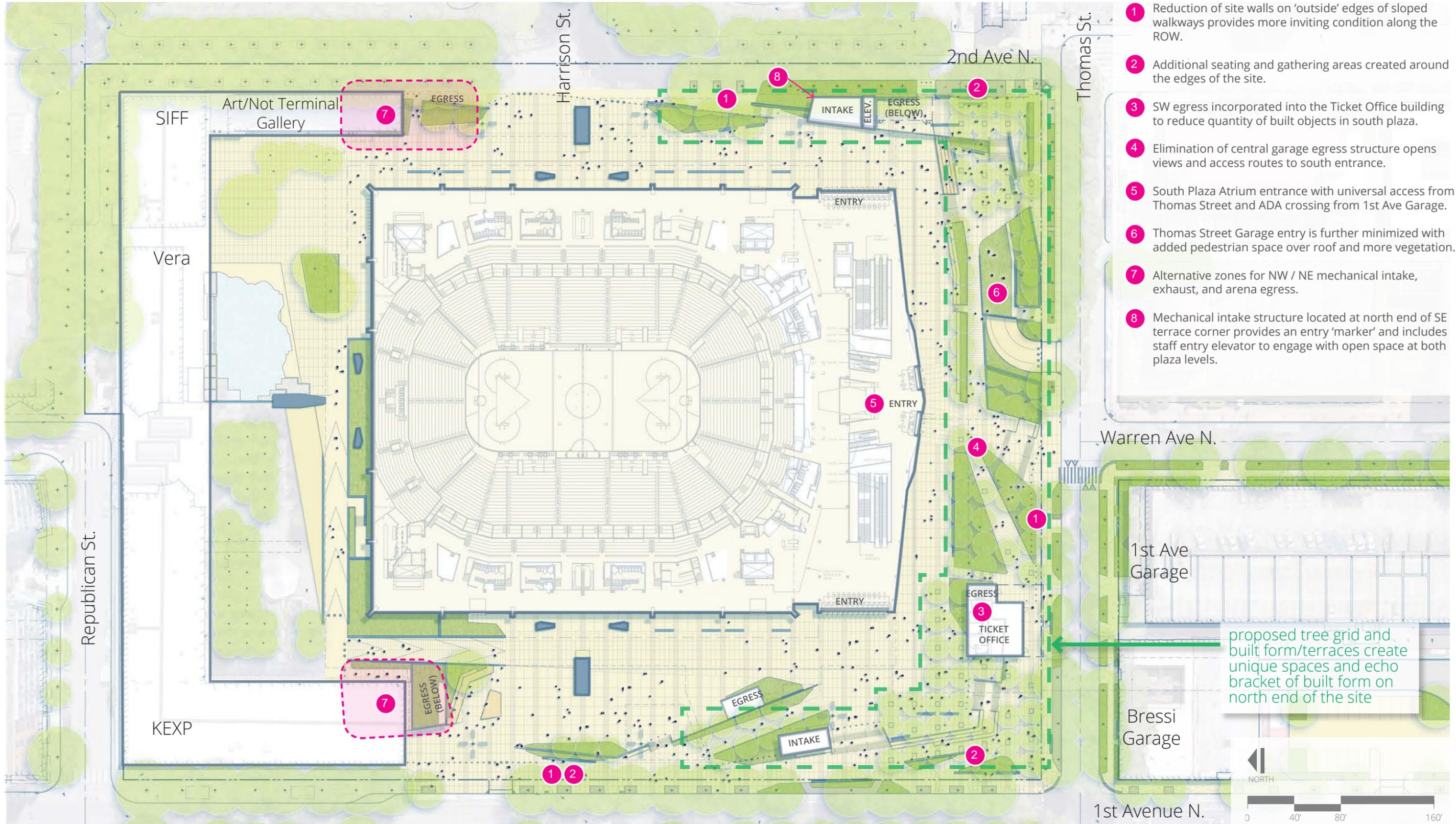
DEIS TRANSPORTATION MITIGATION

FROM DRAFT ENVIRONMENTAL IMPACT STATEMENT

- Construction Management Plan – parking, curb space management, bus stop / layover relocation, and safety impacts
- Revised Curbside Management MOA
- Off-site Parking Facility Reservation and Best Practices System
- Capital improvements near the Arena – such as crosswalks, bulb-outs, new signals, transit queue jumps, reconfiguration of 1st Ave N bike lane
- Event Transportation Management Plan (TMP)
- Event Demand Management Plan (DMP)

SCHEMATIC DESIGN SITE PLAN

PROPOSED SITE DESIGN

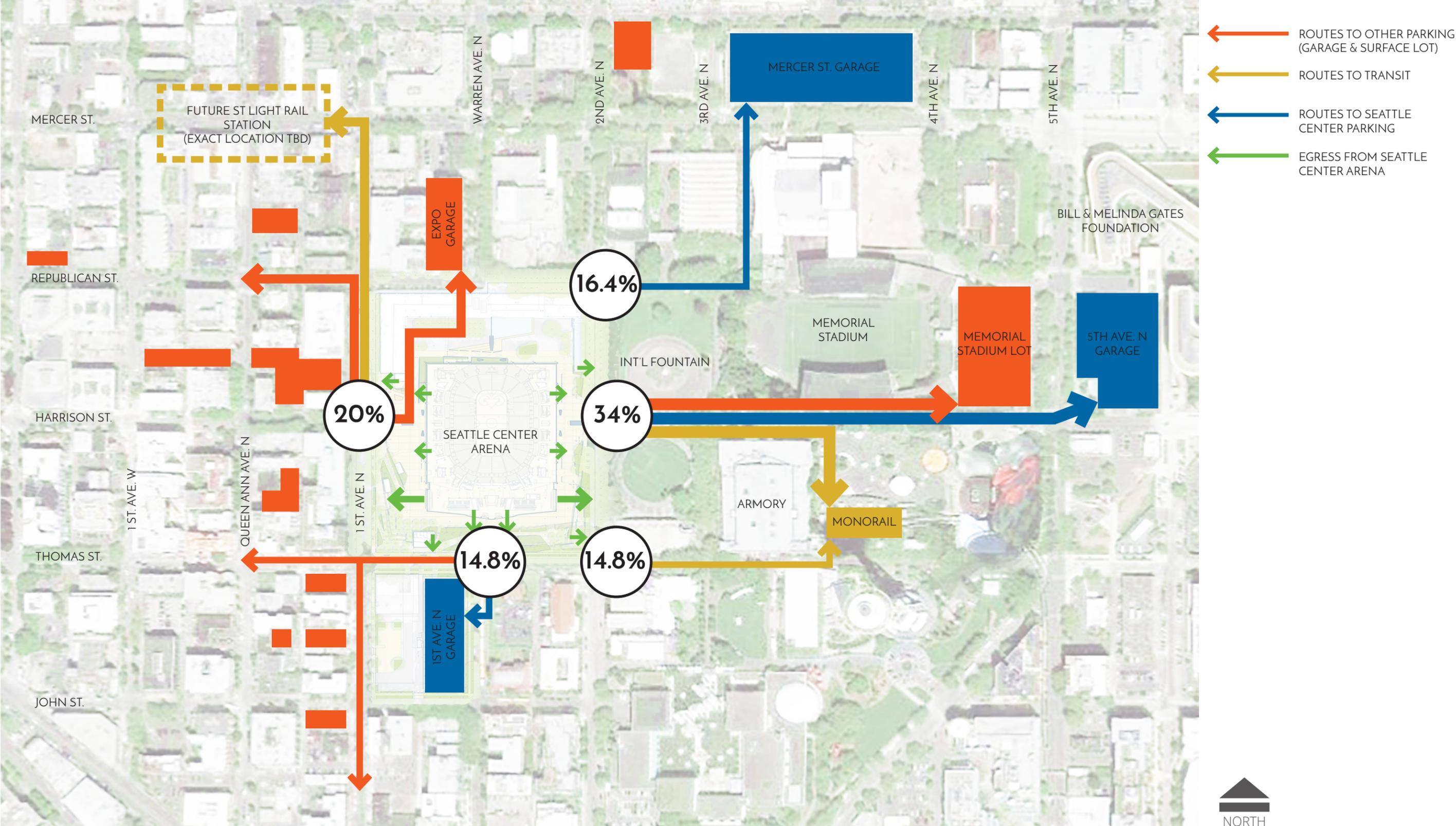


BENEFITS:

- 1 Reduction of site walls on 'outside' edges of sloped walkways provides more inviting condition along the ROW.
- 2 Additional seating and gathering areas created around the edges of the site.
- 3 SW egress incorporated into the Ticket Office building to reduce quantity of built objects in south plaza.
- 4 Elimination of central garage egress structure opens views and access routes to south entrance.
- 5 South Plaza Atrium entrance with universal access from Thomas Street and ADA crossing from 1st Ave Garage.
- 6 Thomas Street Garage entry is further minimized with added pedestrian space over roof and more vegetation.
- 7 Alternative zones for NW / NE mechanical intake, exhaust, and arena egress.
- 8 Mechanical intake structure located at north end of SE terrace corner provides an entry 'marker' and includes staff entry elevator to engage with open space at both plaza levels.

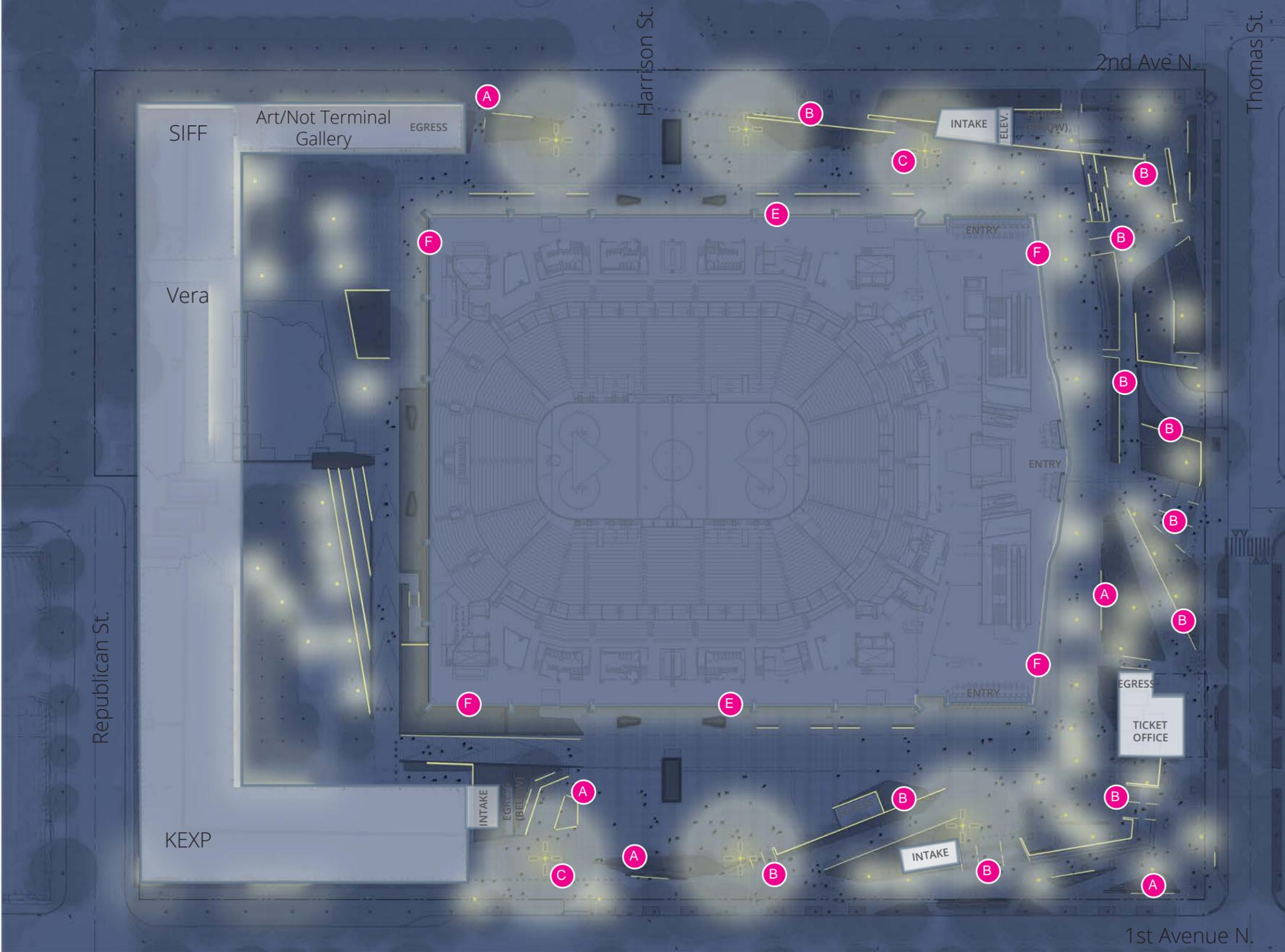
SITE DIAGRAMS

DISTRICT PEDESTRIAN ROUTES - EGRESS



SITE LIGHTING PLAN

PROPOSED SITE DESIGN



A Bench/wall lighting



B Handrail/Guardrail lighting



C High pole lighting



D Pedestrian lighting



E Column lighting



F Facade projection



ART PLAN | VISION FOR ART AT SEATTLE CENTER ARENA

ART as **collective emotional experience with transformational power**

- Tap into inspiring experiences of larger-than-life events, places, and personalities happening at the Arena
- Position the individual as part of a communal experience, or collective whole
- Incite wonder and awe triggered by stimuli associated with collective values

ART as **mediating between interior and exterior environments**

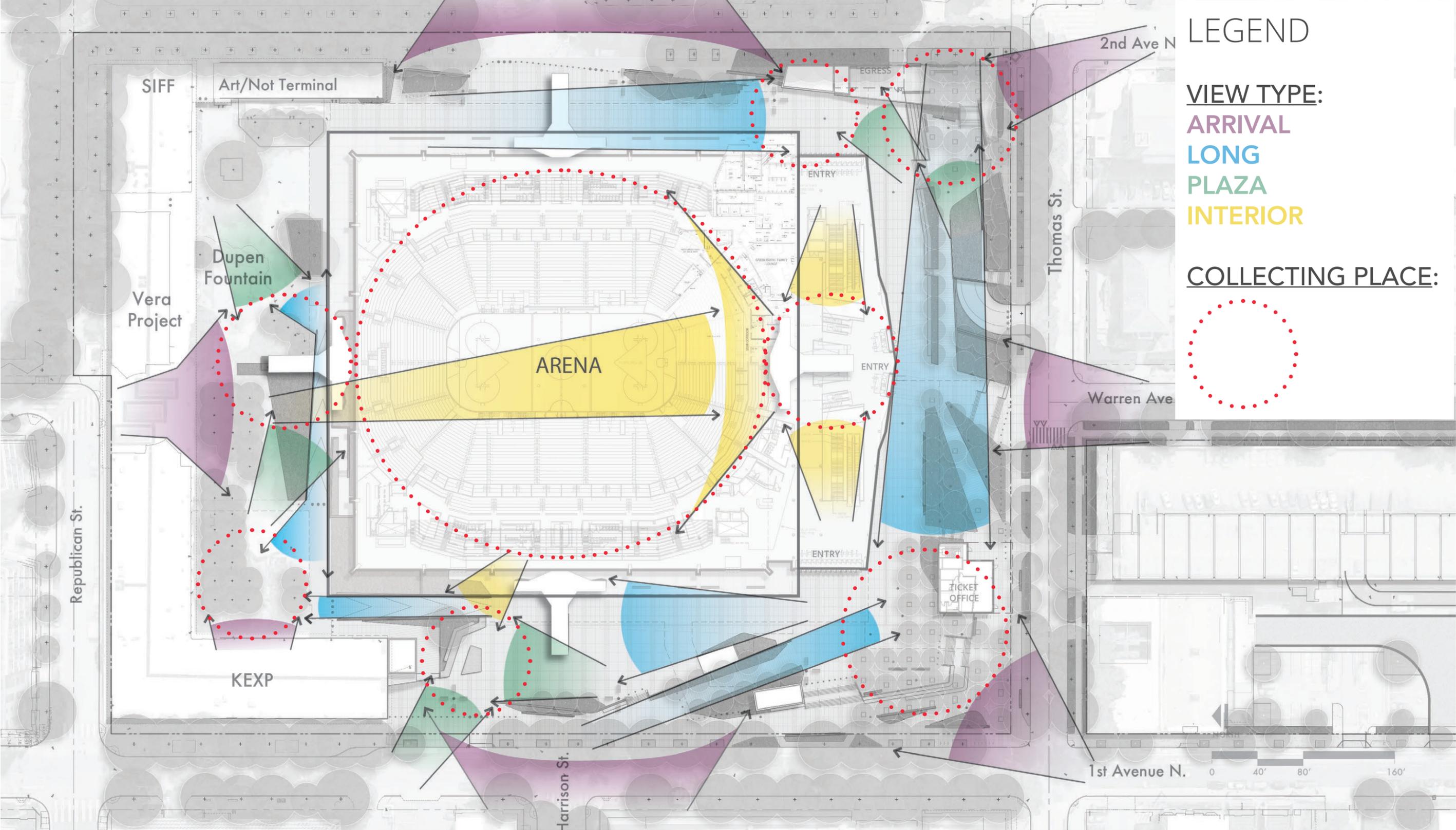
- Link interior and exterior with art experiences spanning both realms
- Commingle exterior "civic" environment and interior "event" environment

ART as **remembering tomorrow**

- Synthesize the historic past, dynamic present, and unknown future
- Explore the notion of envisioning the future
- Respond to the site's linear and cyclical time frames

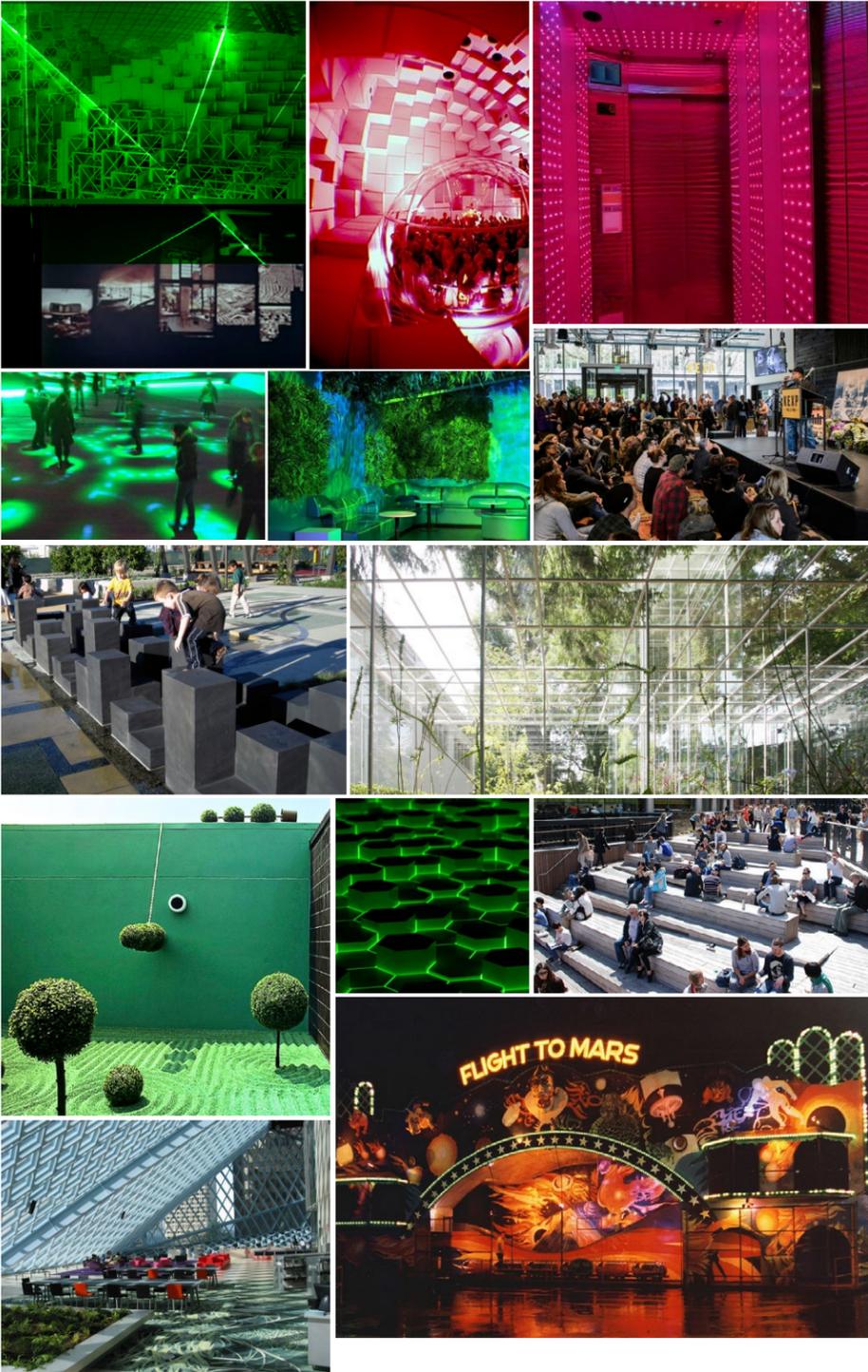


ART PLAN | VIEWS | COLLECTING

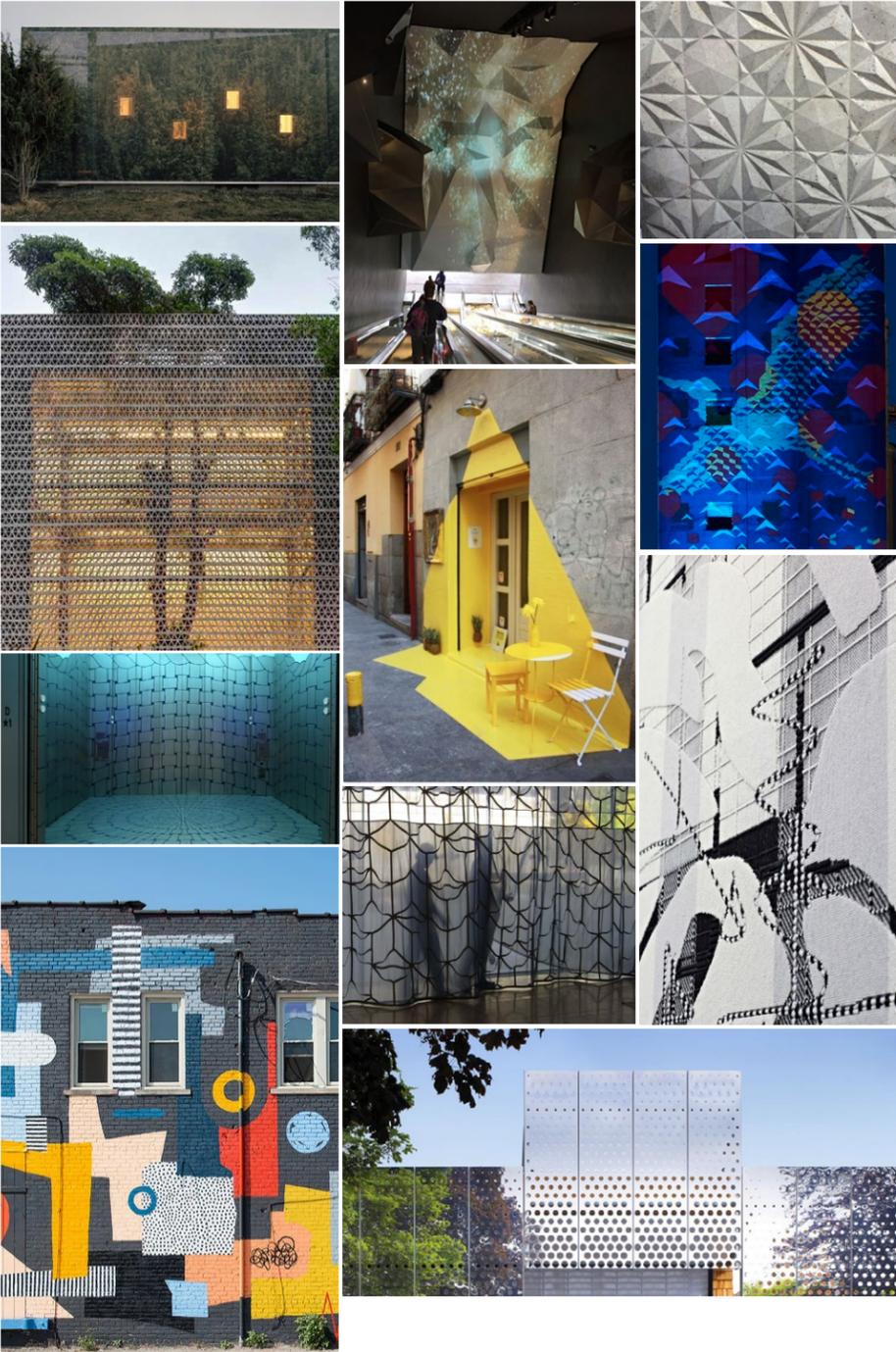


ART PLAN | INTEGRATED ART TYPOLOGIES

place



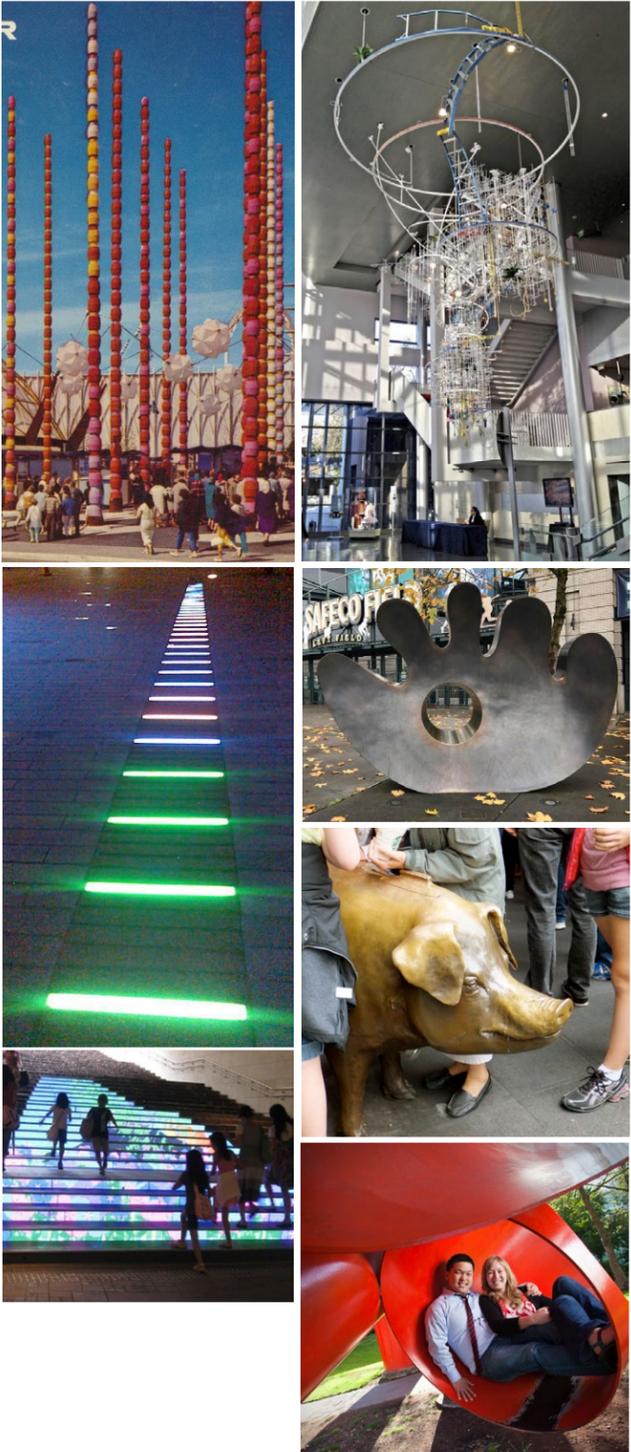
surface



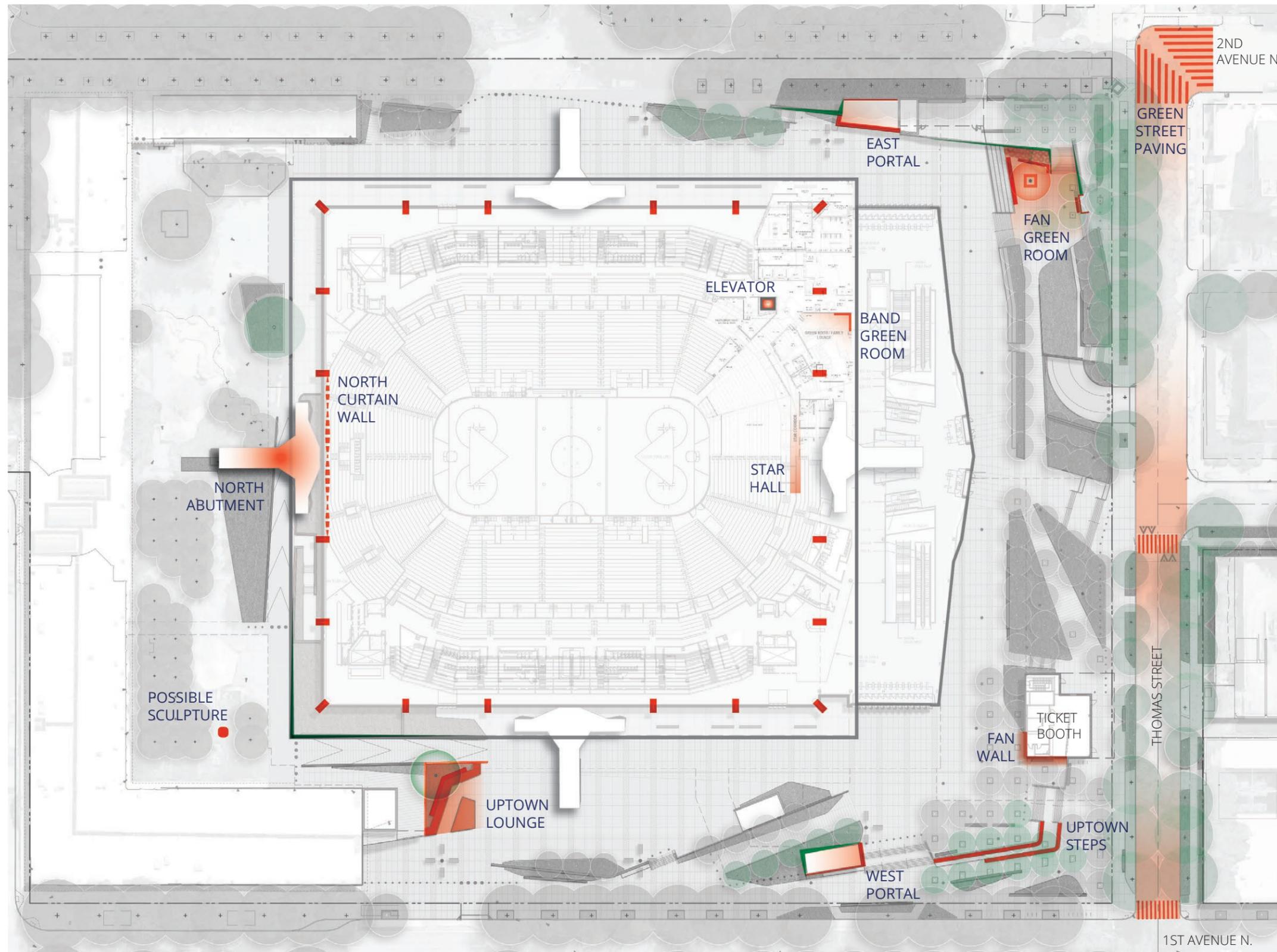
wayfinding



landmark



ART PLAN | INTEGRATED ART OPPORTUNITIES



ART LIGHTING

- Create RGB LED lighting schemes and programs for V-Columns, Roof, Trusses, North Abutment underside, and North Curtain Wall

THOMAS "GREEN STREET" PAVING:

- Enhance new paving treatments for the Thomas "Green" Street," with focal points at crosswalks on 2nd Avenue N., Warren Avenue, and 1st Avenue N.

GREEN ROOM:

- Collaborate with design team to develop unique wall, seating, lighting, paving, and planting treatments and overlays complementary to exterior "Fan Green Room" (primary site) and interior "Band Green Room" (secondary site) design framework

UPTOWN PLAZA:

- Collaborate with design team to develop unique wall, seating, lighting, paving, and planting treatments and overlays complementary to "Uptown Lounge" and "Uptown Steps" design framework

FAN WALL / STAR HALL:

- Develop wall surface treatments that incorporate interactivity with fans and stars

ARENA PORTALS:

- Develop wall surface treatments for the southeast and southwest intake structures to form portals

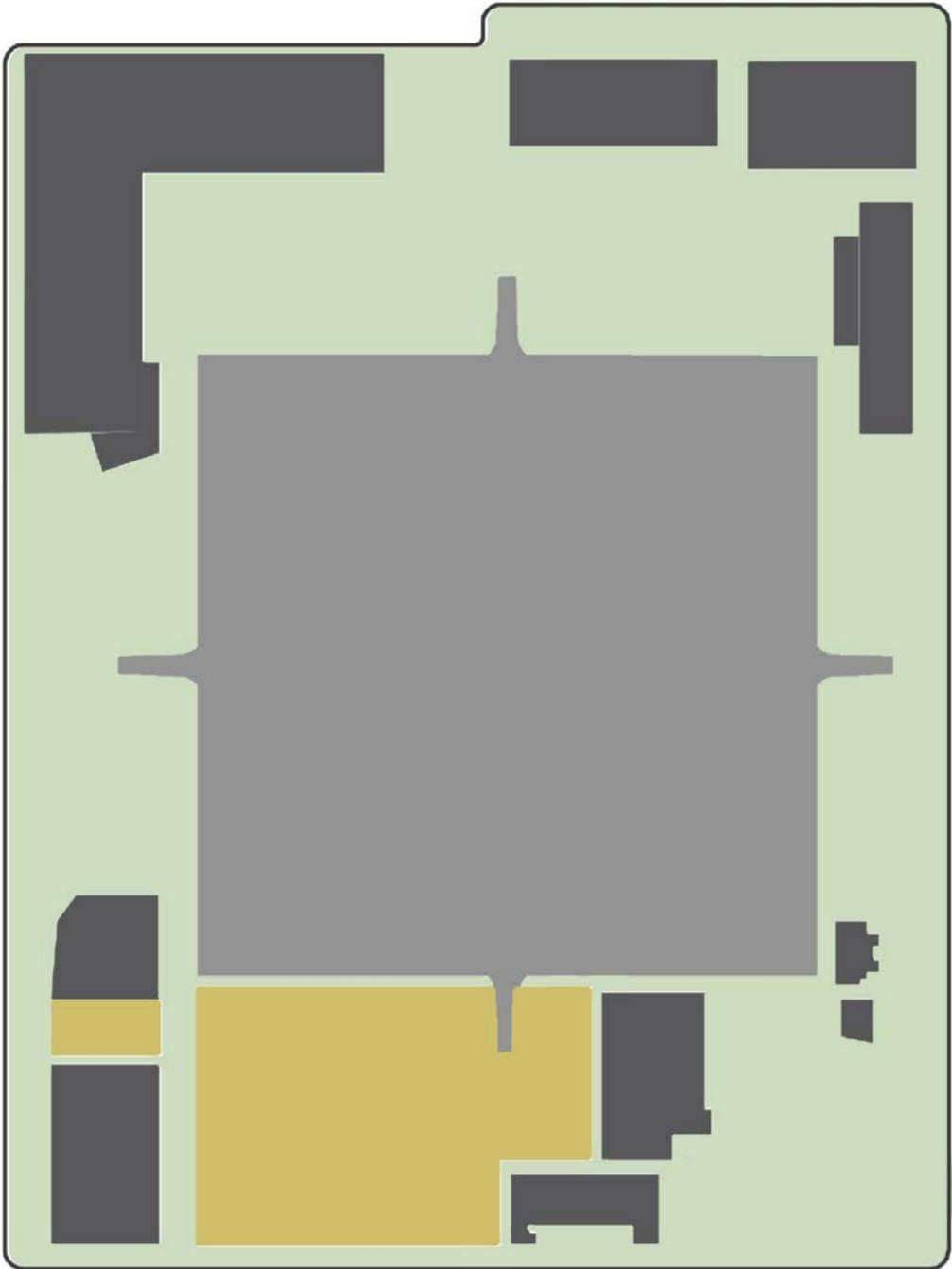
ELEVATOR EXPERIENCE:

- Develop unique lighting, audio, graphics, and media for the interiors of one or two elevators

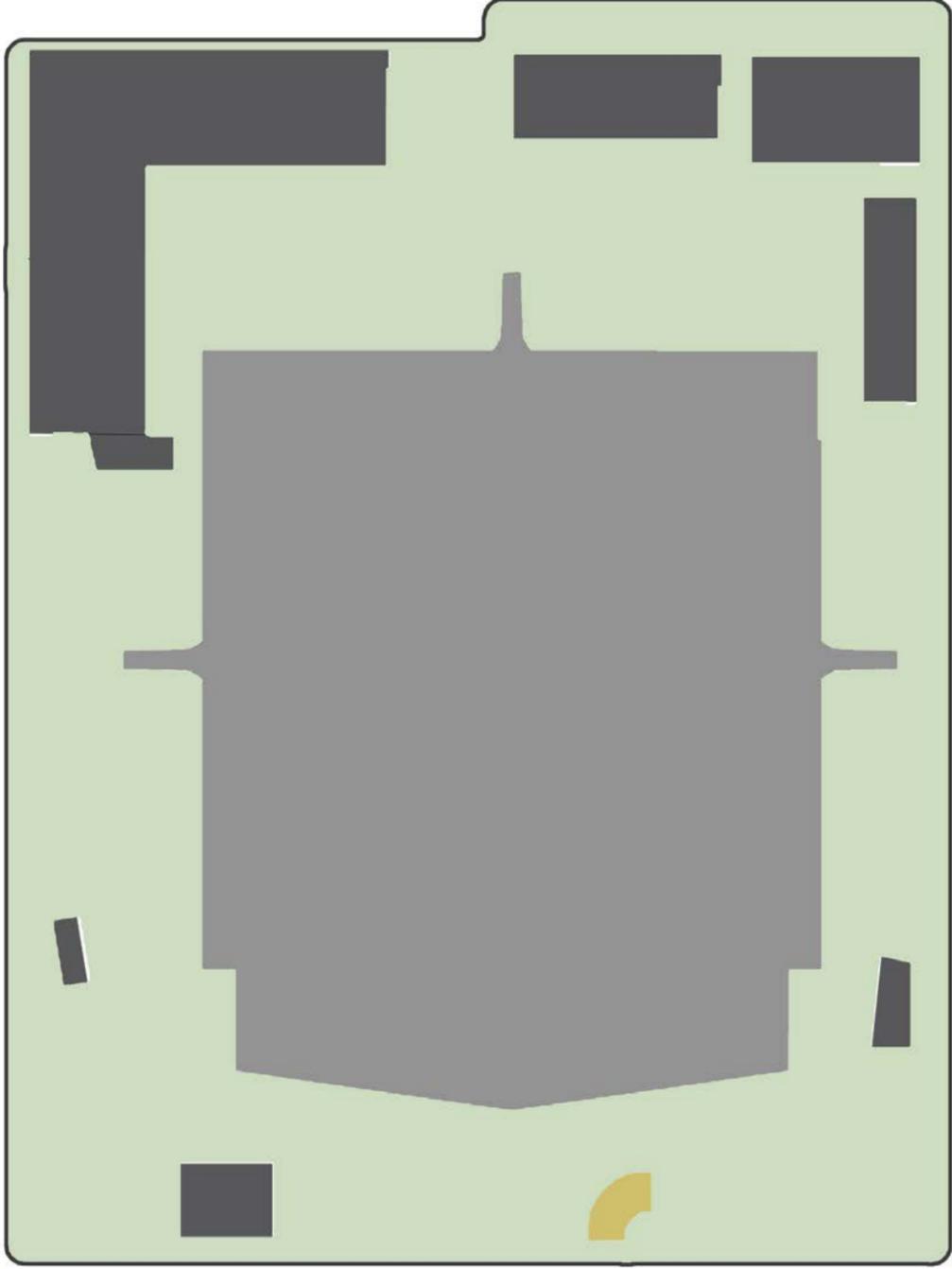
PUBLIC OPEN SPACE

EXISTING VS PROPOSED

- ARENA
- OPEN SPACE
- SERVICE AREAS
- SITE PROGRAMS



EXISTING



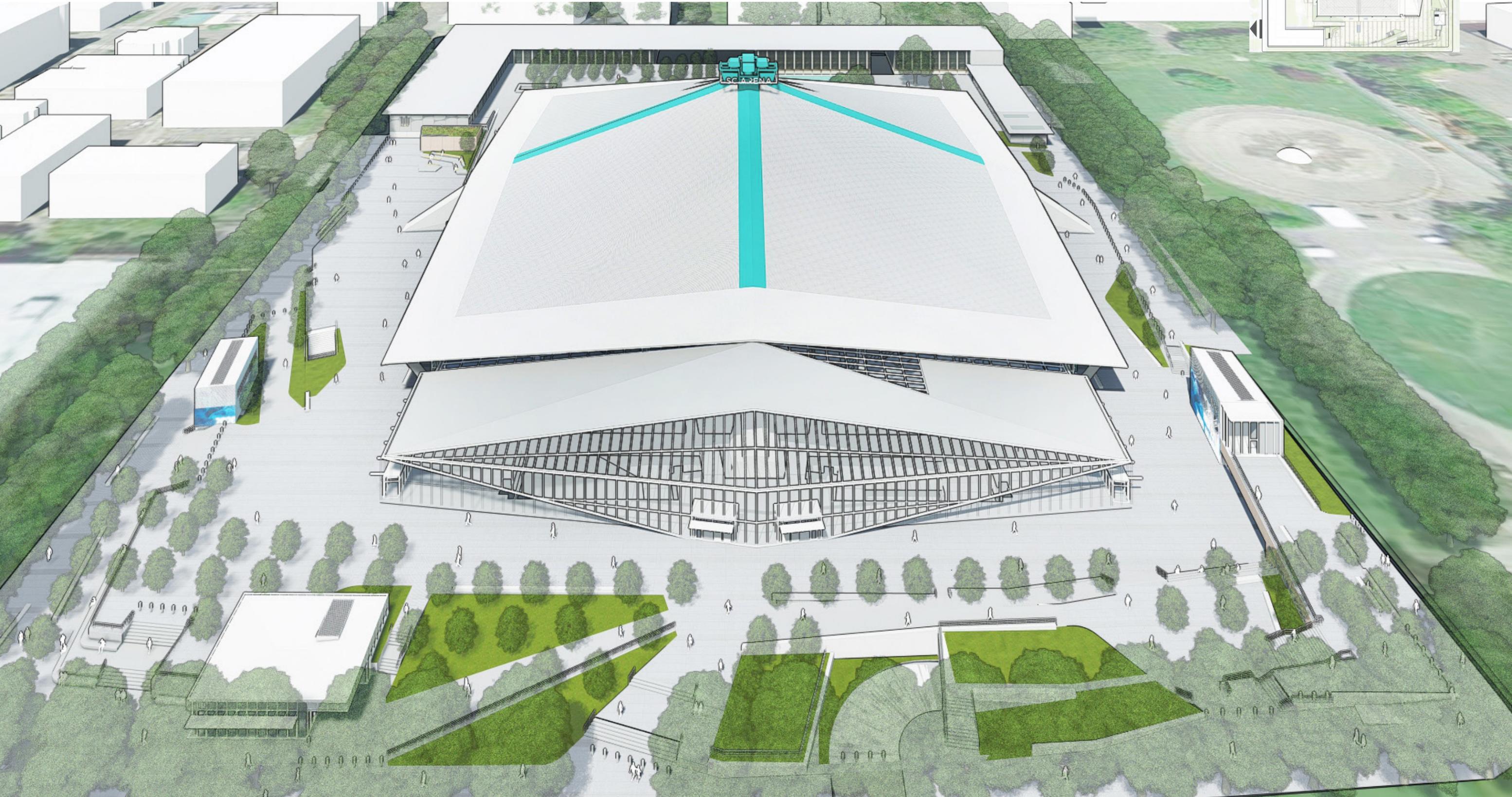
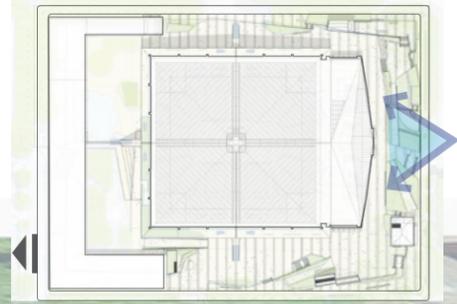
PROPOSED



SITE AERIAL

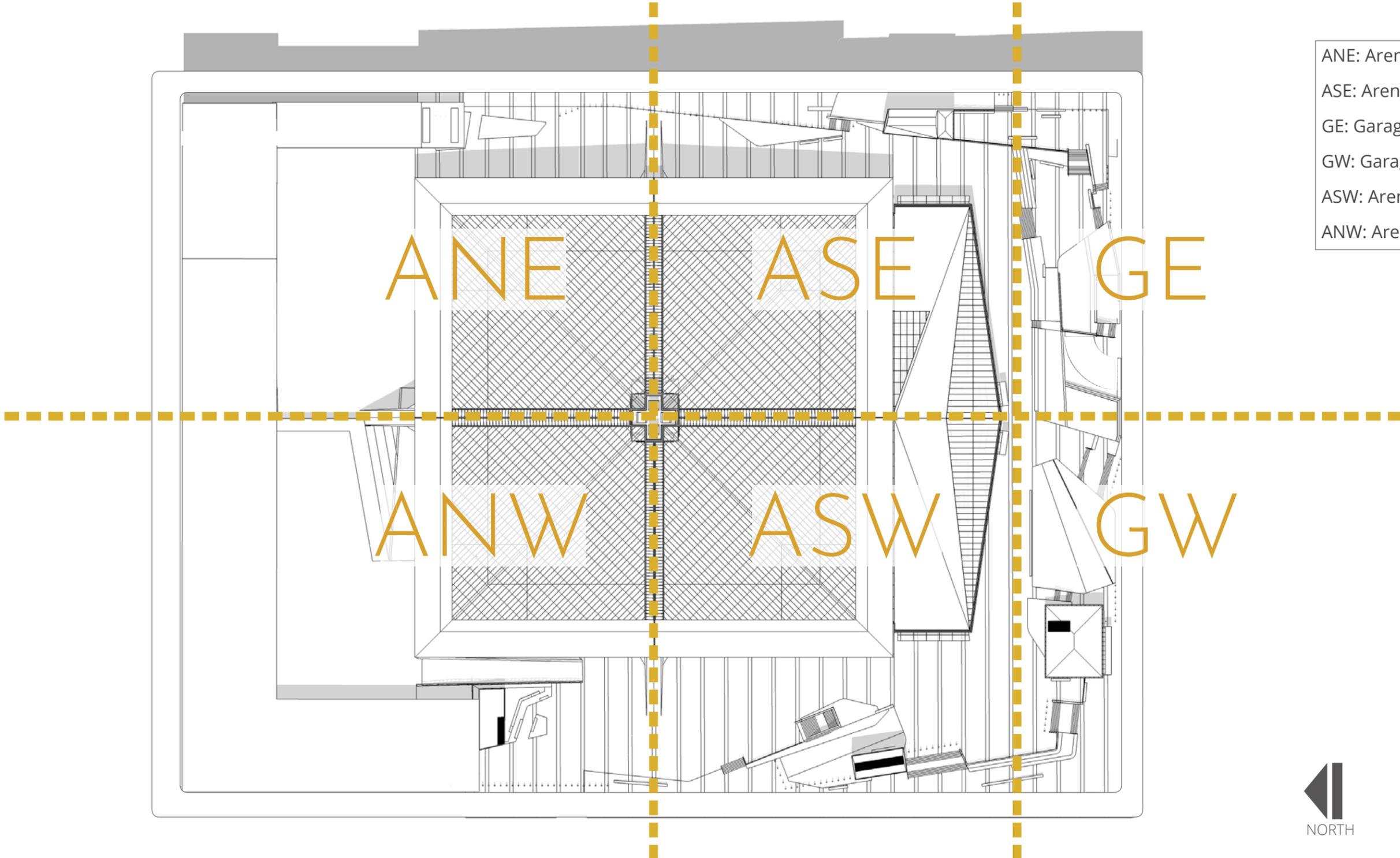
AERIAL OVERVIEW LOOKING NORTH

KEY PLAN



SITE DIAGRAM

EGRESS & MECHANICAL LAYOUT



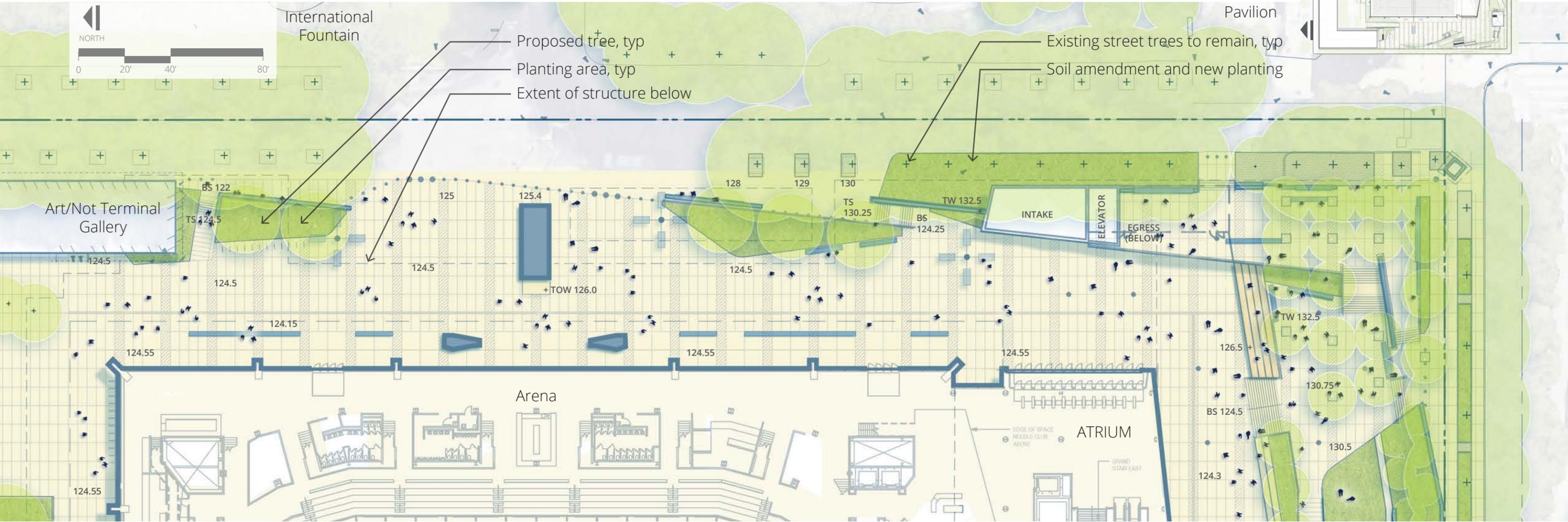
- ANE: Arena North East
- ASE: Arena South East
- GE: Garage East
- GW: Garage West
- ASW: Arena South West
- ANW: Arena North West



EAST PLAZA

ENLARGED SITE PLAN - PLANTING

KEY PLAN



TREES



Fagus sylvatica 'Rohanii'



Acer rubrum 'Karpick'

STRUCTURAL



Cornus sericea 'Midwinter Fire'



Sedum divergens

SUPPORTING



Epimedium grandiflorum



Fragaria chiloensis

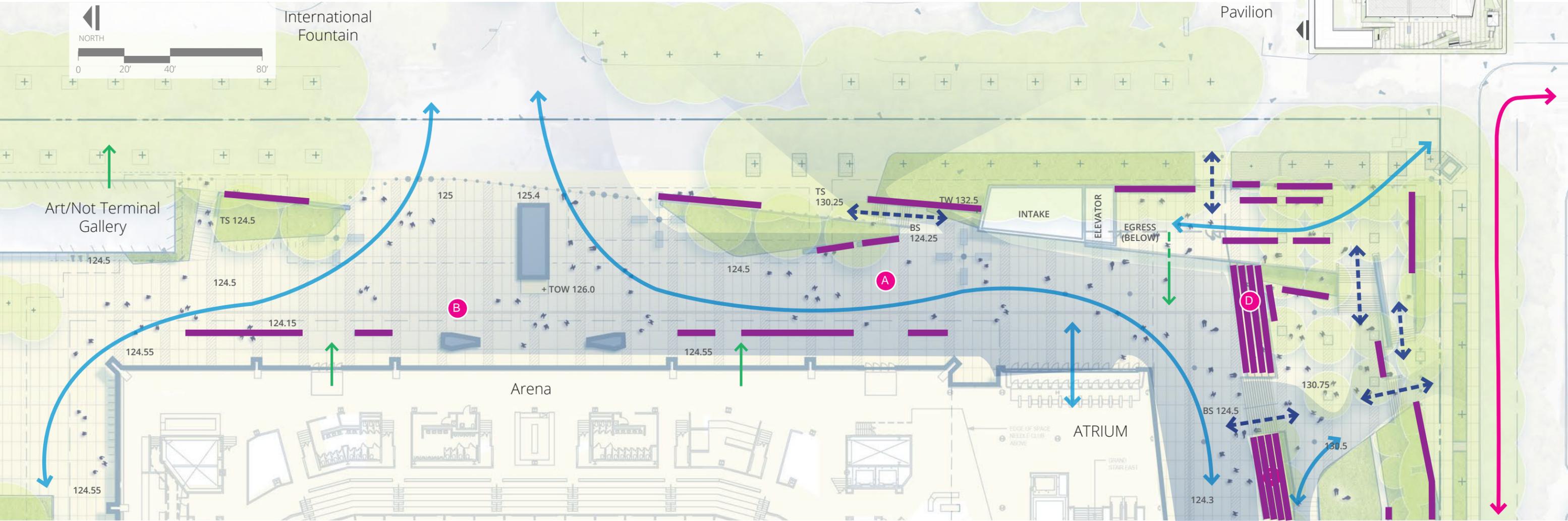
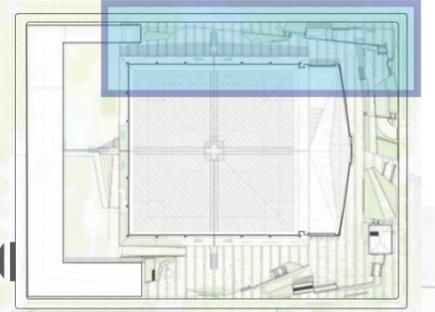


Polystichum neolobatum

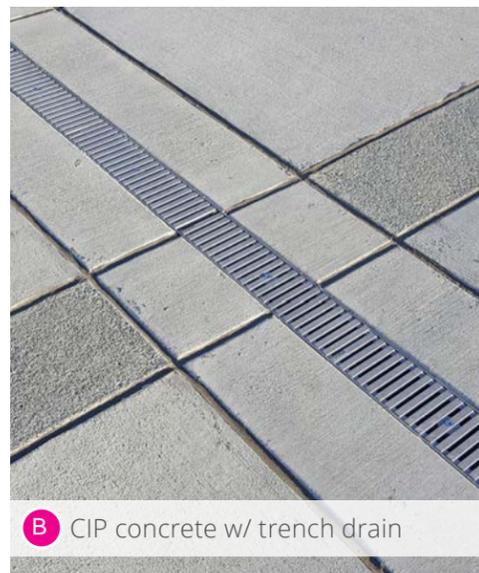
EAST PLAZA

ENLARGED SITE PLAN - CIRCULATION

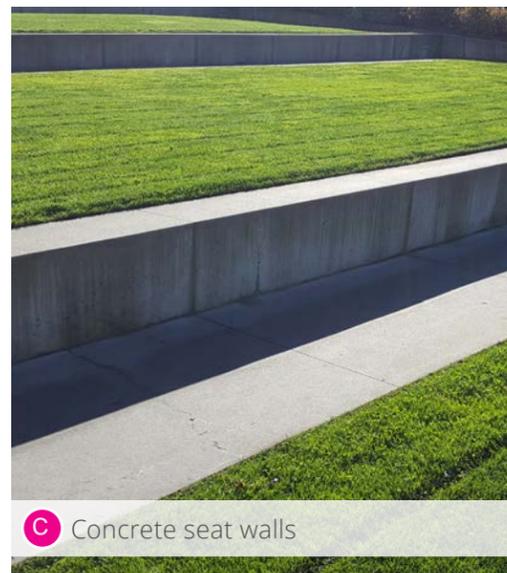
KEY PLAN



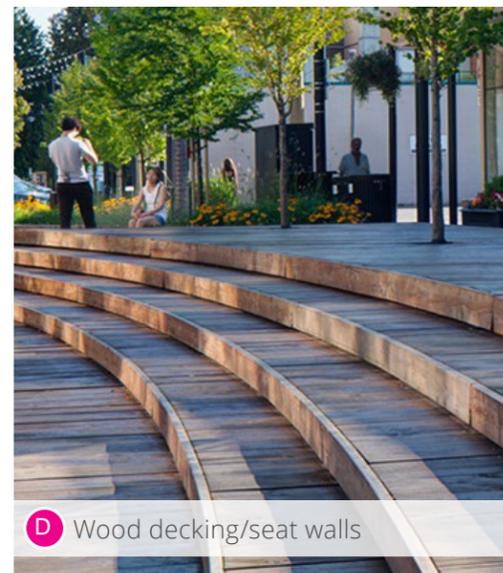
A Cast-in-place concrete w/ saw cut joints



B CIP concrete w/ trench drain



C Concrete seat walls



D Wood decking/seat walls

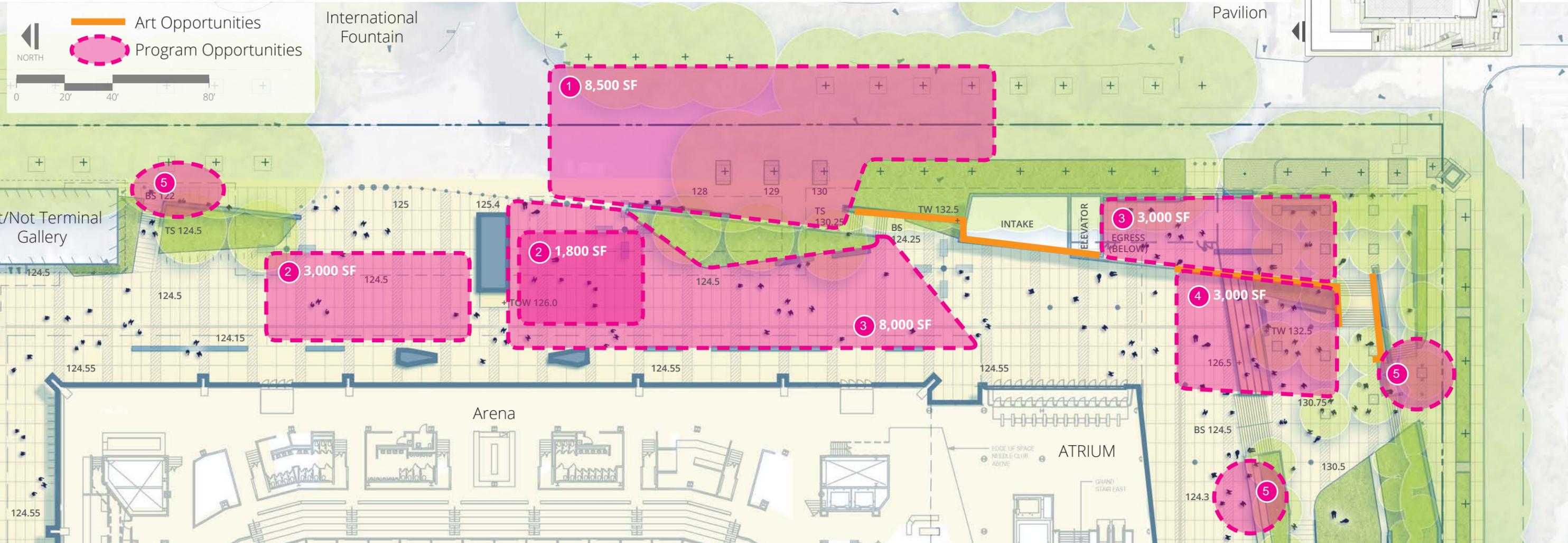
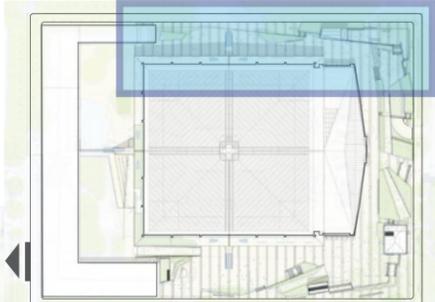
LEGEND:

- Accessible Routes
- Access with Stairs
- Arena Egress
- Vehicular Egress Route
- Thomas St. Closed to Vehicles During Events
- Access / Egress
- Site Seating

EAST PLAZA

ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES

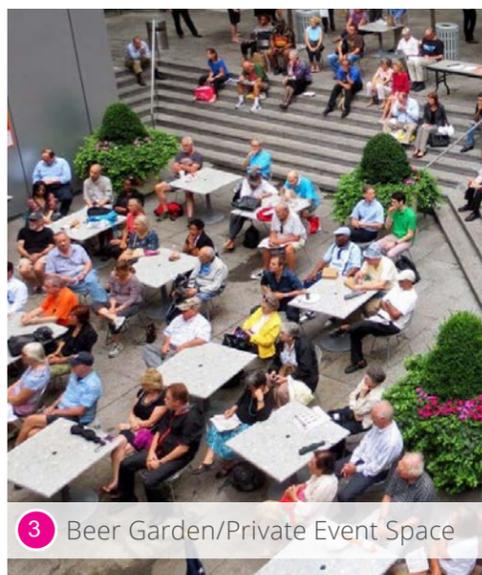
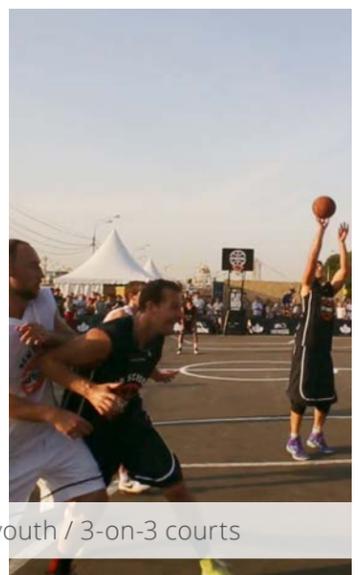
KEY PLAN



1 Existing SC Food Trucks/Vendors and Tables



2 Ball Hockey or Basketball - youth / 3-on-3 courts



3 Beer Garden/Private Event Space



4 Amphitheater Performance Space

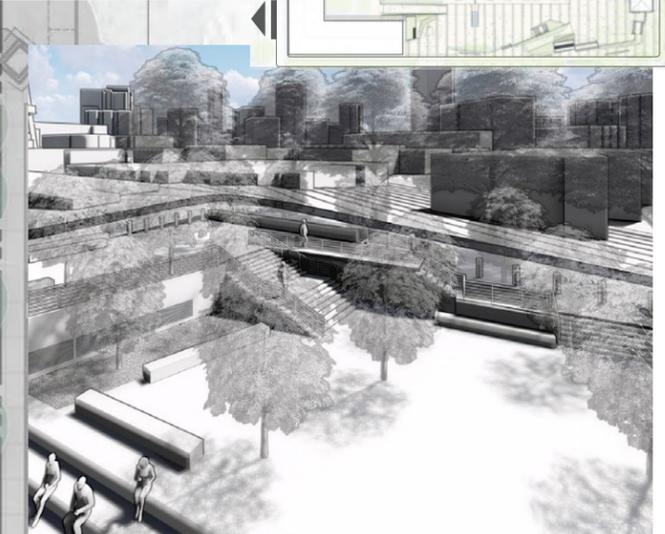
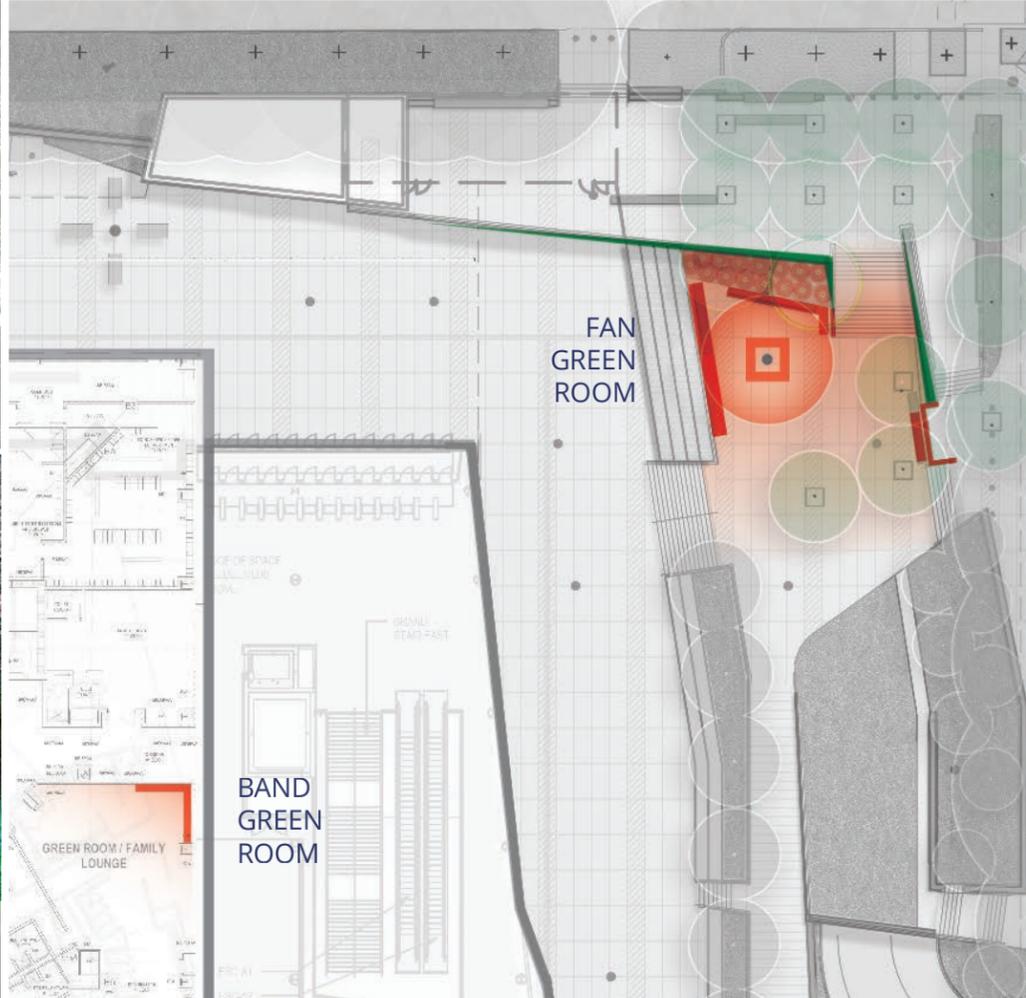
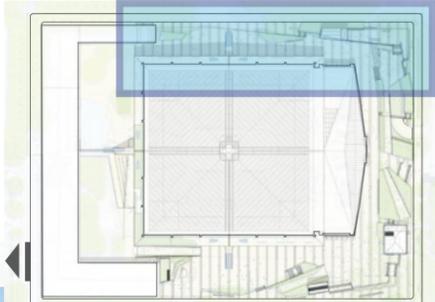


5 Informal Performance Space

ART PLAN | GREEN ROOM

EAST PLAZA

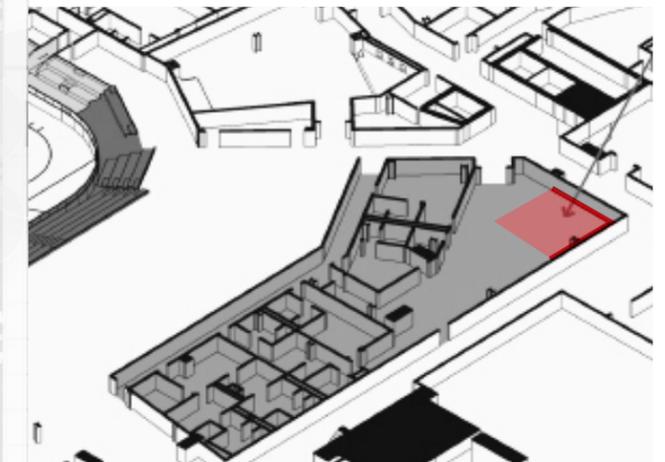
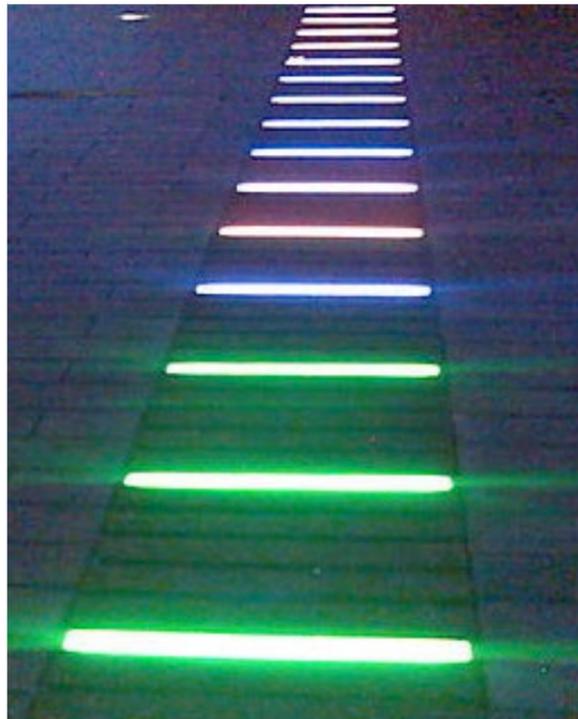
KEY PLAN



- Hyperreal, theatrical version of Pacific Northwest environment
- Passive, lounge vibe
- Two sites: interior for performers and exterior for fans
- Draw connections between audience and performers Art overlay onto walls, seats, lighting, paving, and planting
- Gathering spaces for before and after events, and non-event days
- \$450,000 art funds, supplemental to plaza and interior budgets



FAN GREEN ROOM (EXTERIOR SITE)



BAND GREEN ROOM (INTERIOR SITE)

ANE | SITE ANALYSIS

CURRENT PHOTOGRAPHS

VIEW LOOKING WEST

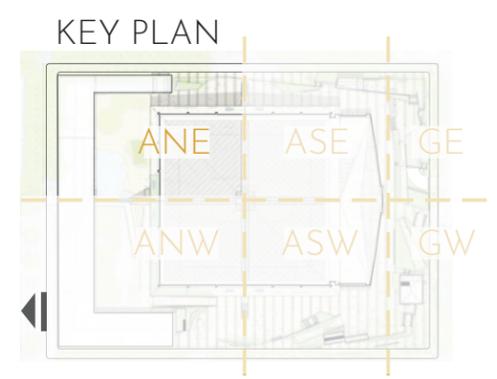


Source: Seattle Center

VIEW LOOKING NORTHWEST



Source: BOLA ARCHITECTURE + PLANNING

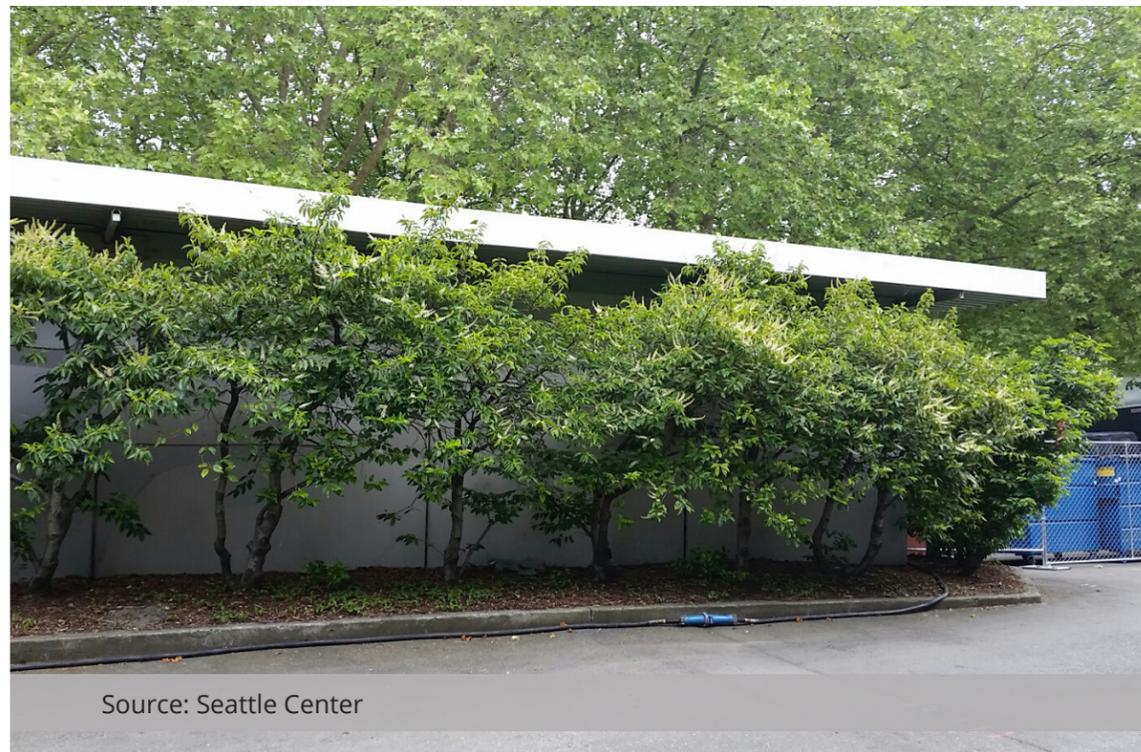


VIEW LOOKING NORTH AT SOUTH FACADE



Source: BOLA ARCHITECTURE + PLANNING

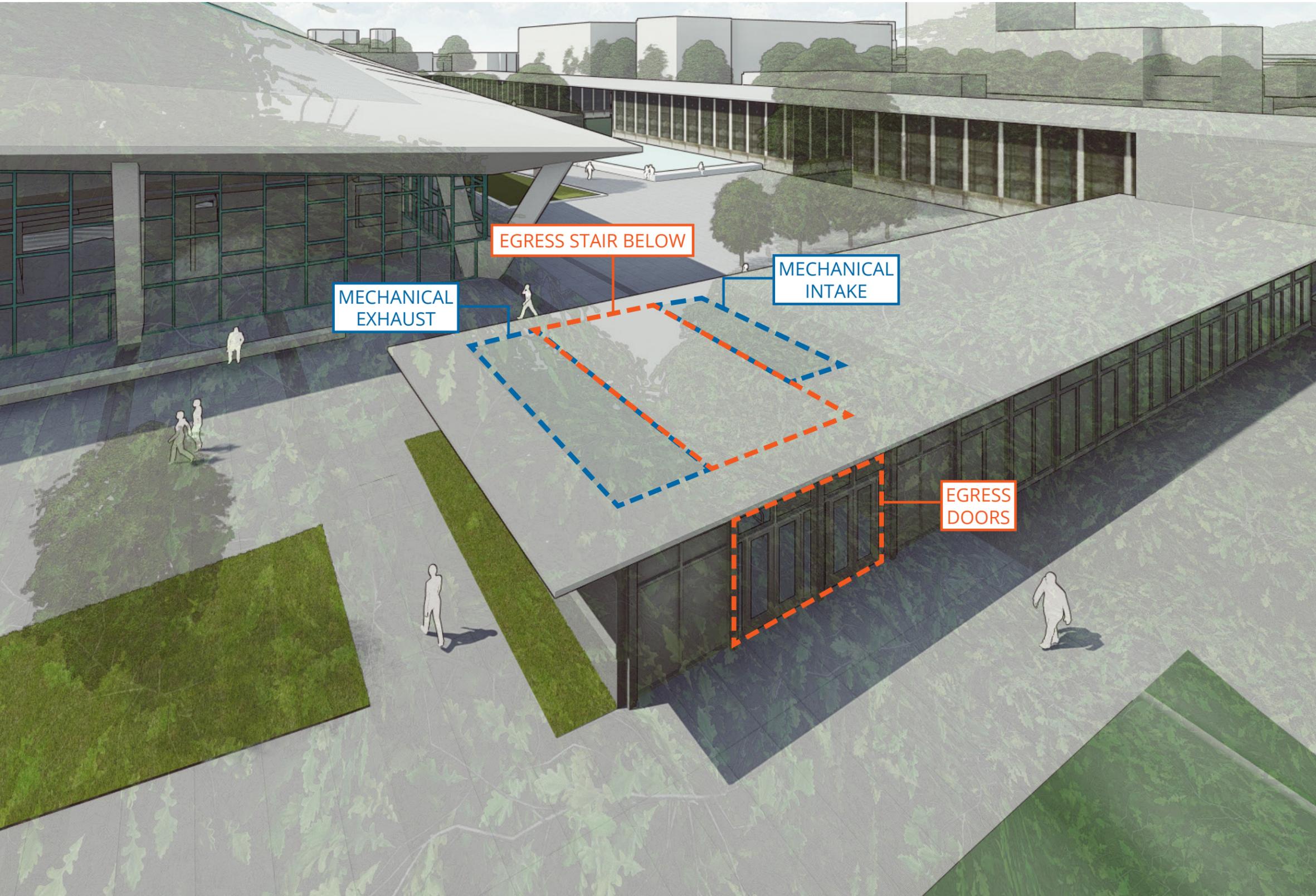
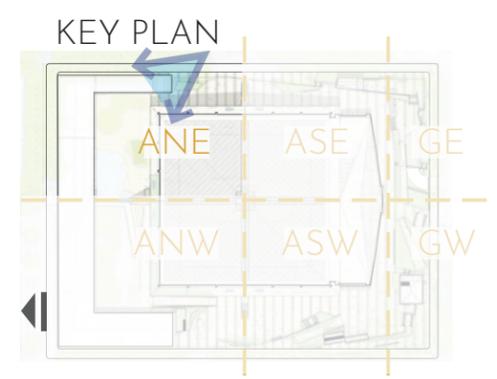
VIEW LOOKING EAST AT WEST FACADE



Source: Seattle Center

ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTHWEST

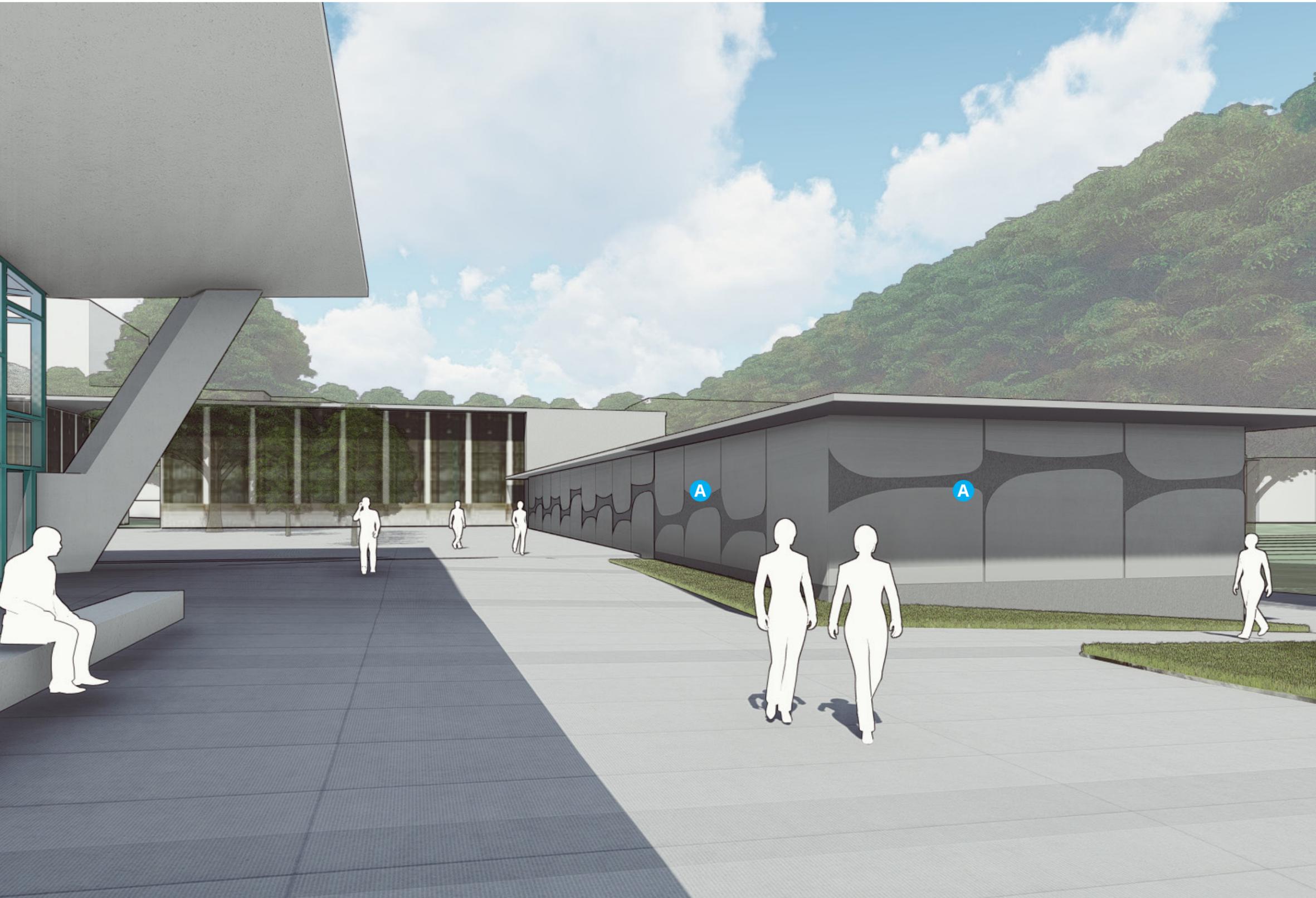
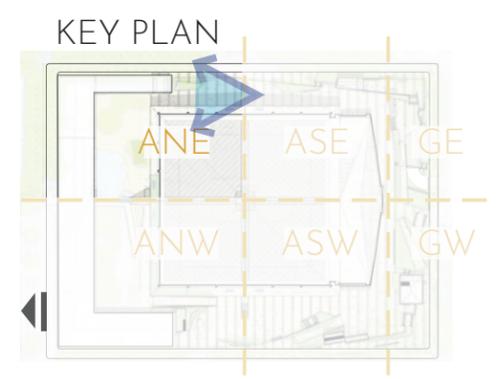


ANE DESCRIPTION:

- DECONSTRUCT 40' (4 BAYS) OF THE SOUTH END OF THE IFP
- BUILD NEW ARENA MECHANICAL INTAKE & EXHAUST TOWERS, AND ARENA EGRESS (TOTALS 40' OF NEW BUILDING FOOTPRINT)
- RECONSTRUCT 40' (4 BAYS) OF FAÇADE TO ENCLOSE NEW MECH/EGRESS, UTILIZING EXISTING THIRY PANELS (SOUTH AND WEST FAÇADES), AND STOREFRONT GLAZING & EGRESS DOORS (EAST FAÇADE)
- CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE

ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTH



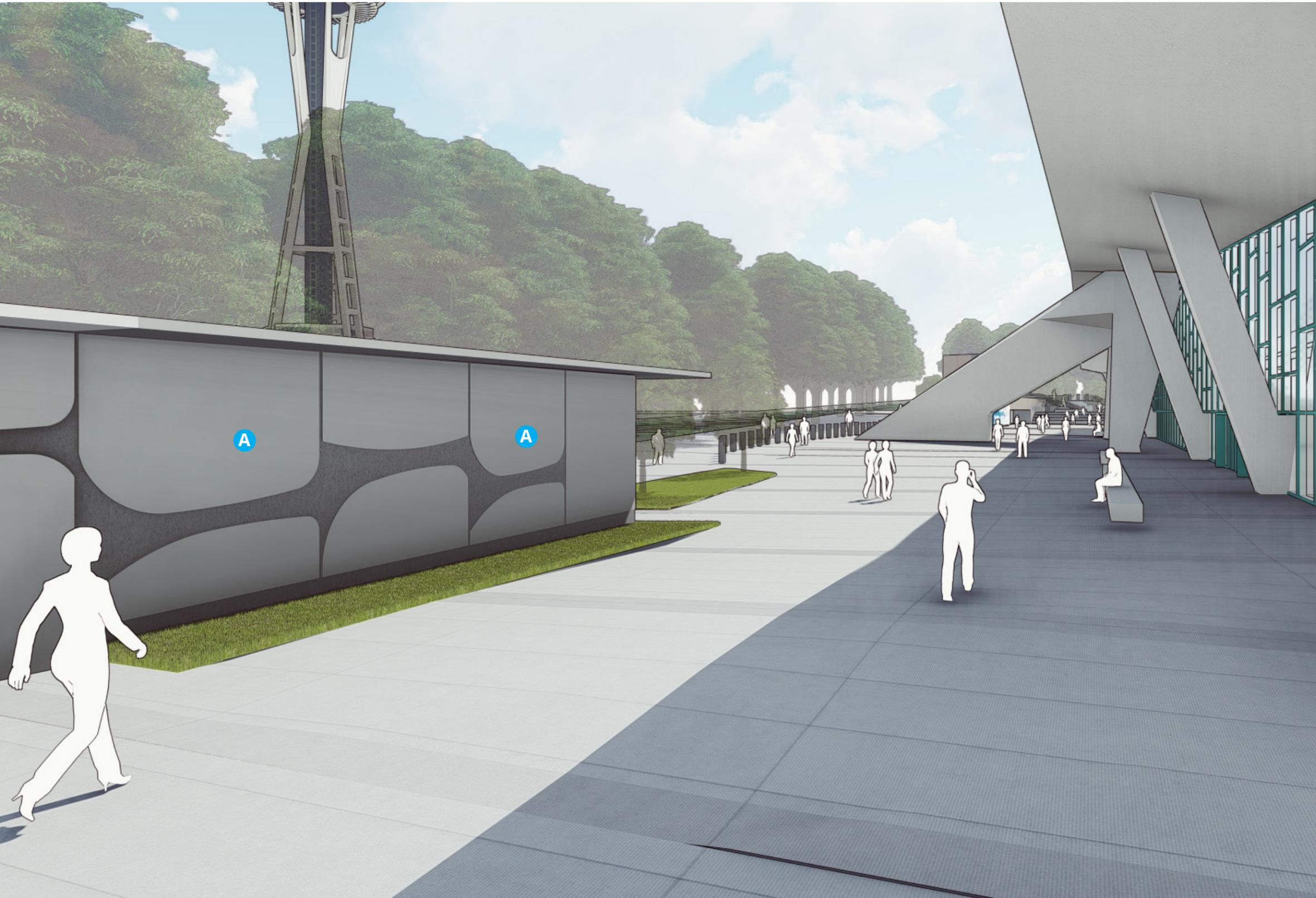
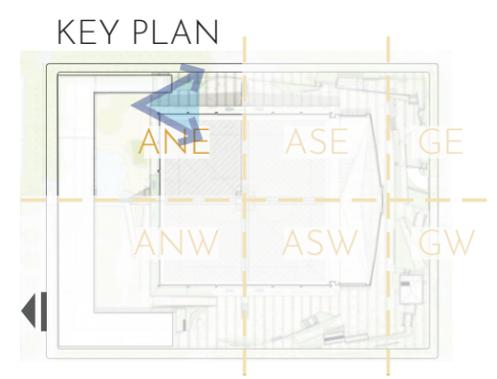
A THIRY PANELS



B STOREFRONT GLAZING

ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING SOUTHEAST



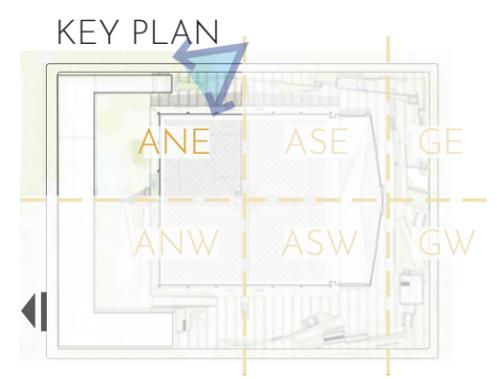
A THIRY PANELS



B STOREFRONT GLAZING

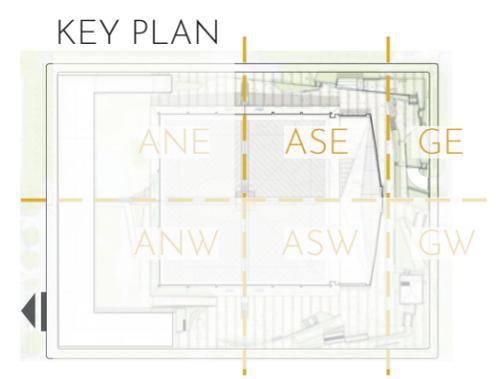
ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING WEST



GE & ASE | SOUTHEAST EGRESS & MECHANICAL

ARCHITECTURAL PRECEDENT



SEATTLE CENTER FISHER PAVILION

BUILDING HEIGHT:

- WHEN MEASURED FROM FISHER VIEWING DECK: 25'-0"
- WHEN MEASURED FROM 2ND AVE GRADE: 33'-6"

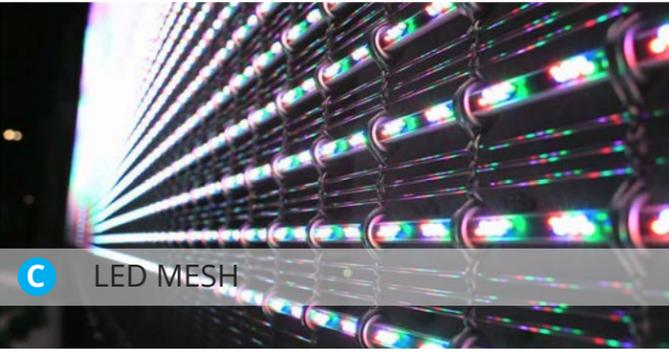
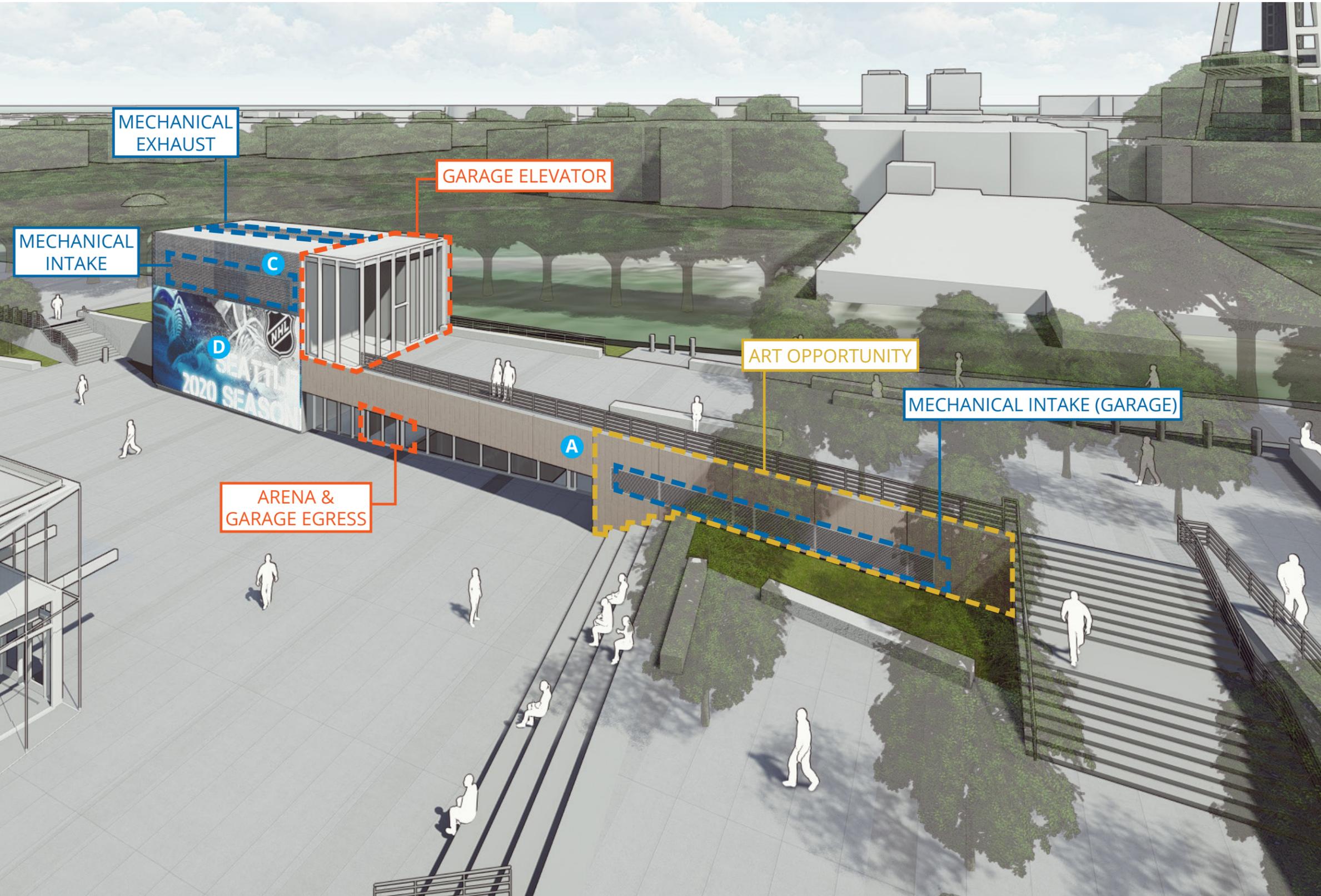
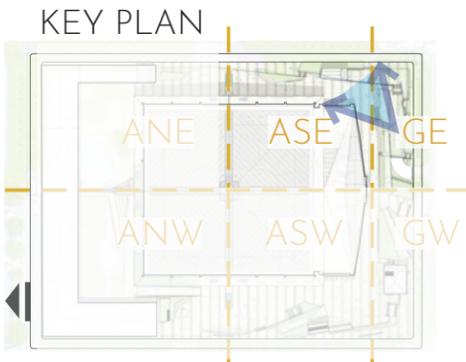
MATERIALS:

- EXPOSED CAST-IN-PLACE CONCRETE
- ALUMINUM & GLASS STOREFRONT SYSTEM
- PERFORATED, CORRUGATED PREFINISHED ARCHITECTURAL PANELS
- PAINTED STEEL LOUVERS
- ATTACHED PAINTED STEEL CANOPY FRAMING WITH ALUMINUM & GLASS ROOF



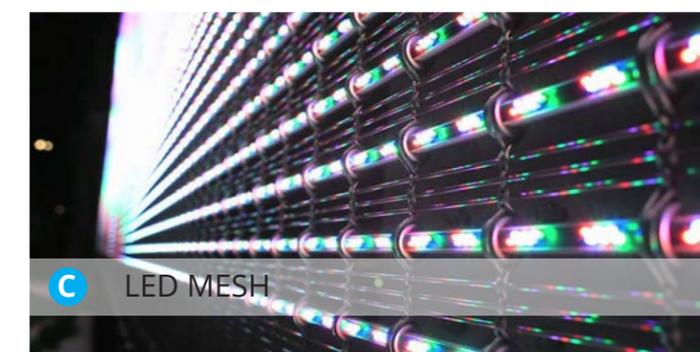
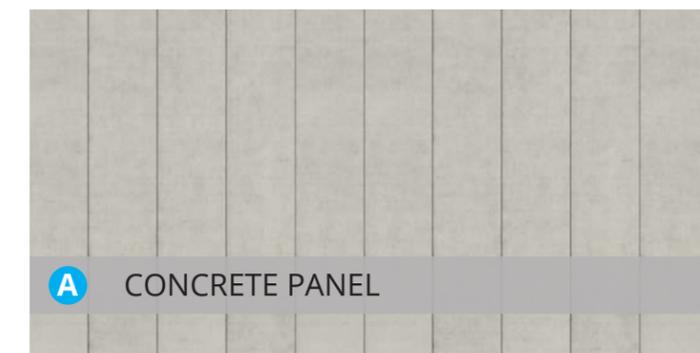
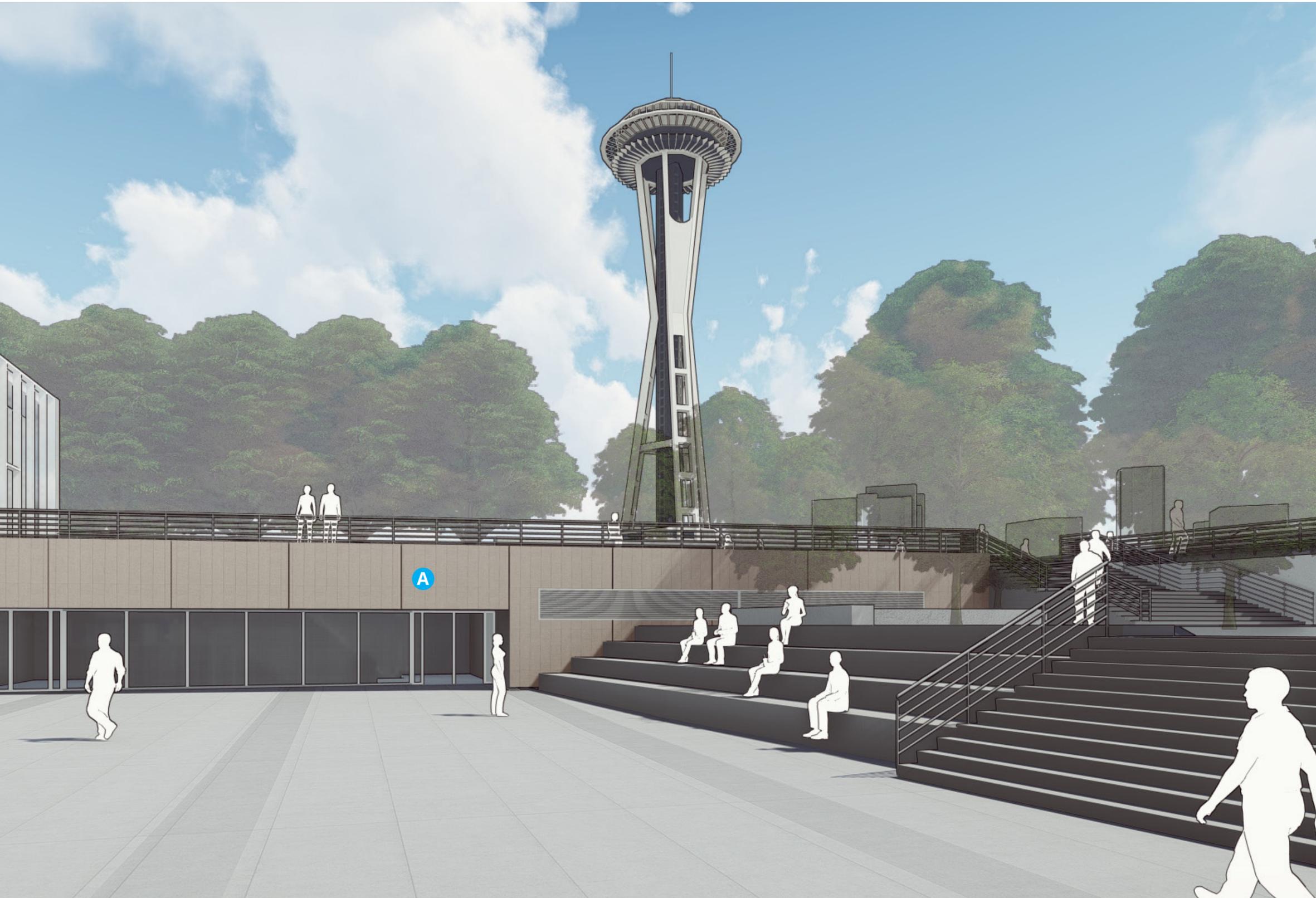
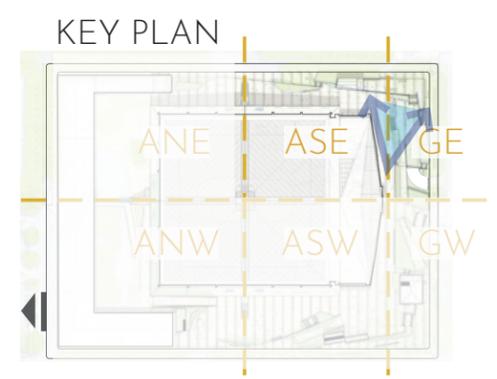
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING EAST



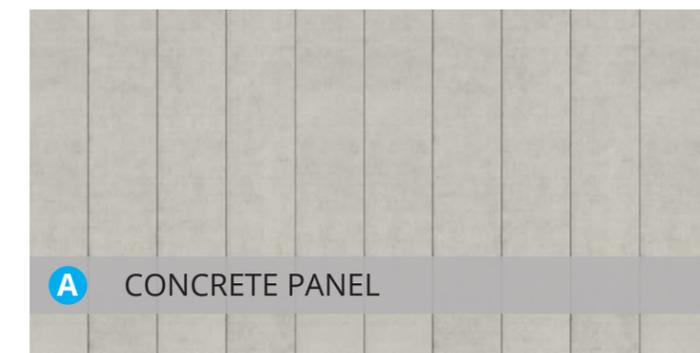
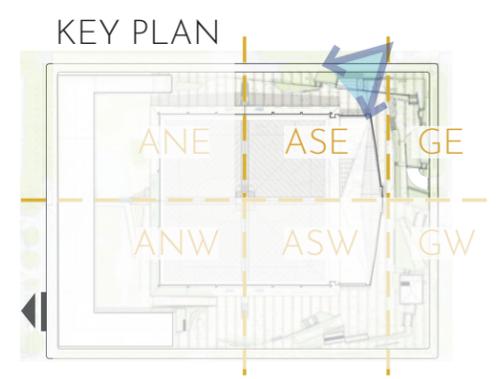
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN VIEW LOOKING EAST



GE & ASE | SOUTHEAST EGRESS & MECHANICAL

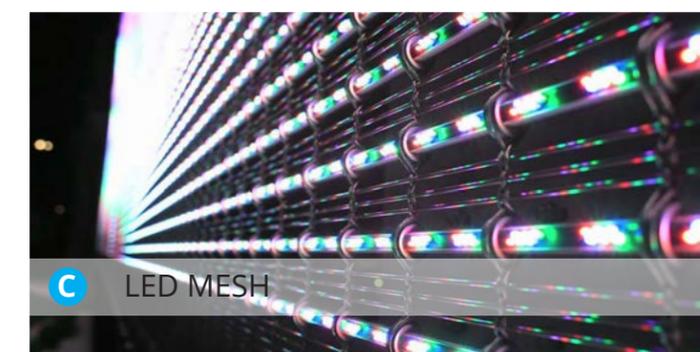
PROPOSED DESIGN VIEW LOOKING NORTH



A CONCRETE PANEL



B VINE WALL



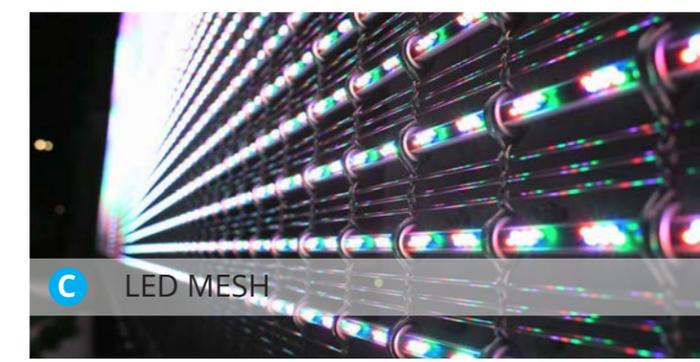
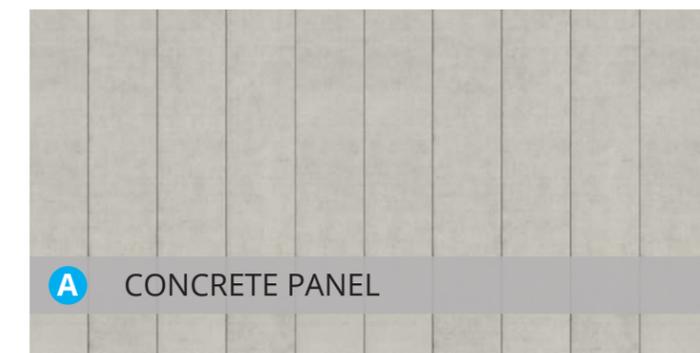
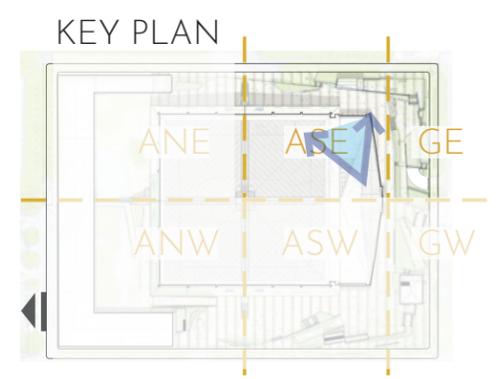
C LED MESH



D LED PANEL

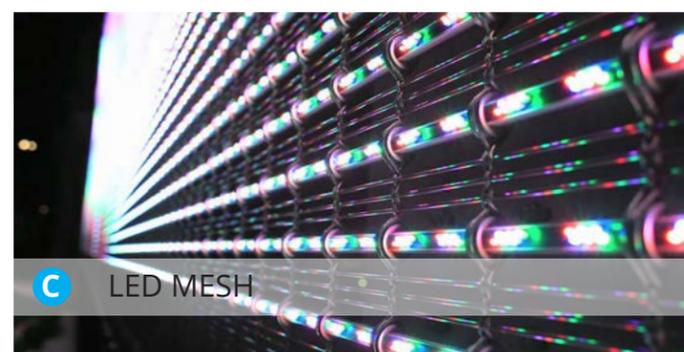
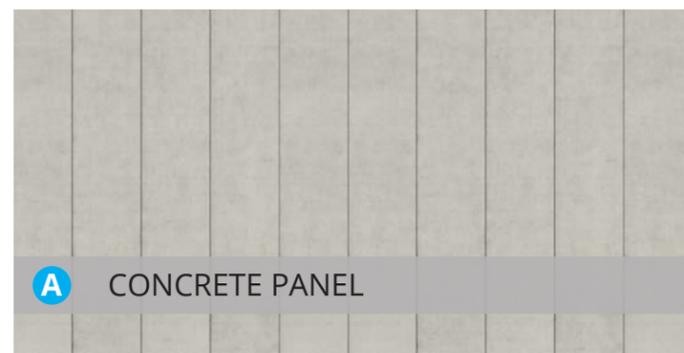
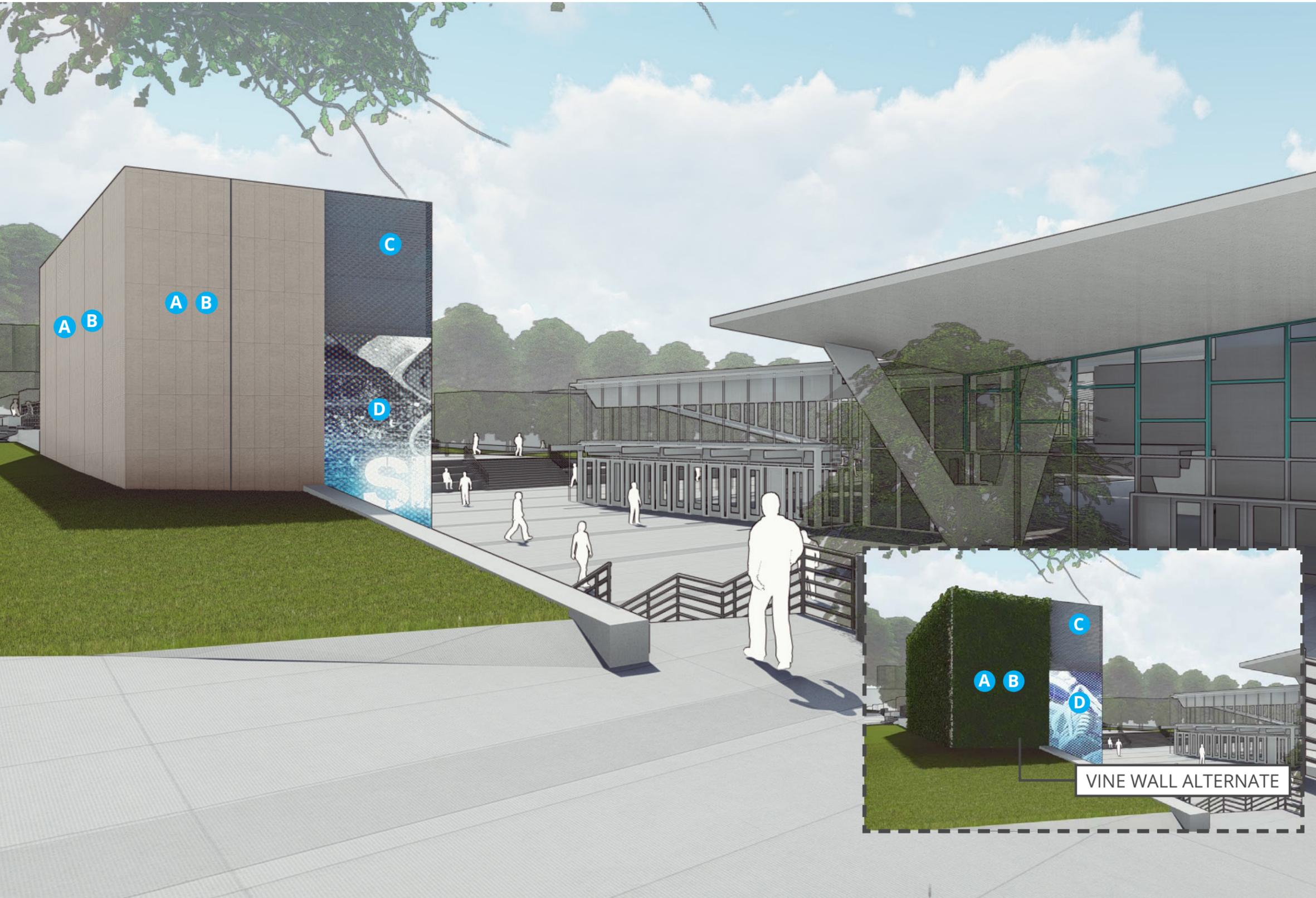
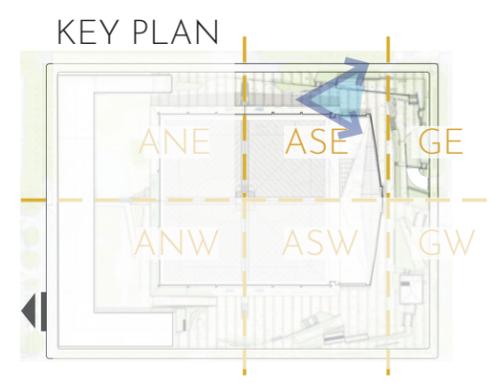
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTHEAST



GE & ASE | SOUTHEAST EGRESS & MECHANICAL

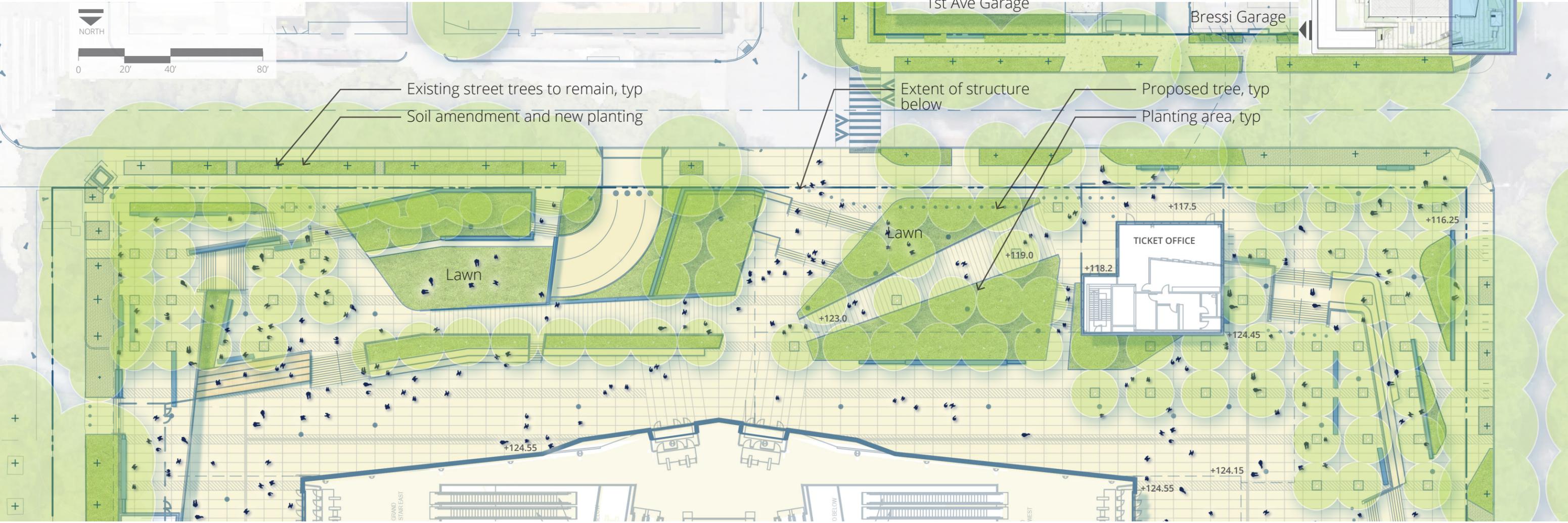
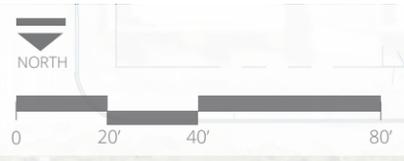
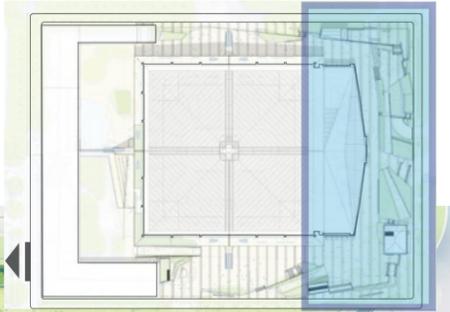
PROPOSED DESIGN - VIEW LOOKING SOUTH



SOUTH PLAZA

ENLARGED SITE PLAN - PLANTING

KEY PLAN



TREES



Acer griseum



Parrotia persica

STRUCTURAL



Parthenocissus tricuspidata



Lonicera pileata



Hydrangea quercifolia

SUPPORTING



Dryopteris erythrosora

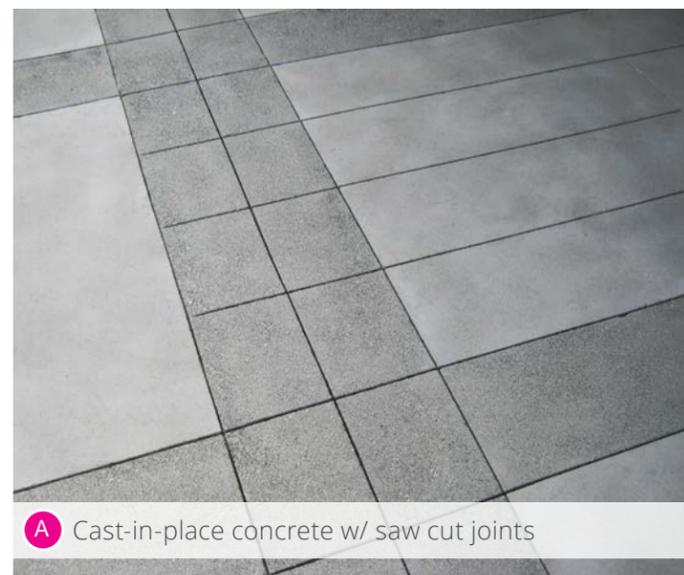
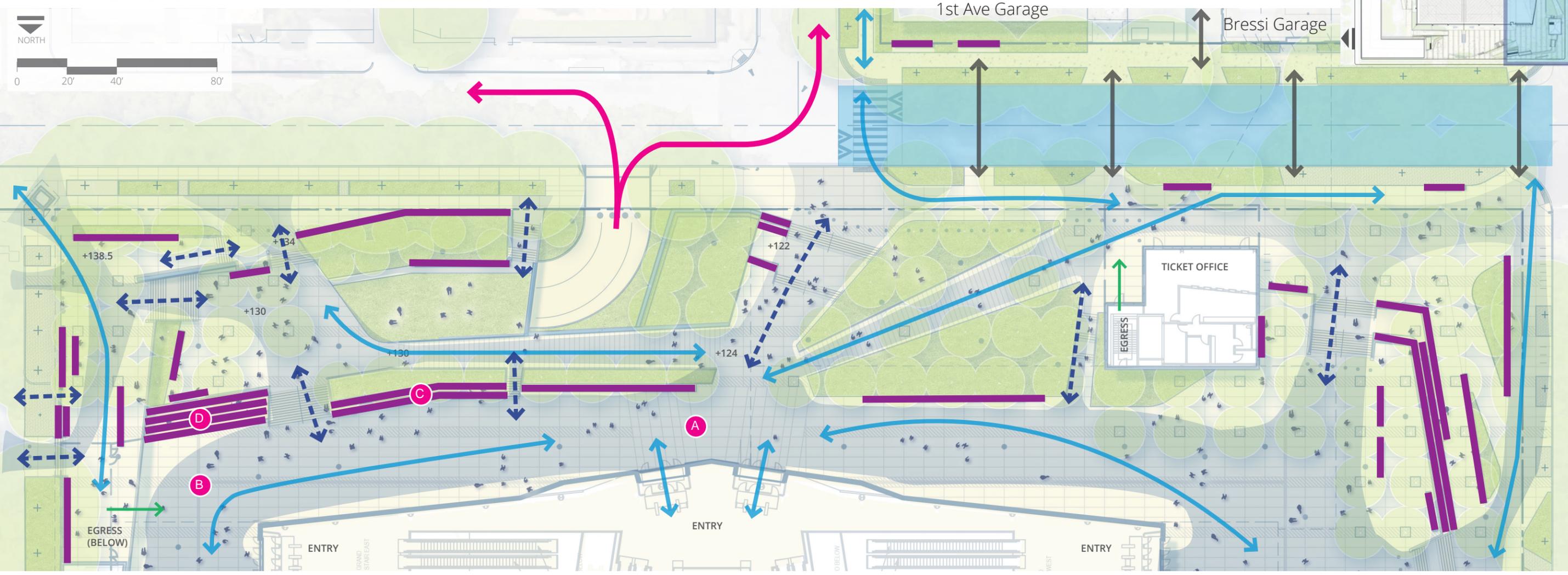
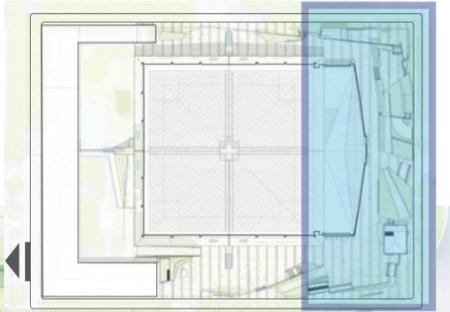


Blechnum spicant

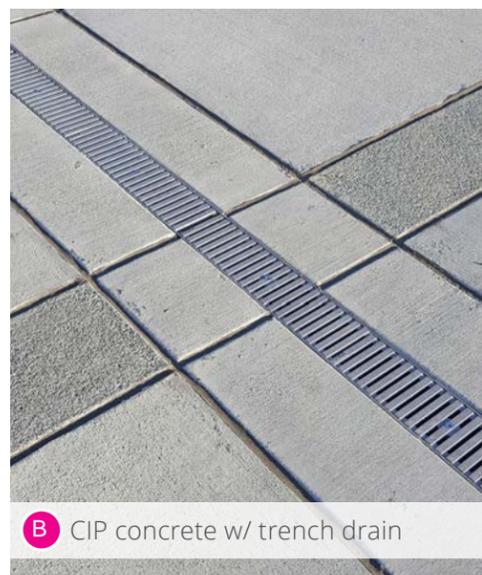
SOUTH PLAZA

ENLARGED SITE PLAN - CIRCULATION

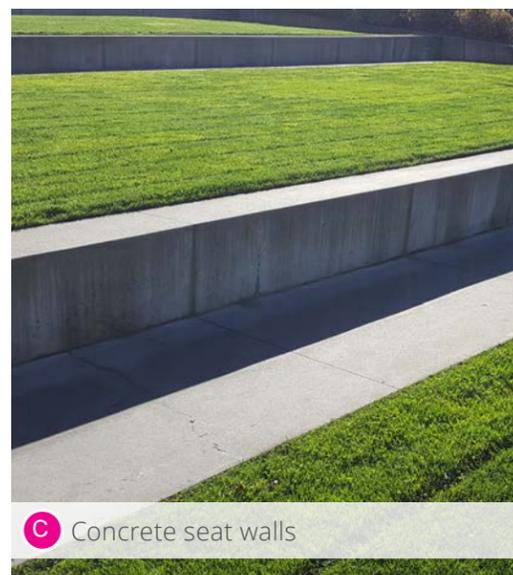
KEY PLAN



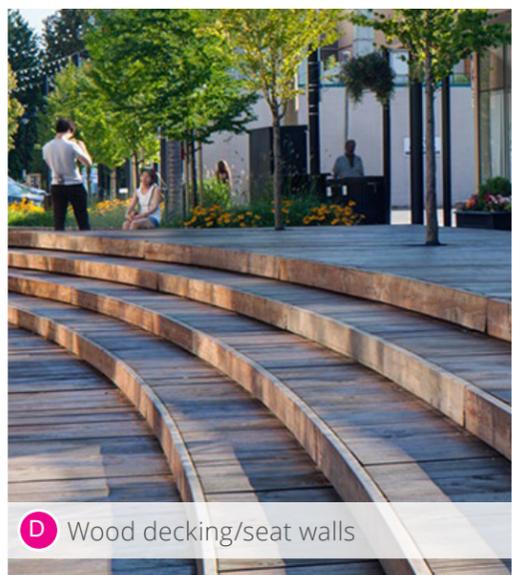
A Cast-in-place concrete w/ saw cut joints



B CIP concrete w/ trench drain



C Concrete seat walls



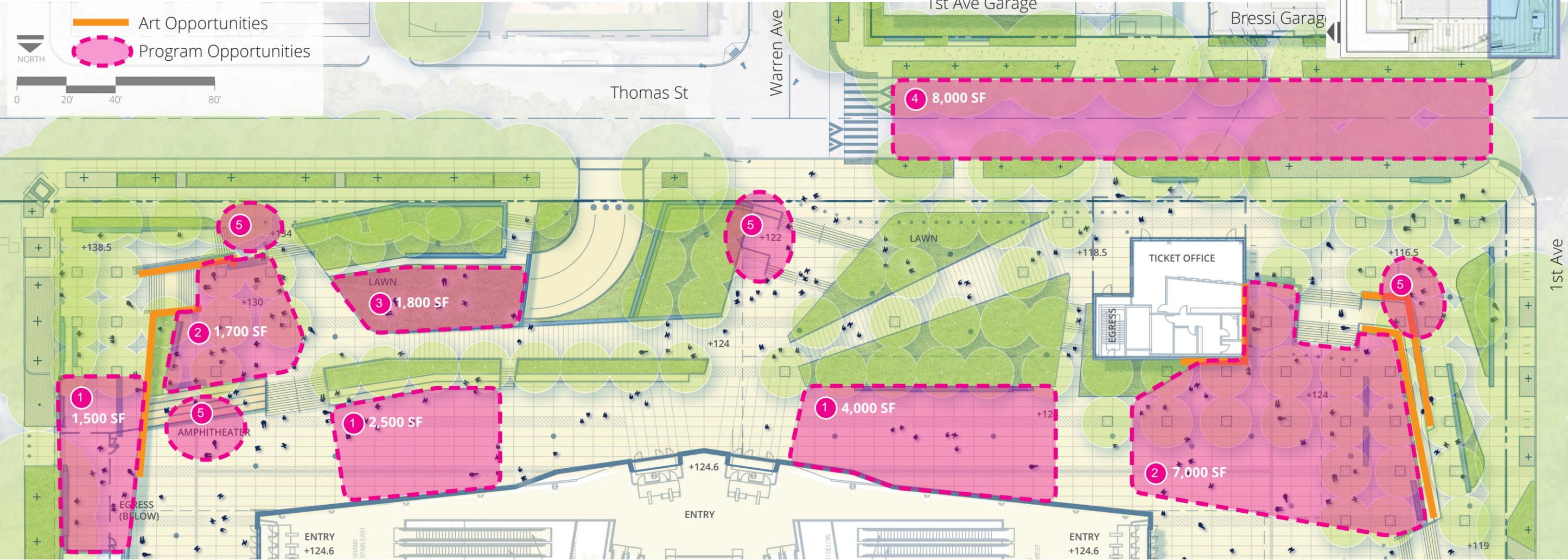
D Wood decking/seat walls

LEGEND:

- Accessible Routes
- Access with Stairs
- Arena Egress
- Vehicular Egress Route
- Thomas St. Closed to Vehicles During Events
- Access / Egress
- Site Seating

SOUTH PLAZA

ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES



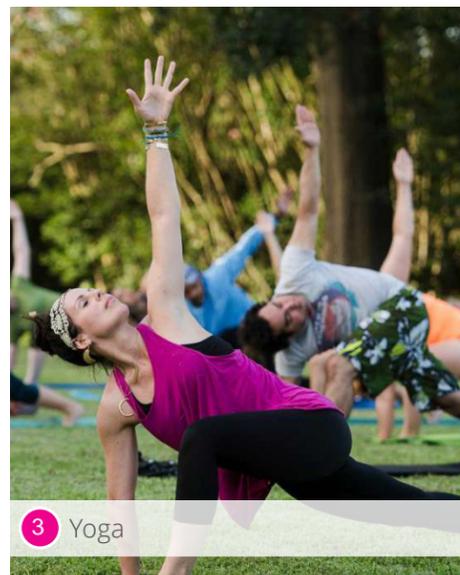
1 Ball Hockey or Basketball - youth / 3-on-3 courts



2 Beer Garden



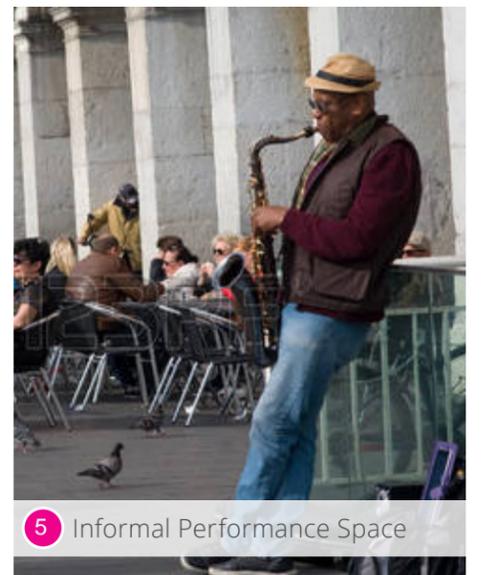
3 Yoga



4 Street Hockey/Basketball Tournament Space



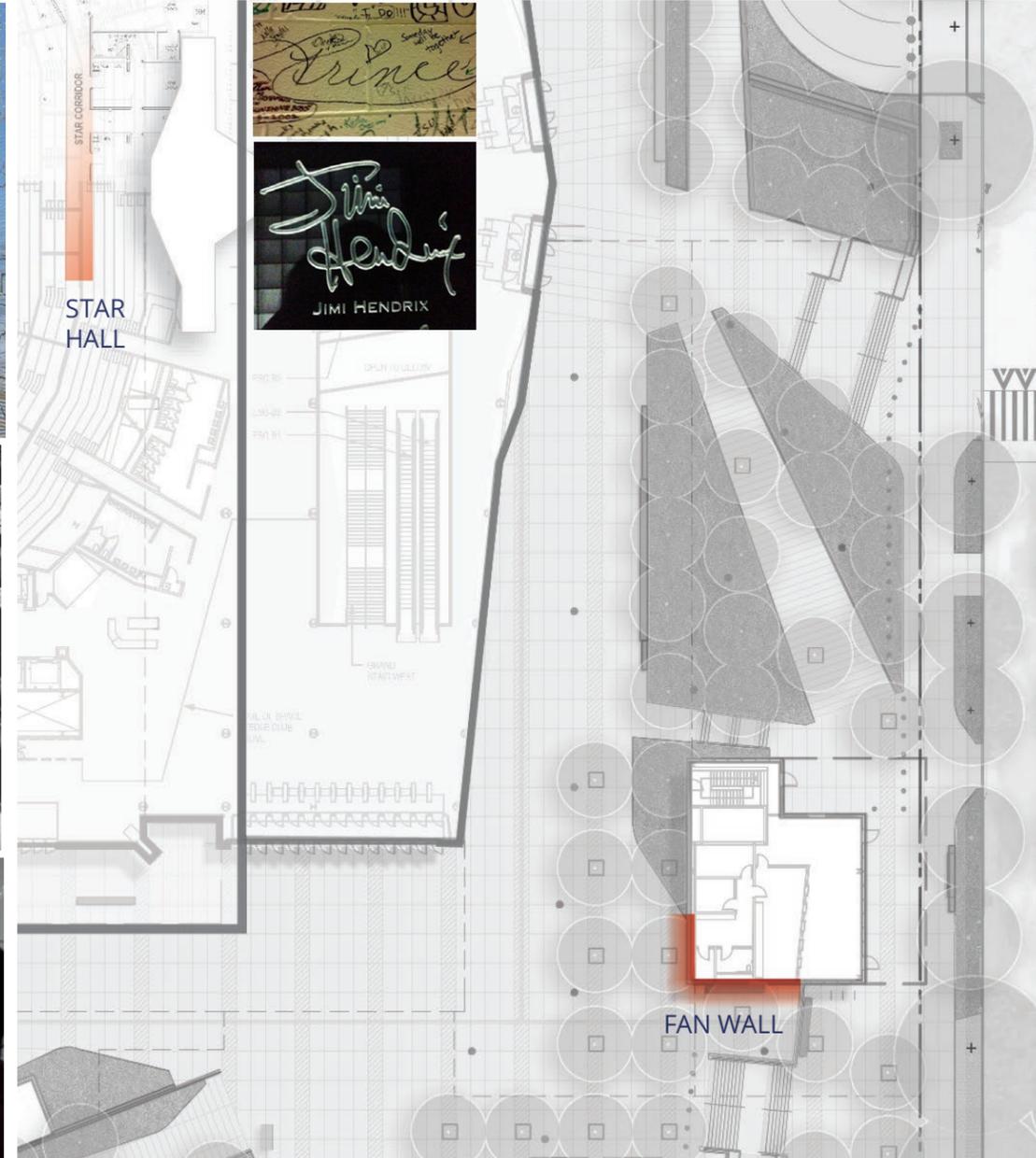
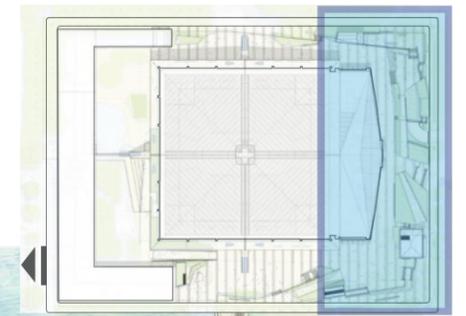
5 Informal Performance Space



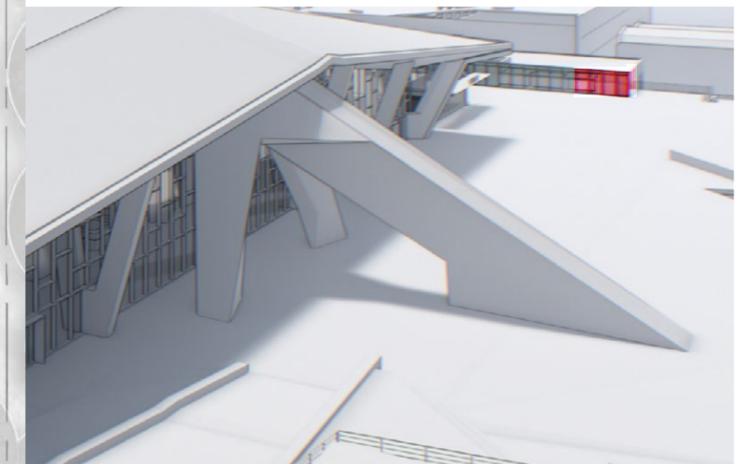
ART PLAN | FAN WALLS

SOUTH PLAZA

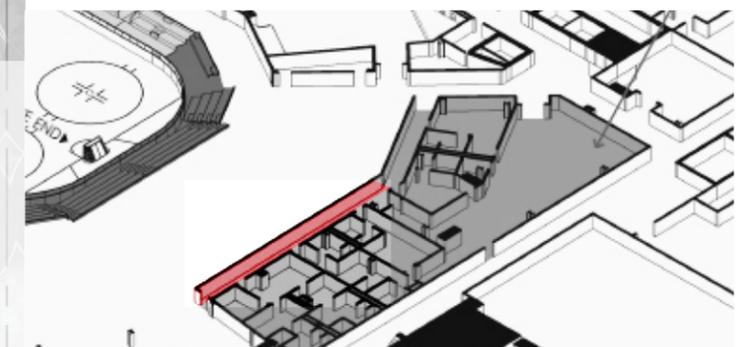
KEY PLAN



"FAN WALL" – WEST SIDE



"FAN WALL" – NORTH SIDE



"STAR HALL" – EVENT LEVEL

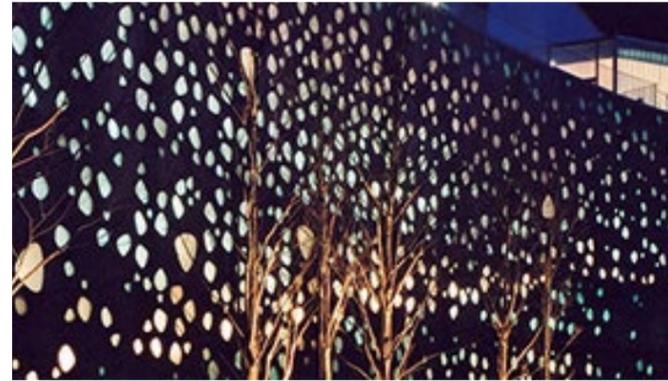
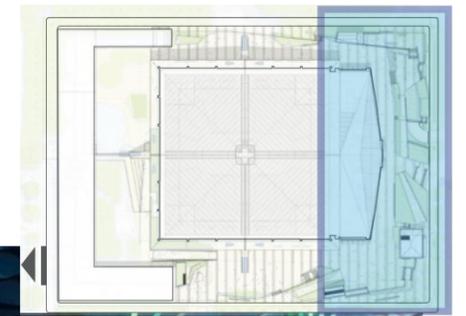


- Dynamic, collective experience possibly including projections, artifacts, and community ephemera
- Reveal Arena happenings
- Evoke the past, present and future
- Incorporate interactivity with fans and stars
- \$300,000 art funds, supplemental to plaza and interior budgets

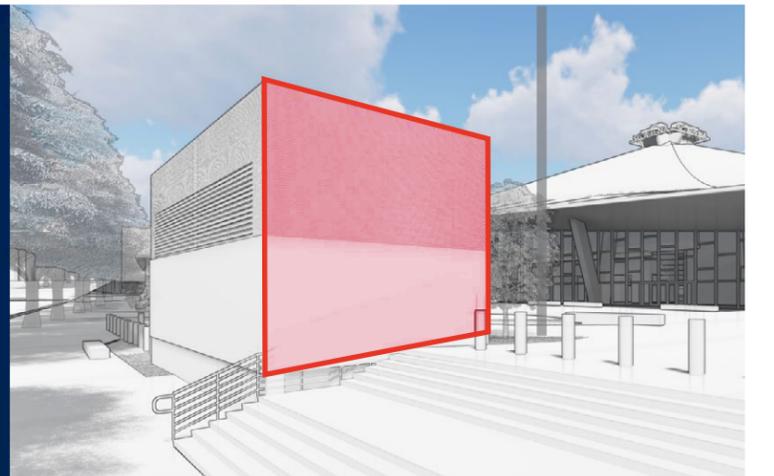
ART PLAN | ARENA PORTALS

SOUTH PLAZA

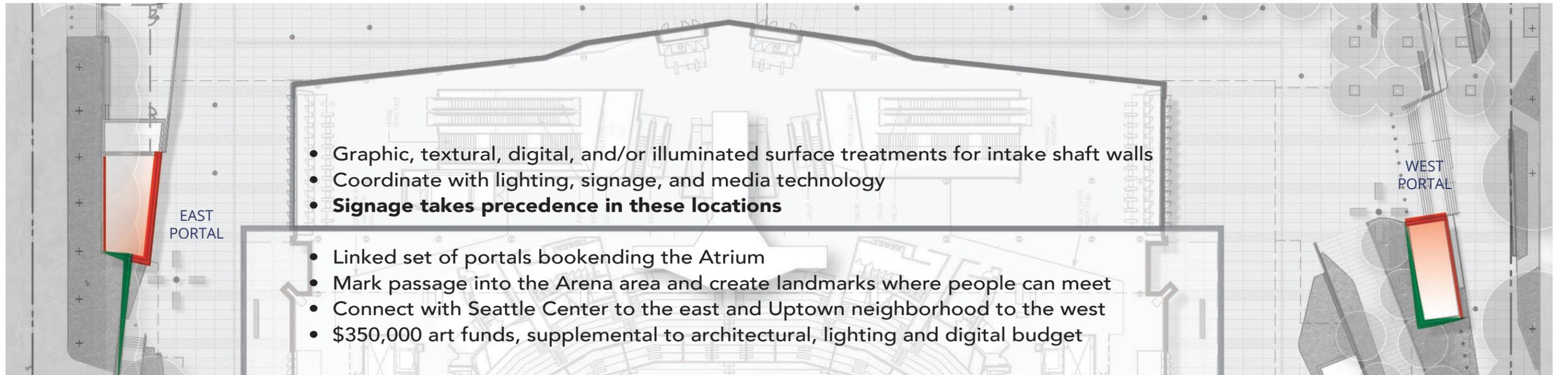
KEY PLAN



EAST PORTAL



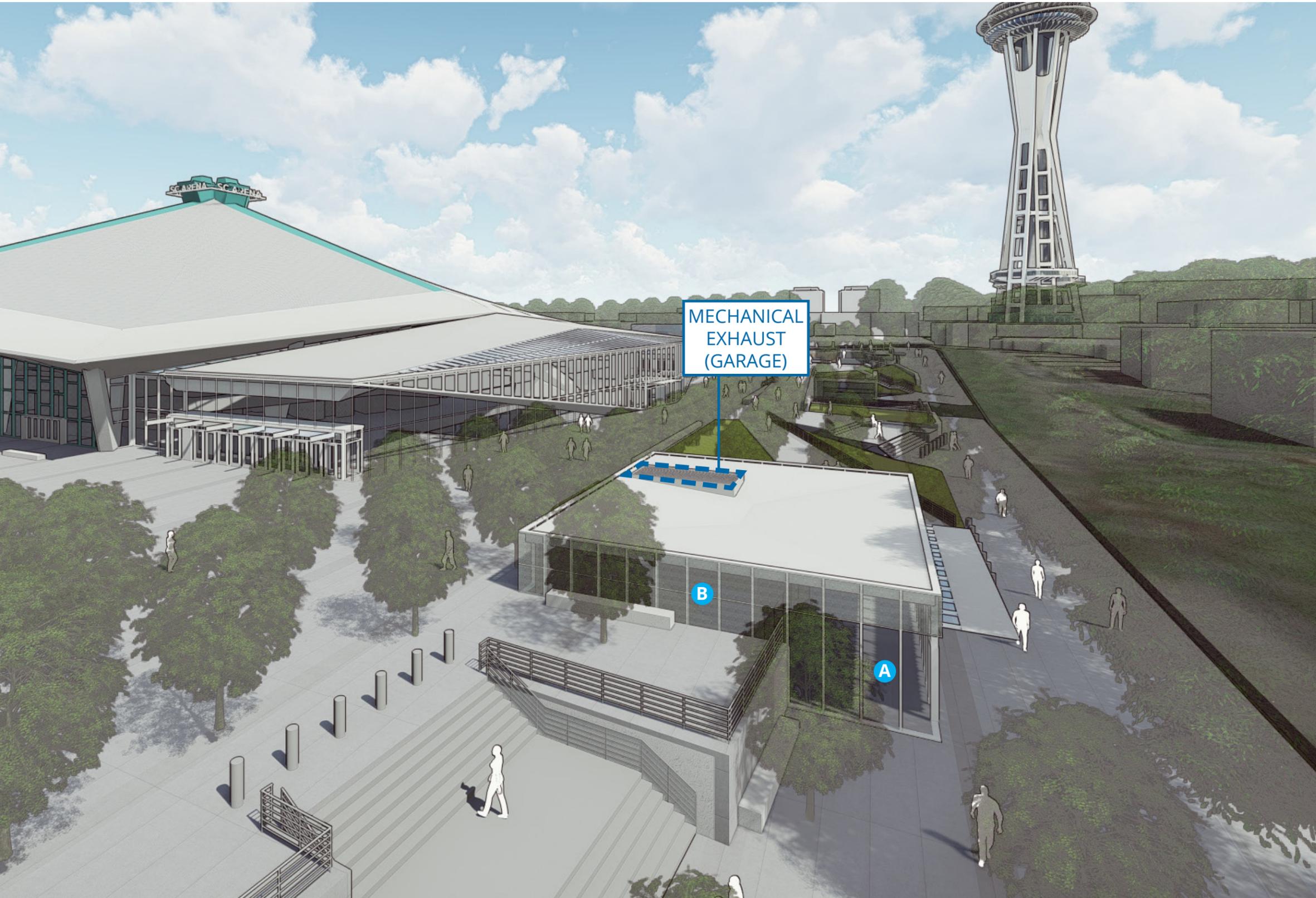
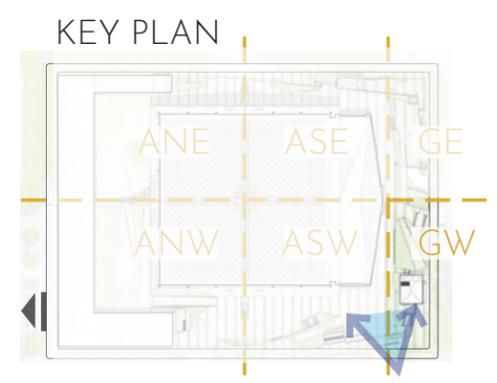
WEST PORTAL



- Graphic, textural, digital, and/or illuminated surface treatments for intake shaft walls
 - Coordinate with lighting, signage, and media technology
 - **Signage takes precedence in these locations**
-
- Linked set of portals bookending the Atrium
 - Mark passage into the Arena area and create landmarks where people can meet
 - Connect with Seattle Center to the east and Uptown neighborhood to the west
 - \$350,000 art funds, supplemental to architectural, lighting and digital budget

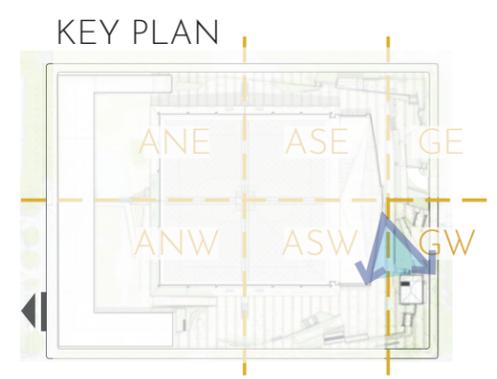
GW | SOUTH PLAZA

PROPOSED DESIGN - AERIAL VIEW LOOKING EAST



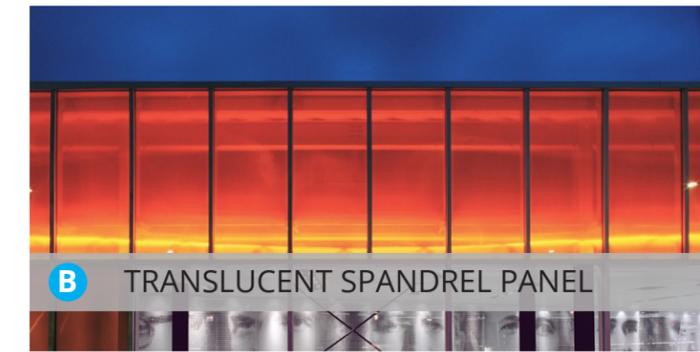
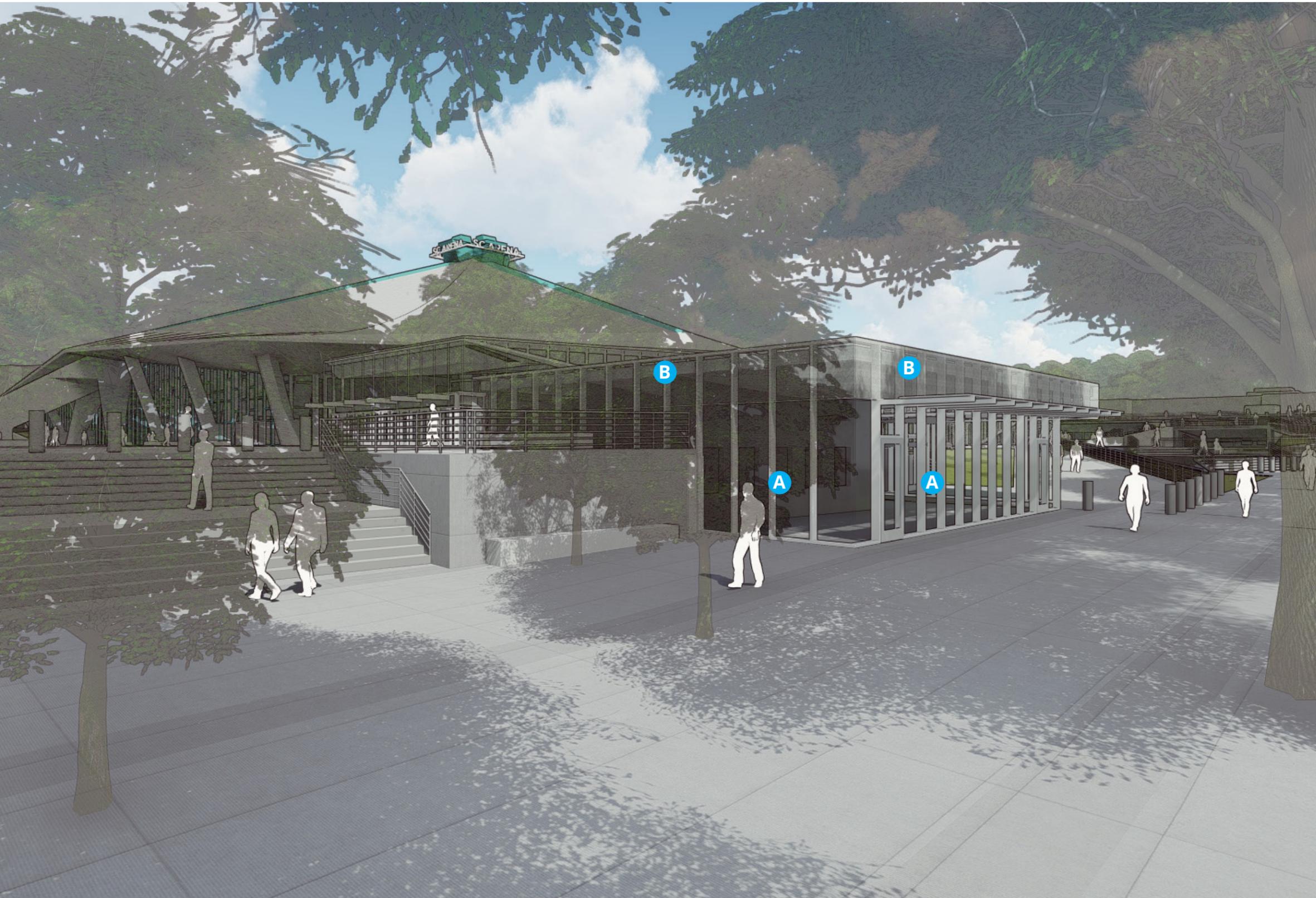
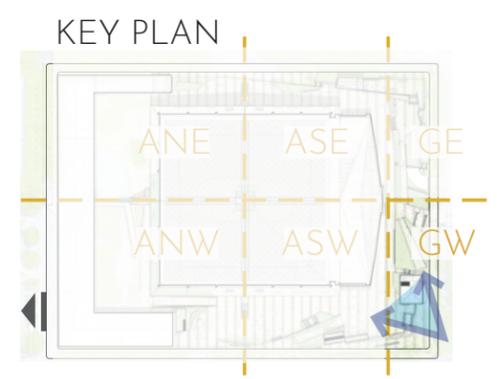
GW | SOUTH PLAZA

PROPOSED DESIGN - AERIAL VIEW LOOKING WEST



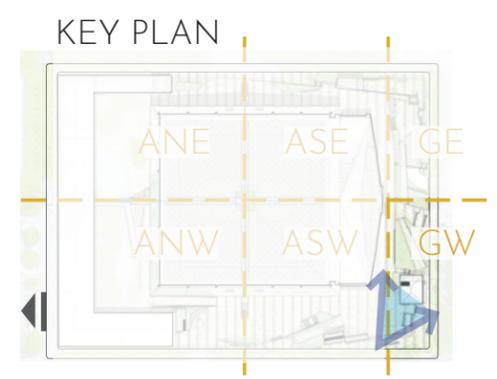
GW | SOUTH PLAZA

PROPOSED DESIGN - VIEW LOOKING NORTHEAST



GW | SOUTH PLAZA

PROPOSED DESIGN - VIEW LOOKING SOUTHEAST

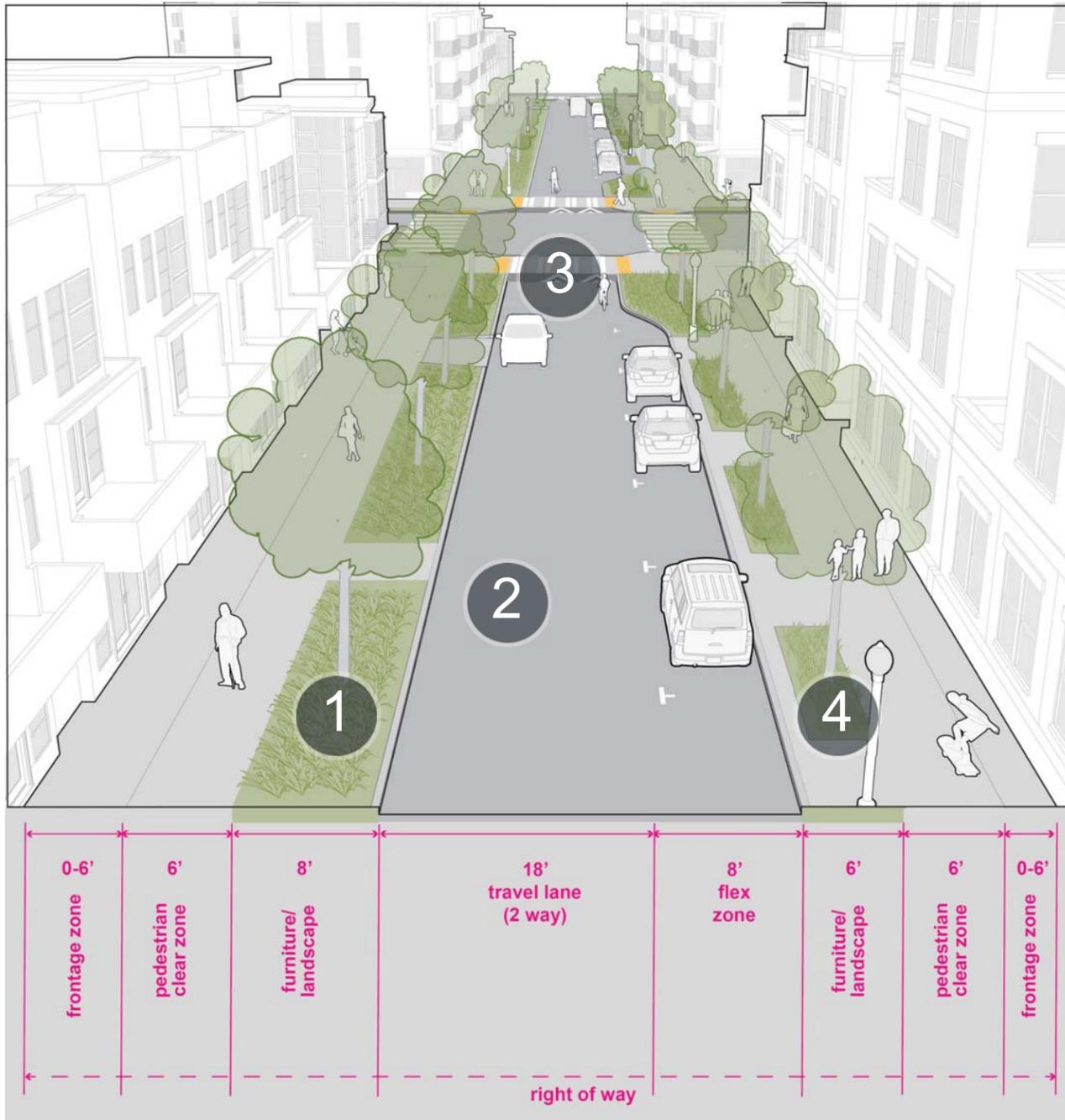


SITE DESIGN

THOMAS ST - STREETS ILLUSTRATED

2.10 URBAN VILLAGE NEIGHBORHOOD ACCESS

Urban Village Neighborhood Access Streets play a supporting role to Urban Village Main Streets by serving a variety of land uses, with more emphasis on residential uses and curbside uses that provide amenity and activation.



1 3.3 Drainage

GSI stands for Green Stormwater Infrastructure, such as a biofiltration swale. A biofiltration swale is an open, gently sloped, vegetated channel designed to treat stormwater. [Read More »](#)

2 Festival Streets

May function as a meeting ground for neighborhood events such as farmer's markets and festivals [Read More »](#)

3 Intersection Treatments

Curbside treatments make crossings safer by shortening the distance a Pedestrian must cross traffic. [Read More »](#)

4 3.6 Street Trees

Street trees require access to air and water, space for growth and must be located, installed and managed for compatibility with the built environment. [Read More »](#)

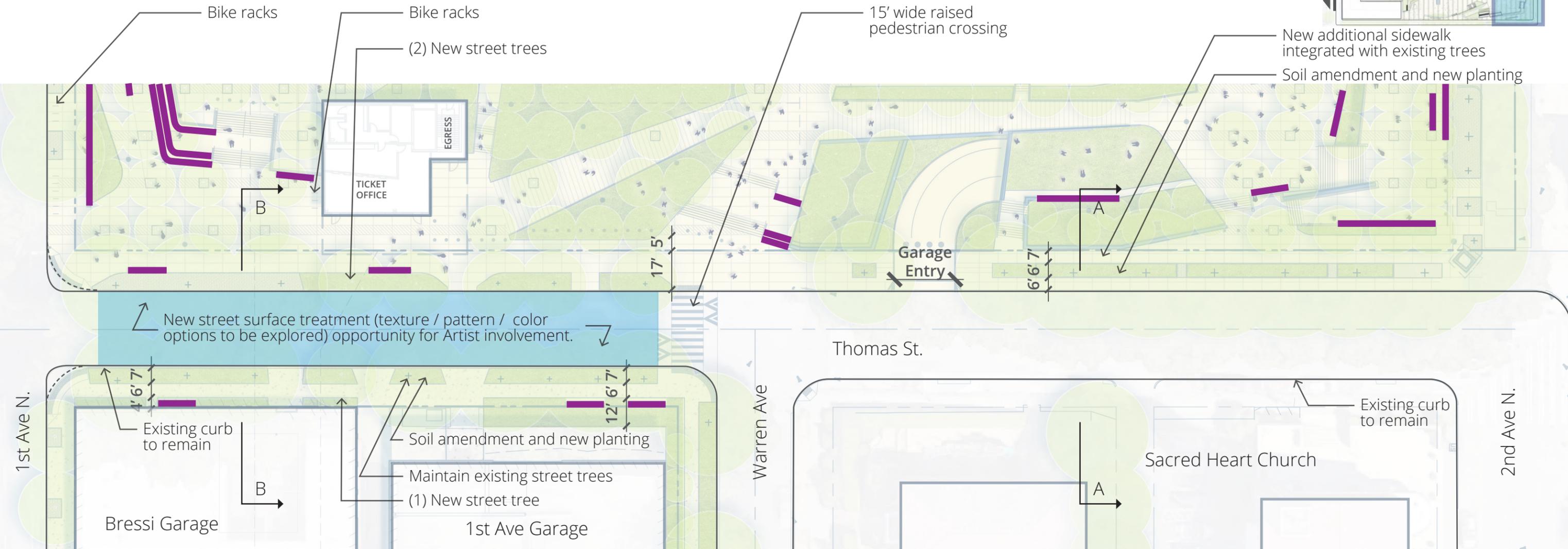
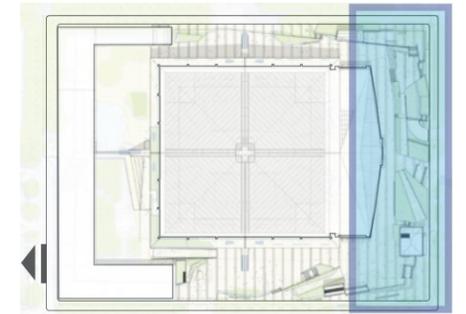
Thomas Street Type designation

Street Type	Urban Village Neighborhood Access
Arterial Classification	Not Designated
Street Name	THOMAS ST
ROW Width - Minimum	60
Existing ROW Width	66
ROW Net	6
Street Type Standards	More info
Curb Radii	20
Bicycle Master Plan	Neighborhood Greenway
Transit Master Plan	N/A
Freight Master Plan	N/A
Pedestrian Master Plan	Priority Investment Network
Over-legal Route	N/A
Urban Village P-Zone	N/A
Land Use Constraints	

SITE DIAGRAMS

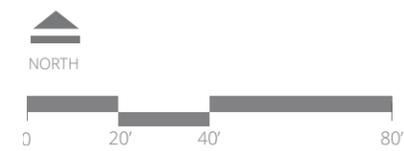
THOMAS ST. CONCEPT

KEY PLAN



LEGEND:

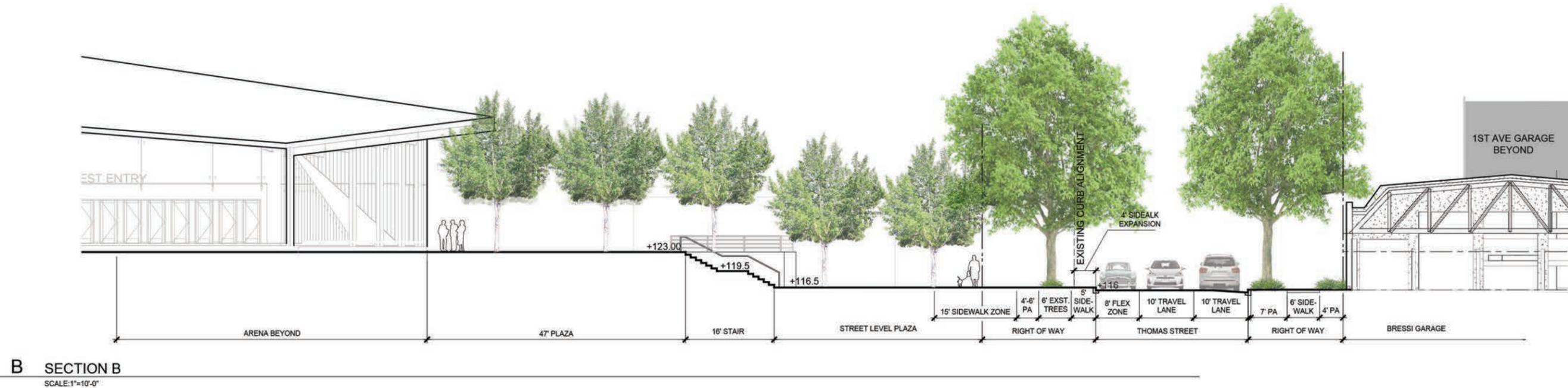
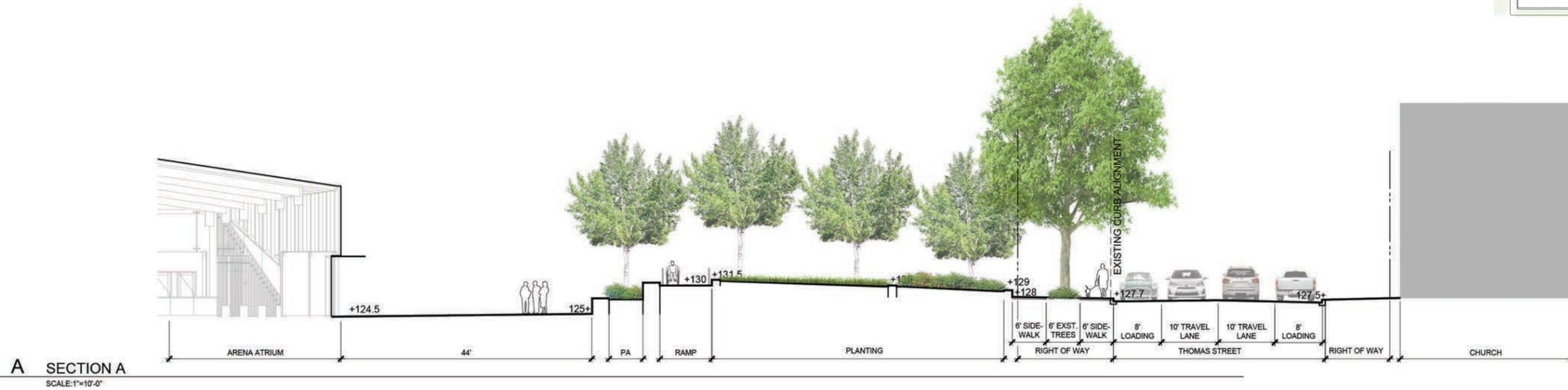
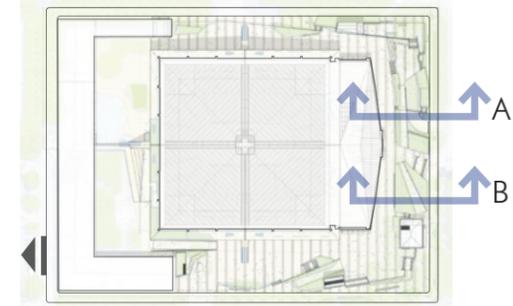
- Accessible Routes
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- Site Seating

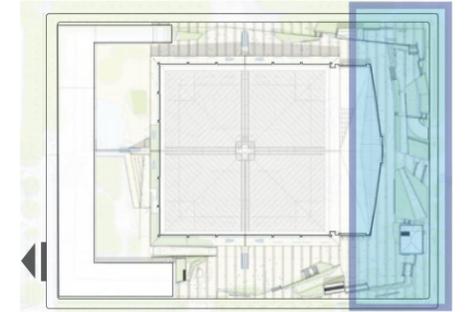


SITE DIAGRAMS

THOMAS ST. CONCEPT - SECTIONS

KEY PLAN

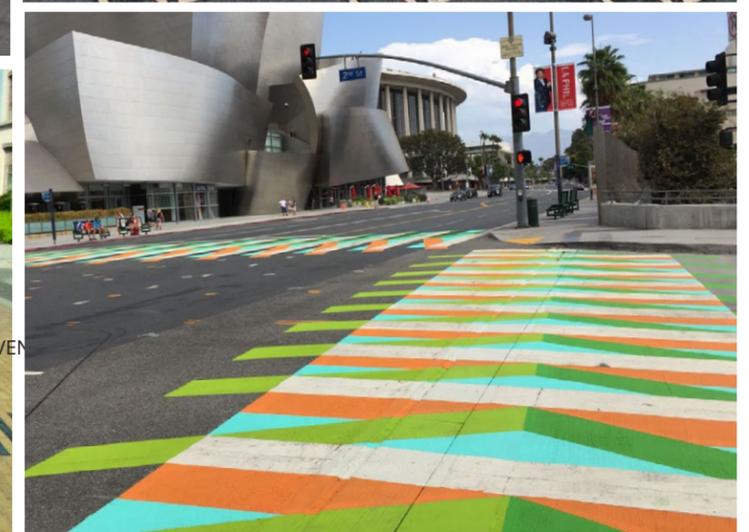
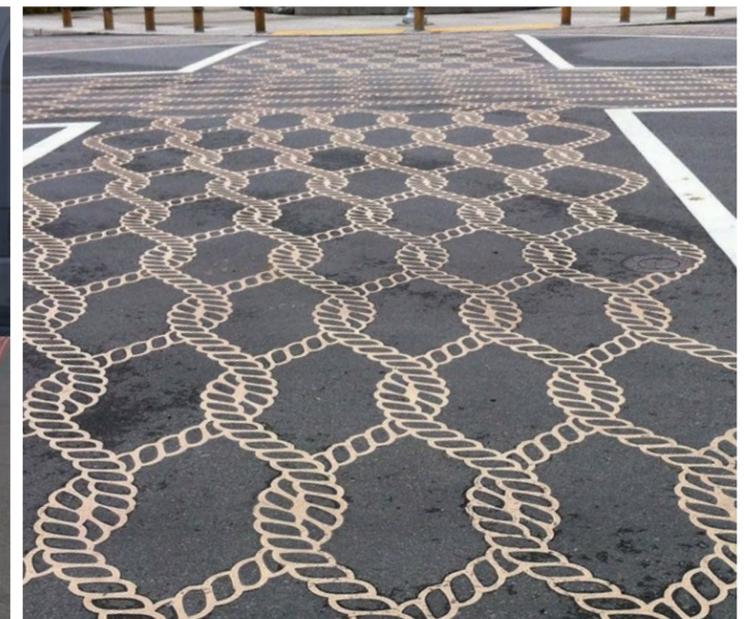
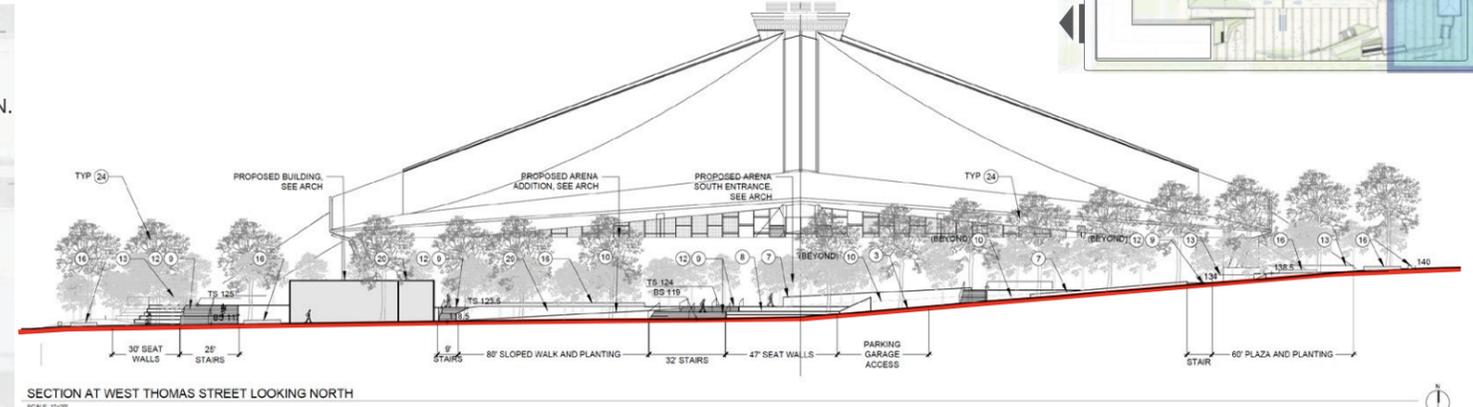
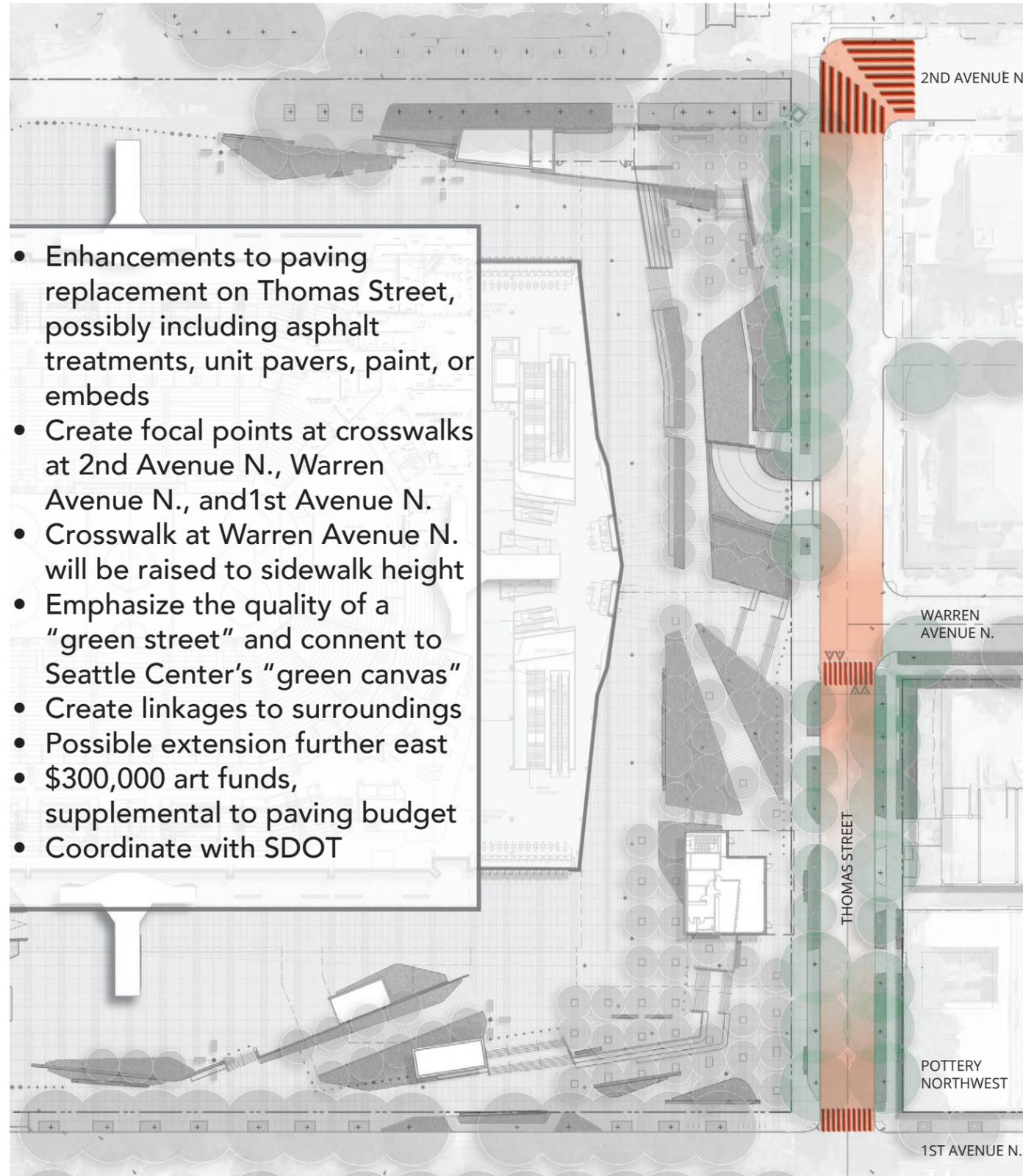




ART PLAN | CROSSWALKS & PAVING

THOMAS ST

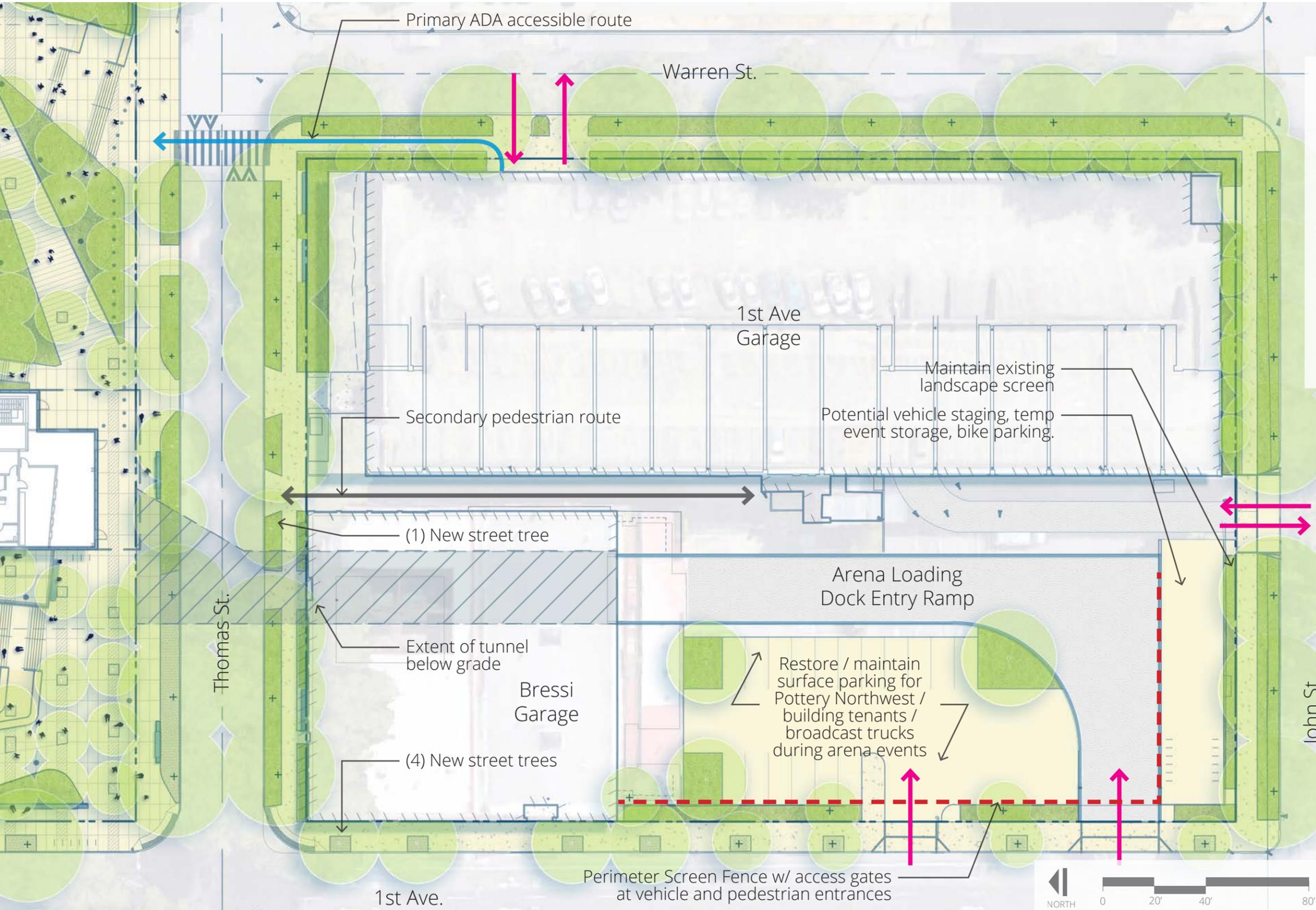
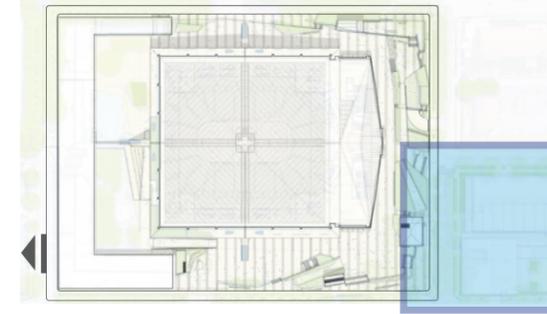
- Enhancements to paving replacement on Thomas Street, possibly including asphalt treatments, unit pavers, paint, or embeds
- Create focal points at crosswalks at 2nd Avenue N., Warren Avenue N., and 1st Avenue N.
- Crosswalk at Warren Avenue N. will be raised to sidewalk height
- Emphasize the quality of a "green street" and connect to Seattle Center's "green canvas"
- Create linkages to surroundings
- Possible extension further east
- \$300,000 art funds, supplemental to paving budget
- Coordinate with SDOT



SOUTH PARCEL

ENLARGED SITE PLAN

KEY PLAN



Design Assumptions:

1. Extent of ROW improvements to be clarified through the SIP process as required by SDOT.
2. Site shall be improved as required by code to provide temporary conditions prior to further parcel development.
3. Planting on east facade illustrates potential improvements to satisfy City objective to replace site trees w/ a 2:1 ratio.
4. Assume the 1st Ave Garage shall be modified to provide vehicular entrances / exits that maintain function.
5. Driveways on Thomas Street will remain as physical access points into 1st Ave Garage, Bressi Garage, and former alley until future parcel design evolves. No regular vehicle access occurs - maintenance only.

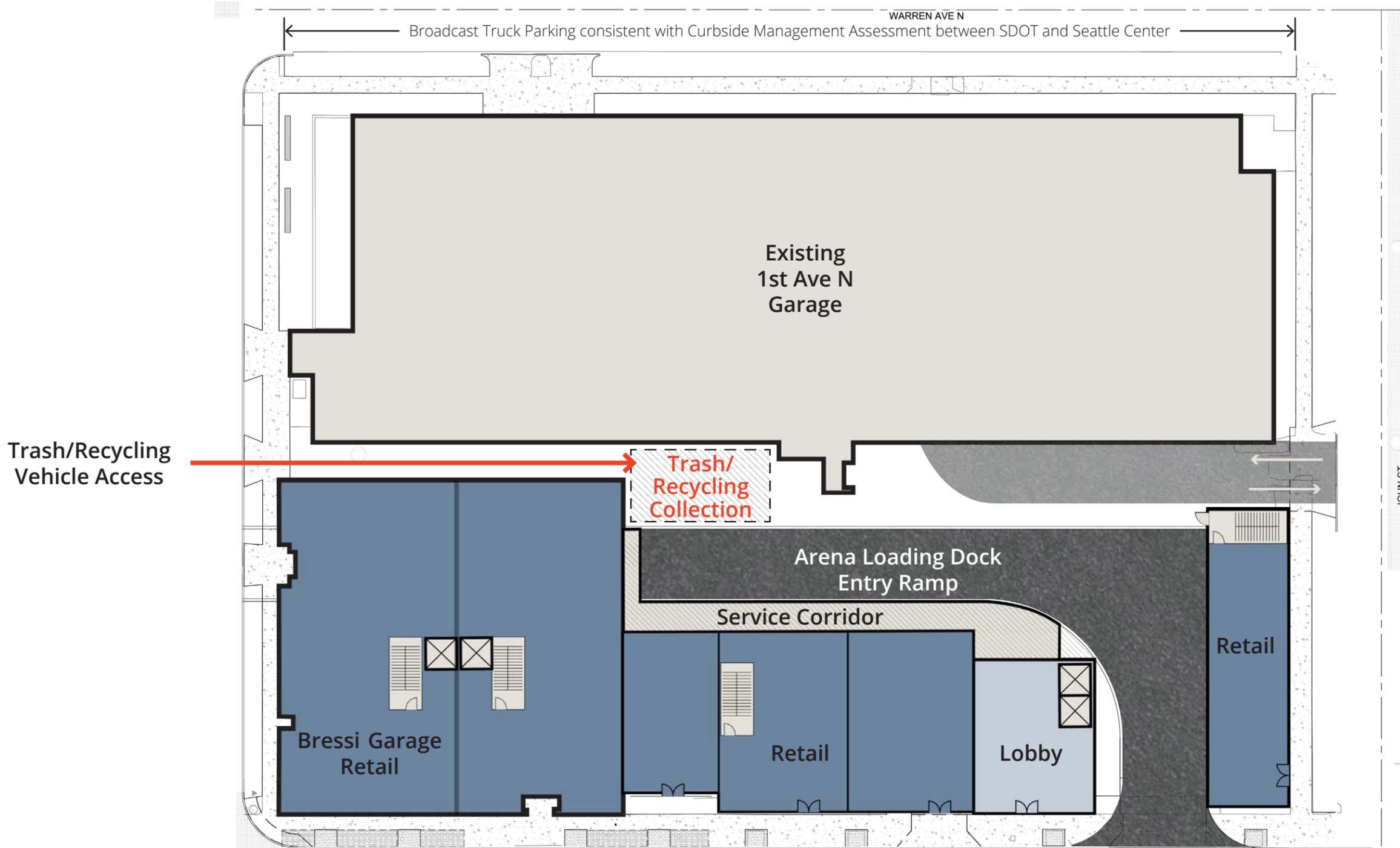
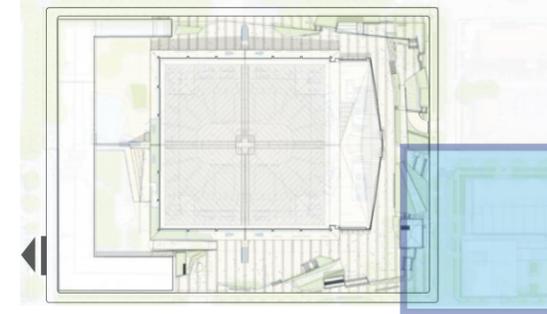
LEGEND:

- Accessible Routes
- Access with Stairs
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- Vehicular Egress Route
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- Access / Egress
- Site Seating

SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - SITE PLAN, LEVEL 01

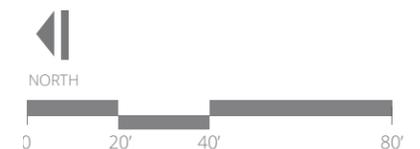
KEY PLAN



The Seattle Center Century 21 Master Plan stated the following related to development around the Arena:

The area encircling Key Arena is ripe with development opportunities that could provide retail, residential and restaurant amenities as well as ongoing revenues for Seattle Center through public-private partnerships. (Page 29)

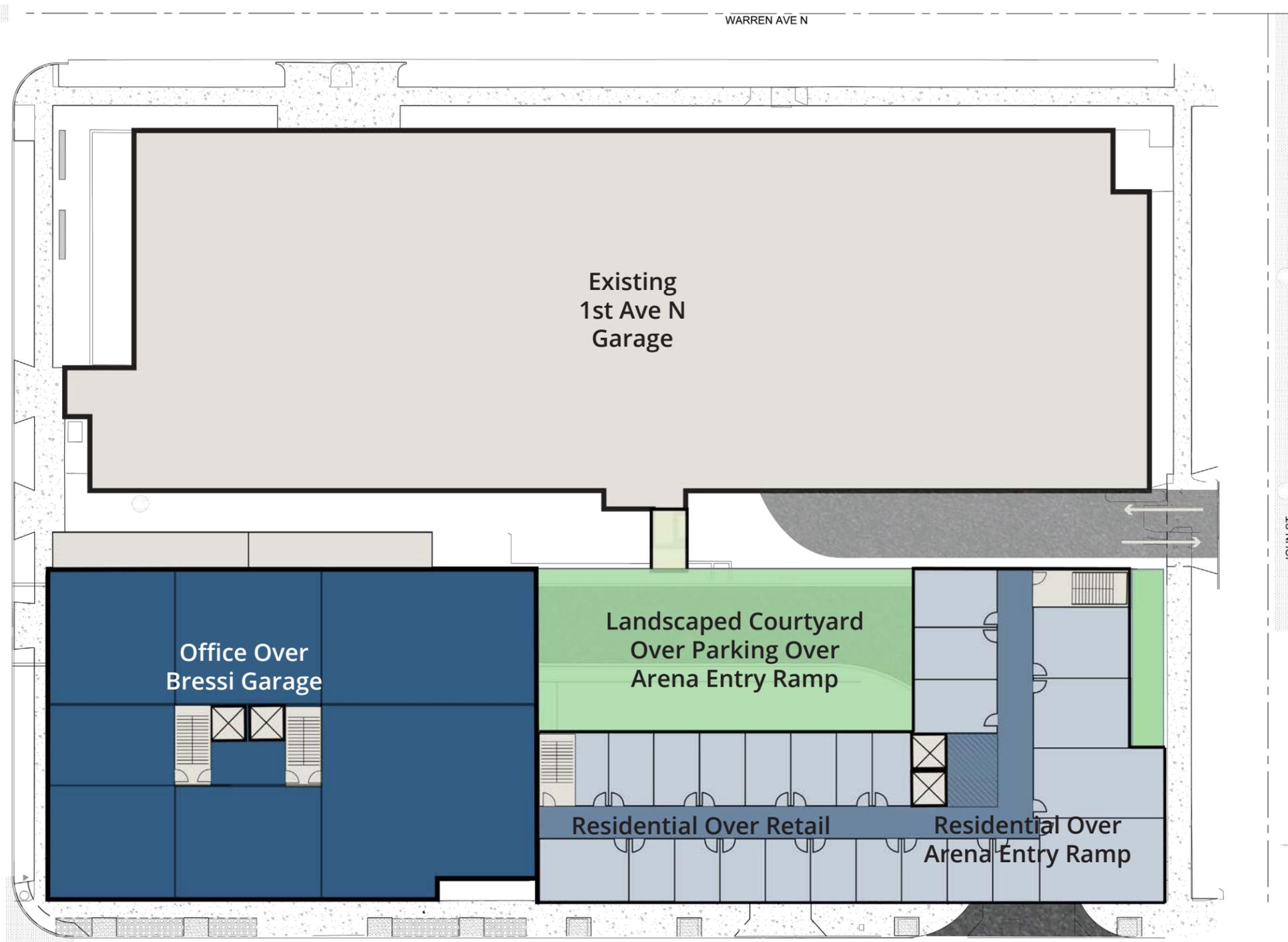
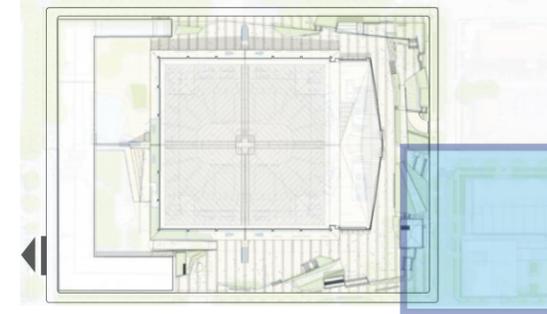
Conceptual Illustration of Hypothetical Development Only



SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - SITE PLAN, LEVEL 02

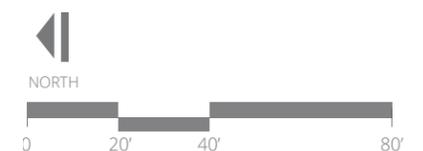
KEY PLAN



The Seattle Center Century 21 Master Plan stated the following related to development around the Arena:

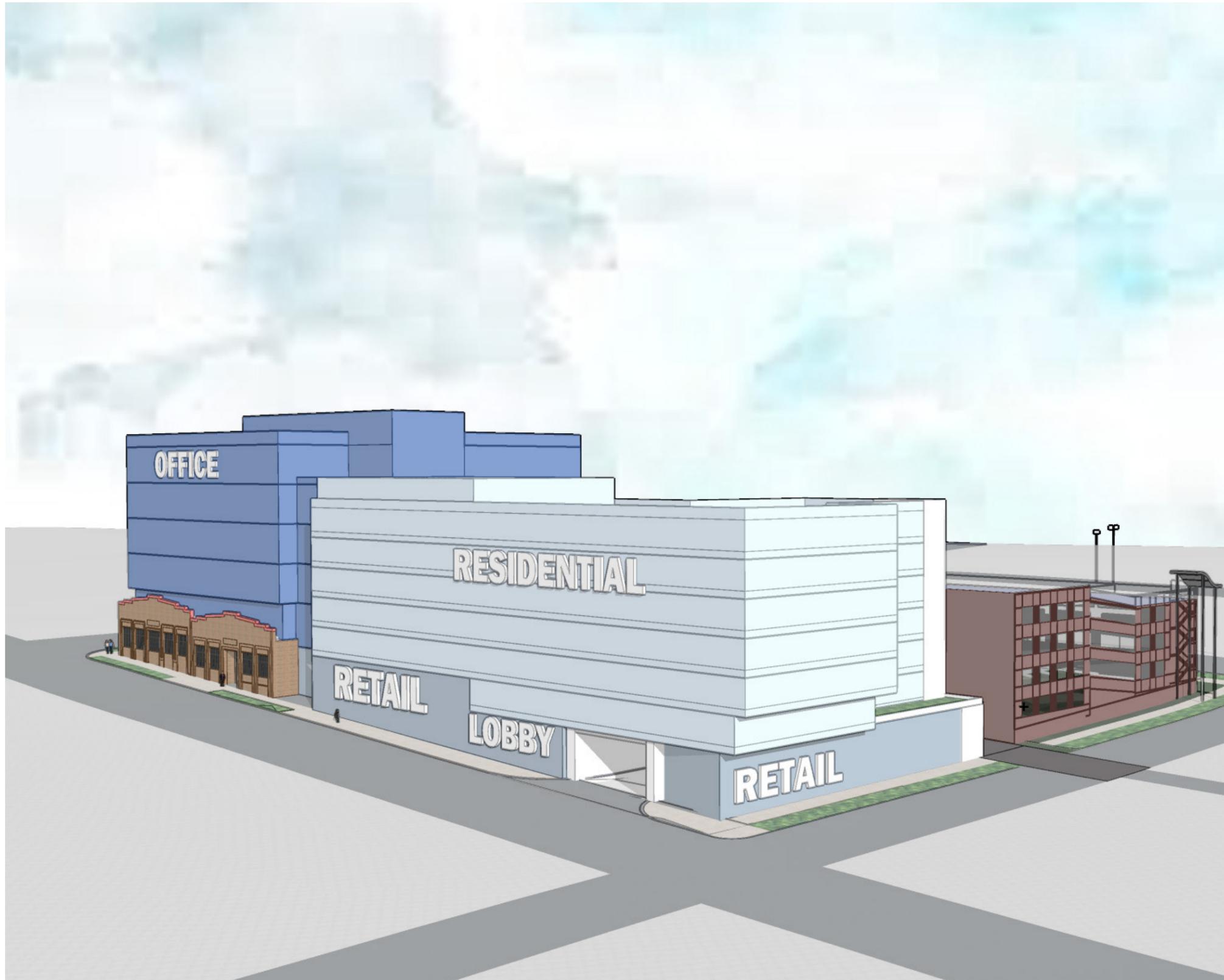
Like Center House and Memorial Stadium, the area encircling Key Arena is ripe for public-private partnerships. Here at the campus' perimeter, opportunities exist to provide new retail, residential, and restaurant developments that could generate ongoing revenues for Seattle Center and stimulate neighborhood business development with an emphasis on music, sports, art, and culture. Redevelopment of the site will likely be complex, as there are many integrated parts and uses, and may need to be implemented over multiple phases with funds from a mix of public and private sources. (Page 31)

Conceptual Illustration of Hypothetical Development Only

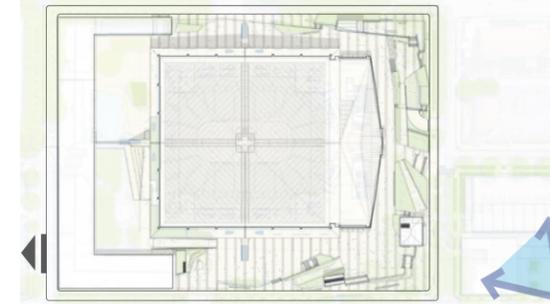


SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - AXONOMETRIC DIAGRAM



KEY PLAN



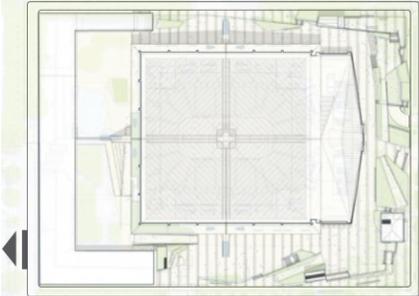
Conceptual Illustration
of Hypothetical
Development Only

SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - EXPLODED AXONOMETRIC DIAGRAM



KEY PLAN

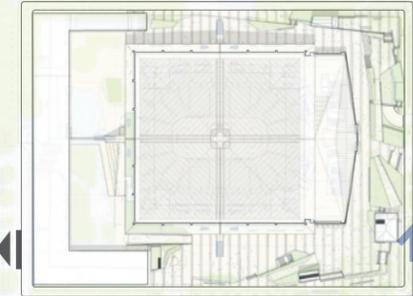


Conceptual Illustration
of Hypothetical
Development Only

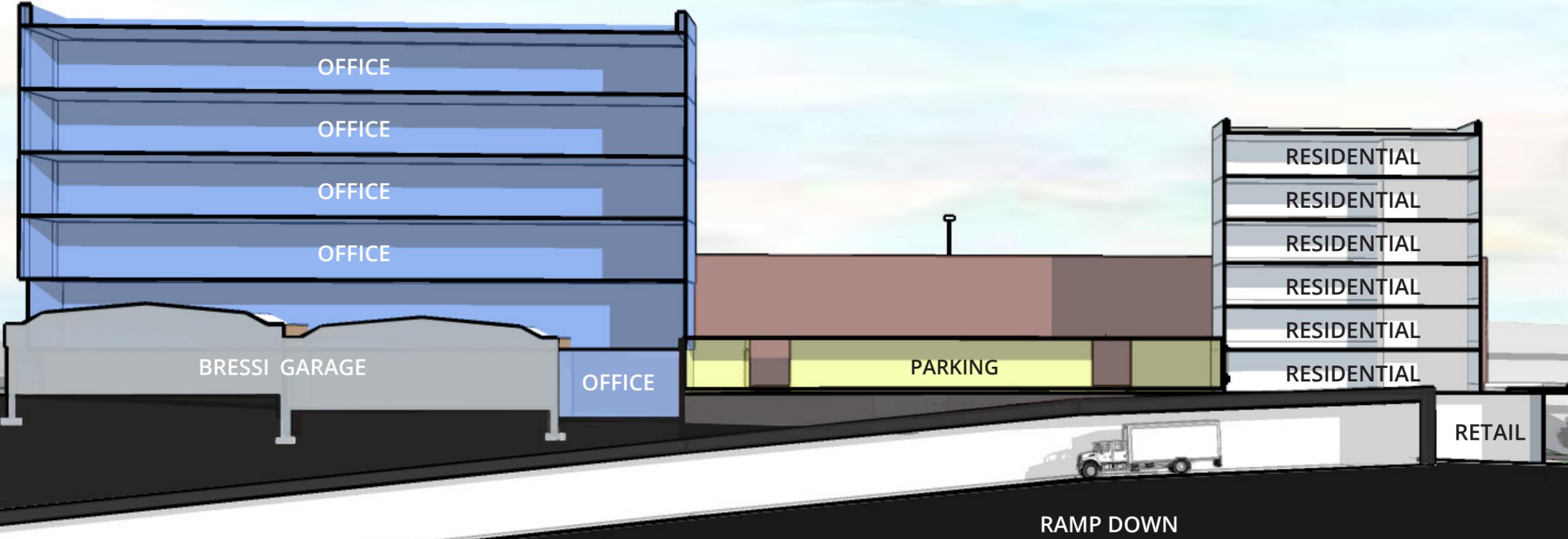
SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - SITE SECTION

KEY PLAN



Conceptual Illustration of Hypothetical Development Only



SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL

LEGEND:

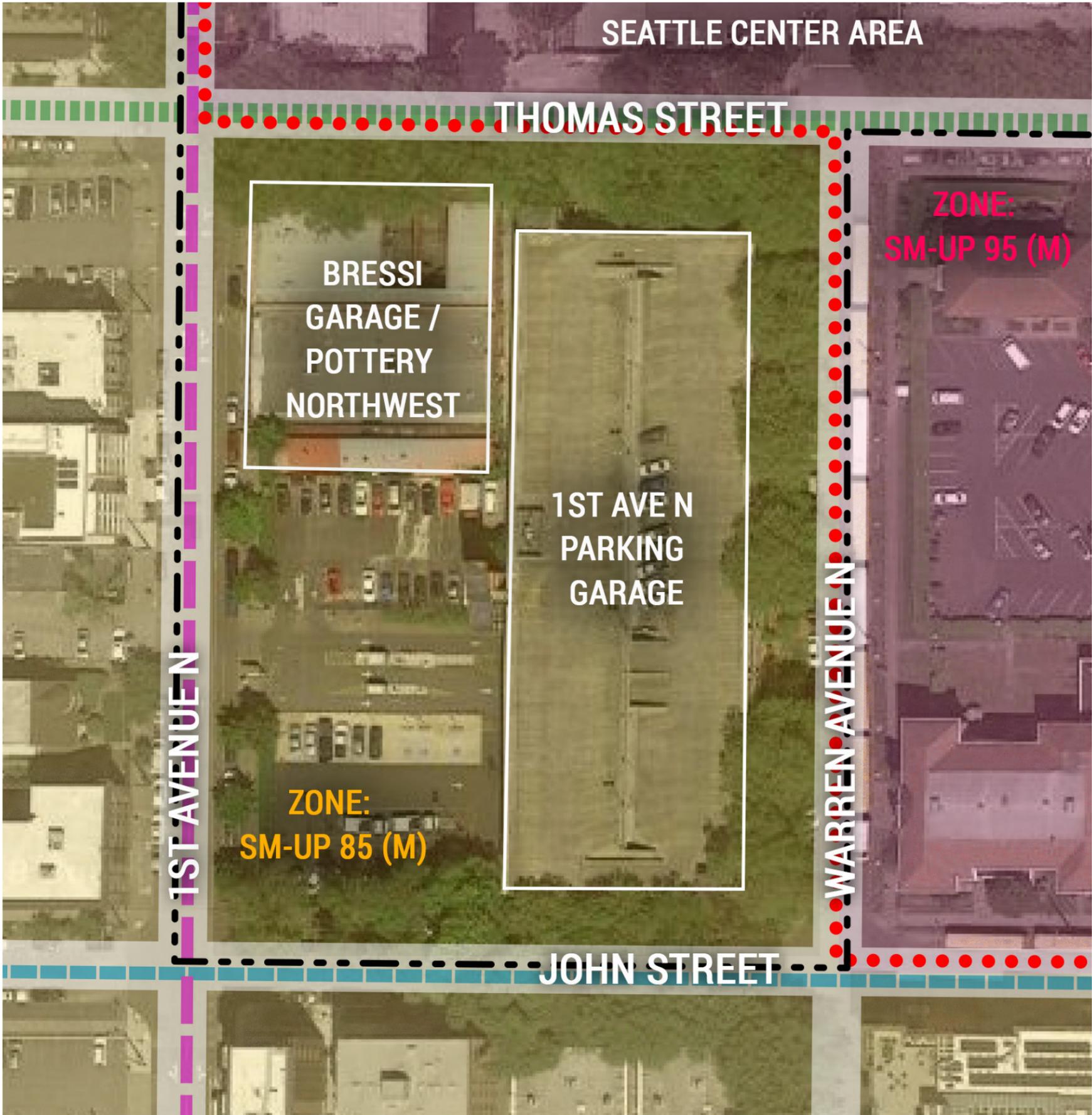
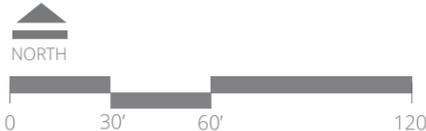
- ZONE BOUNDARY

- ARENA REDEVELOPMENT BOUNDARY

- SMC CLASSIFICATION:** CLASS III PEDESTRIAN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE MAIN STREET

- SMC CLASSIFICATION:** CLASS III PEDESTRIAN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE NEIGHBORHOOD ACCESS STREET

- SMC CLASSIFICATION:** GREEN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE NEIGHBORHOOD ACCESS STREET



SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - LAND USE

LAND USE CODE REVIEW SUMMARY TABLE SMC Title 23 – Land Use Code https://library.municode.com/wa/seattle/codes/municipal_code?nodeId=TIT23LAUSCO		
REGULATION	PROPOSED	
	Phase I Development October 2020	Future Development Potential
Underlying Zone	SM-UP 85 Seattle Mixed-Uptown Urban Center Urban Village Overlay: Uptown (Urban Center)	
Historic Landmark on Site	Yes – Brezzi Garage / Pottery Northwest To be retained	
Design Review SMC Chapter 23.41 – Table A *Changes in effect in July 2018	Not Required Below threshold	Required - Over threshold More than 20 dwelling unit More than 12,000 sf of non-res'l GFA
Uses – Permitted Uses SMC 23.48.005	Existing uses permitted No prohibited use proposed	Retail, Commercial, Residential, Parking All proposed uses permitted outright
Floor Area Ratio (FAR) SMC 23.48.020 C – Minimum FAR: 2 Min. required: 2 x 46,078 sf = 96,156 sf GFA	Existing: 14,275 sf Less than required, but it is OK as Landmarks exempt	206,550 sf More than required →OK
Floor Area Ratio (FAR) SMC 23.48.720 – Maximum FAR Max. allowed: 5.25 x 46,078 sf = 241,910 sf GFA	Existing: 14,275 sf Less than allowed →OK	206,550 sf Less than allowed →OK
Structure Height - (Above avg. grade elevation) SMC 23.48.025 – 85 feet Allowed SMC 23.86.006 Measurement	About 25 feet	Less than 85 feet
Street Level Development Standards SMC 23.48.040 B.1. Transparency	N/A Existing Landmark	Future detailed design to comply
Street Level Development Standards SMC 23.48.040 B.2. Blank Facade	N/A Existing Landmark	Future detailed design to comply

SOUTH PARCEL

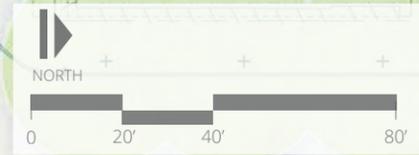
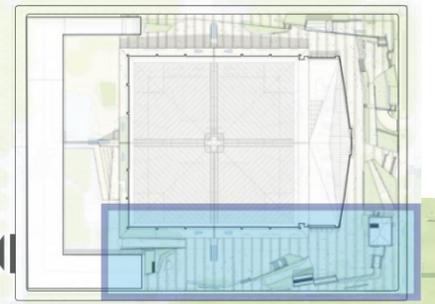
FUTURE DEVELOPMENT POTENTIAL - LAND USE

Street Level Development Standards SMC 23.48.040 C. Street level use	N/A Existing Landmark	Future detailed design to comply
Street Level Development in SM-UP zones 23.48.740 B. Required usable open space Min. 15% of lot area: 46,078 sf x .15 = 6,911 sf	N/A Existing Landmark	Future detailed design to comply
Street Level Development in SM-UP zones 23.48.750 B. Open space for office uses Min. 20 sf / 1,000 sf of GFA in office use	N/A – No office use	±100,000 sf x .02 = 2,000 sf Min. Future detailed design to comply
Amenity area for residential uses SMC 23.48.045 Required for 20+ dwelling units Quantity: Min. 5% of GFA in residential use	N/A – No residential use	±85,000 sf x .05 = 4,250 sf Min. Future detailed design to comply
Landscaping and screening standards SMC 23.48.055 Green factor min. 0.30 required Thresholds: 4 dwelling units, 4,000 sf non-residential use, 20 new parking stalls	N/A – thresholds not crossed	Future detailed design to comply
Maximum structure width and depth SMC 23.48.732 A. Max. width is 250 feet Applicable along 1 st Ave N	N/A Existing Landmark	Max. width: ~210 feet
Upper level setback SMC 23.48.735 A. For structure above 45 feet 10 feet average setback required along 1 st Ave N	N/A – Under 65 feet limit	Future detailed design to comply
Screening – parking (min. 3 feet tall) SMC 23.48.055 C.2 Surface parking area SMC 23.48.755 Applicable along 1 st Ave N At street: other uses. Above street: screening.	Proposed along 1 st Ave N & John St	Future detailed design to comply
Required parking in Uptown Urban Center SMC 23.48.780 B. Office: Maximum 1 stall/1,000 sf	N/A – No office use proposed	±100,000 sf x .001 = 100 Max. 25 proposed - OK
Parking location , access, and curb-cuts SMC 23.48.785 1. Max. 50% can be above grade 3. Accessory surface parking prohibited	No above street level proposed Accessory surface parking proposed	100% parking above street level No accessory surface parking proposed
Required Parking SMC 23.54.015 Non-Res'l: Table A Item II.J. No min. in urban center Residential: Table B Item II.L No min. in urban center	15 stalls proposed None required	50 stalls proposed None required

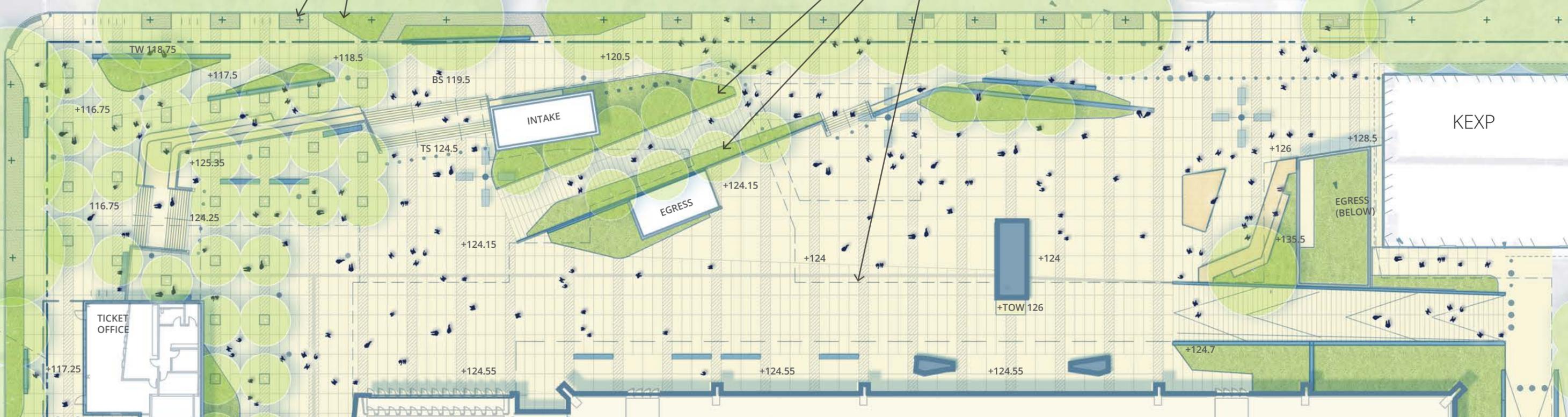
WEST PLAZA

ENLARGED SITE PLAN - PLANTING

KEY PLAN



- Existing street trees to remain, typ
- Soil amendment and new planting
- Proposed tree, typ
- Planting area, typ
- Extent of structure below



TREES

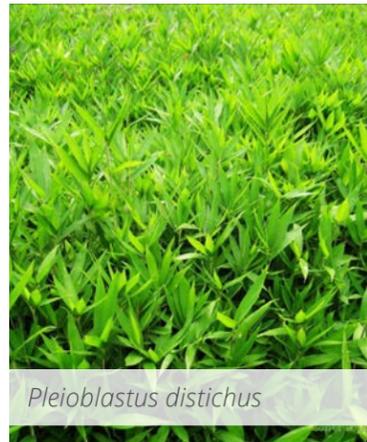


Tilia tomentosa



Betula nigra 'Dura Heat'

STRUCTURAL



Pleioblastus distichus



Taxus x media 'Densiformis'

SUPPORTING



Helleborus corsicus



Polystichum polyblepharum

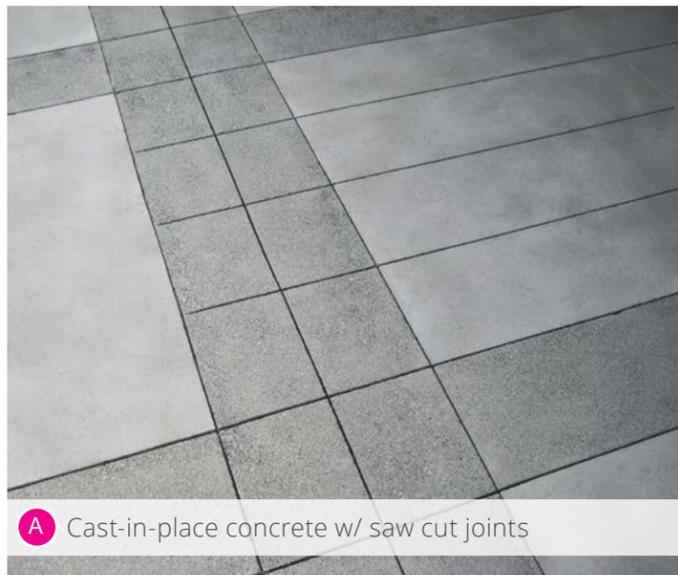
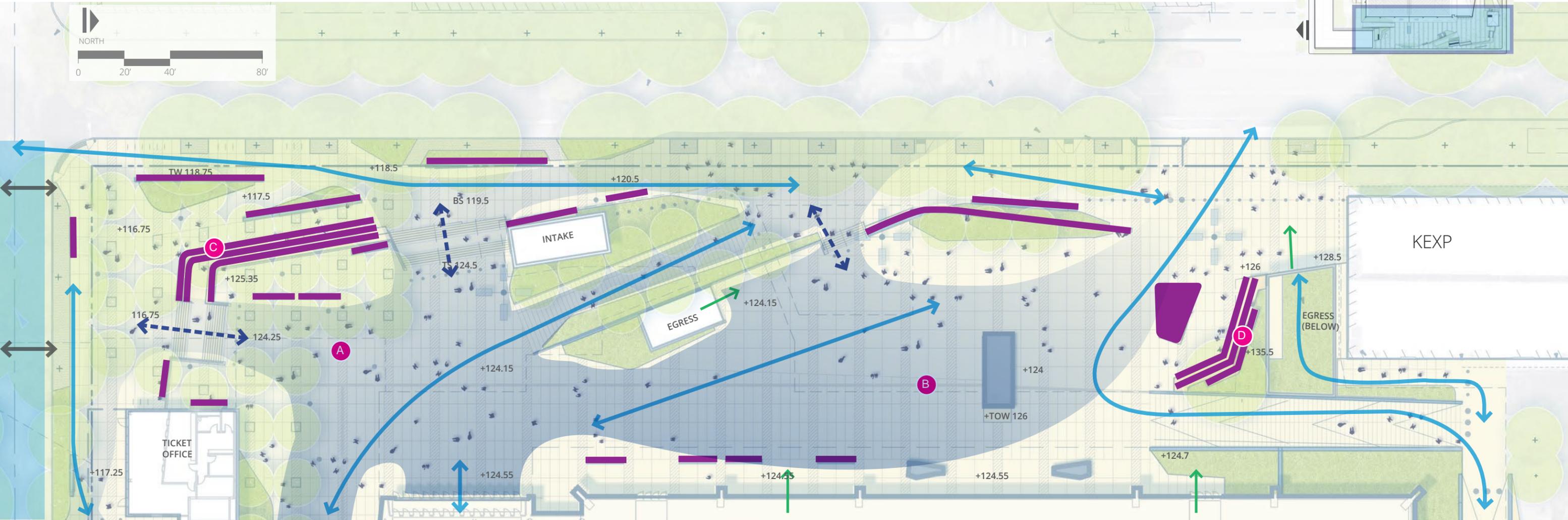
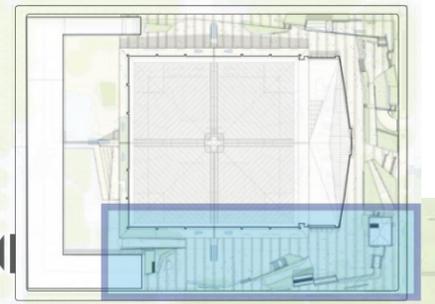


Mahonia nervosa

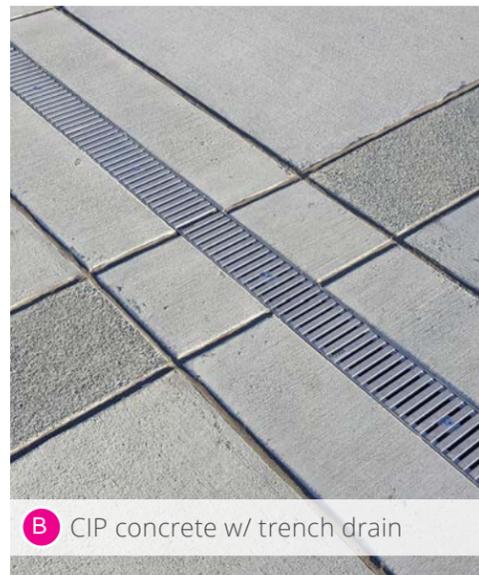
WEST PLAZA

ENLARGED SITE PLAN - CIRCULATION

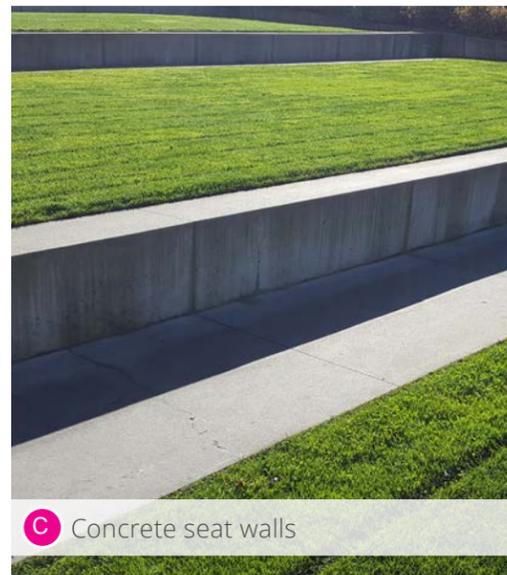
KEY PLAN



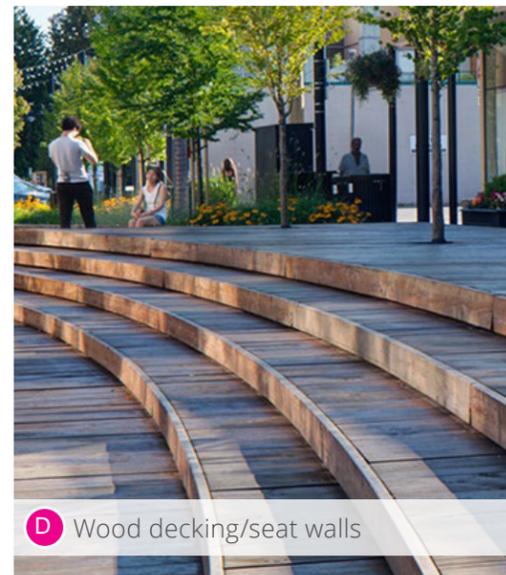
A Cast-in-place concrete w/ saw cut joints



B CIP concrete w/ trench drain



C Concrete seat walls



D Wood decking/seat walls

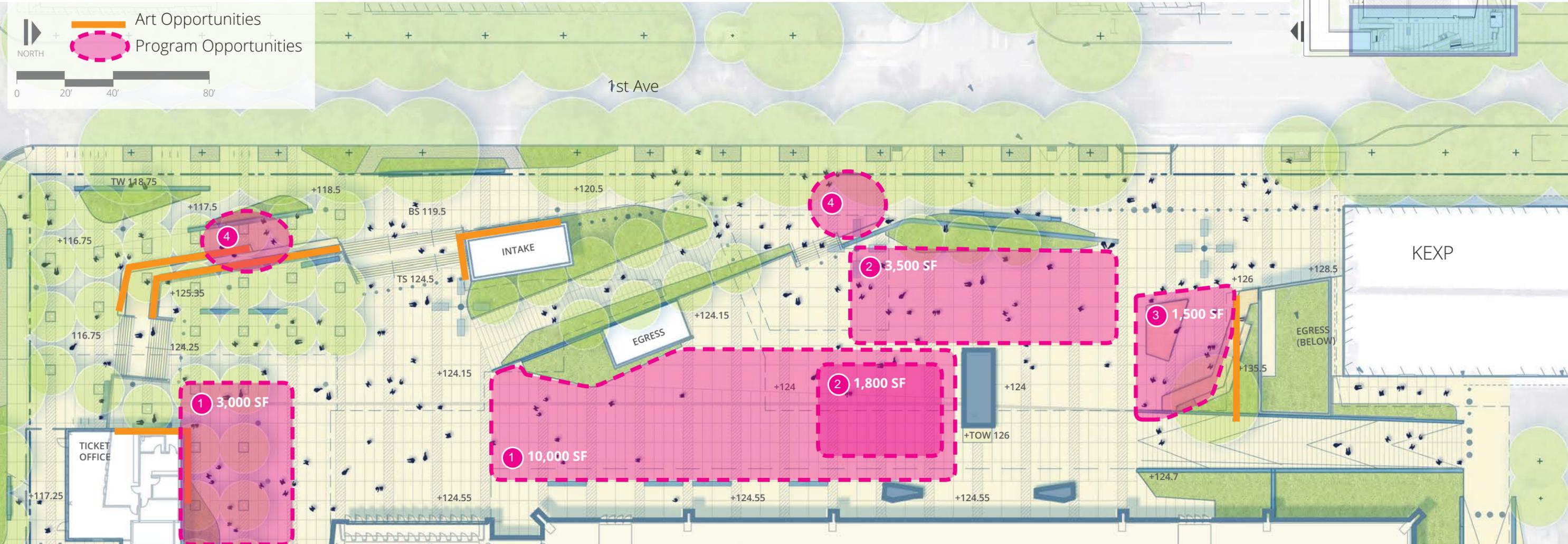
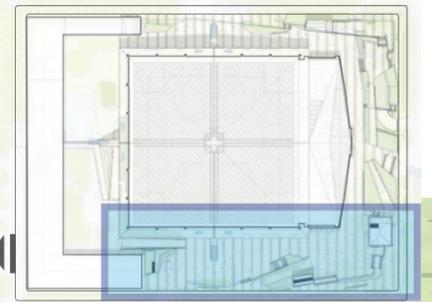
LEGEND:

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- Access / Egress
- Site Seating

WEST PLAZA

ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES

KEY PLAN



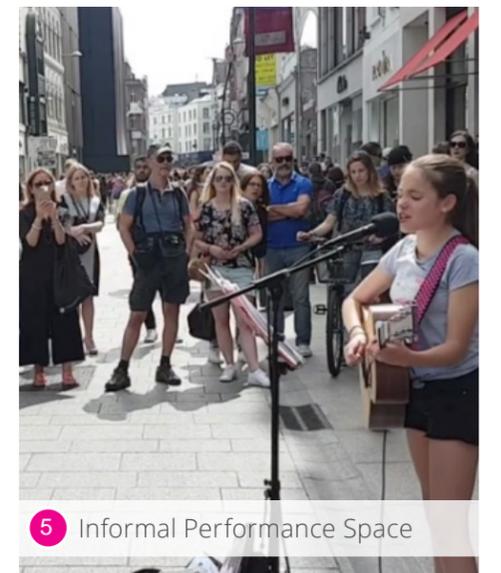
1 Public Market/Pop-up Shops



2 Ball Hockey or Basketball - youth / 3-on-3 courts



4 Amphitheater Performance Space

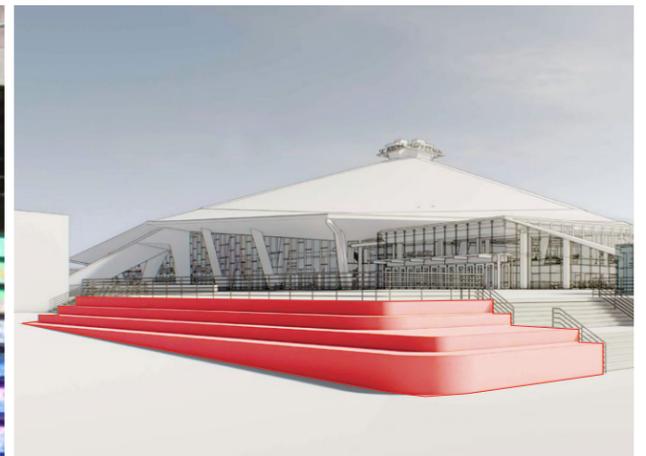
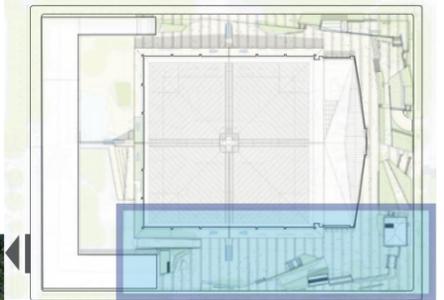


5 Informal Performance Space

ART PLAN | UPTOWN

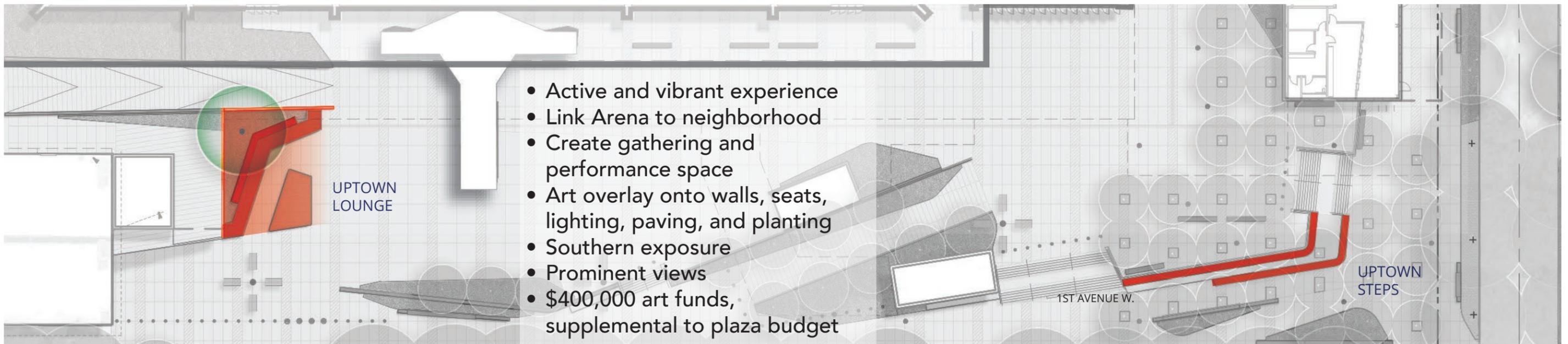
WEST PLAZA

KEY PLAN



UPTOWN LOUNGE

UPTOWN STEPS



- Active and vibrant experience
- Link Arena to neighborhood
- Create gathering and performance space
- Art overlay onto walls, seats, lighting, paving, and planting
- Southern exposure
- Prominent views
- \$400,000 art funds, supplemental to plaza budget

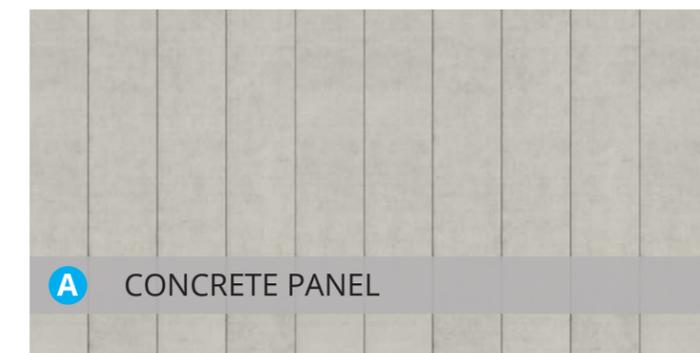
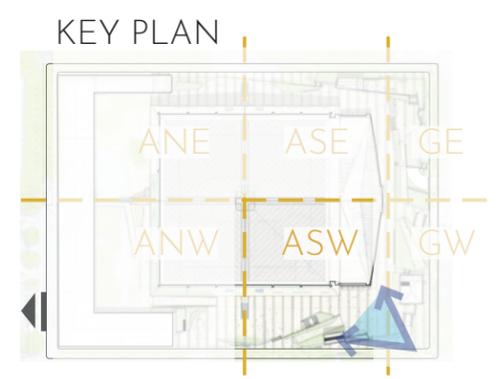
1ST AVENUE W.

UPTOWN LOUNGE

UPTOWN STEPS

ASW | SOUTHWEST EGRESS & MECHANICAL

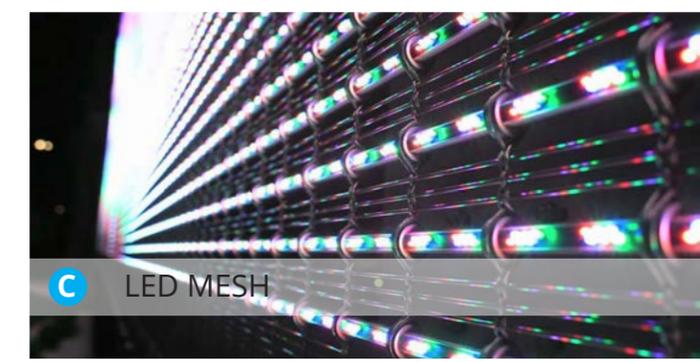
PROPOSED DESIGN - AERIAL VIEW LOOKING NORTH



A CONCRETE PANEL



B VINE WALL



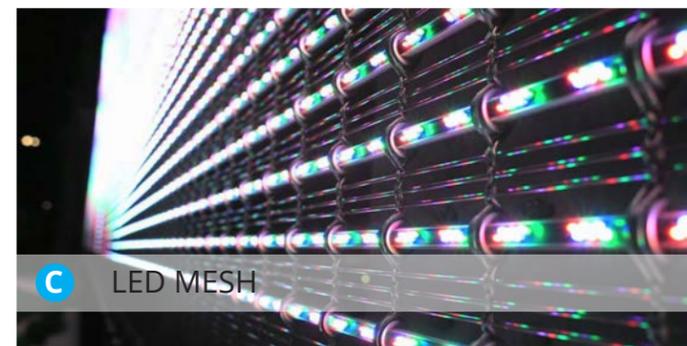
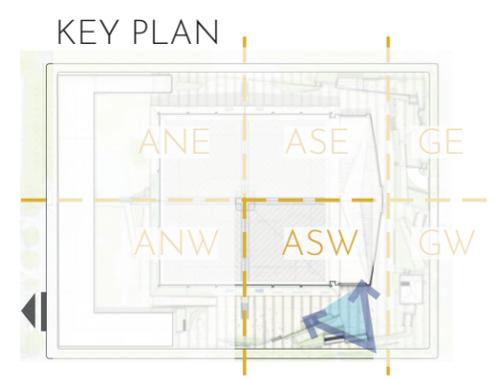
C LED MESH



D LED PANEL

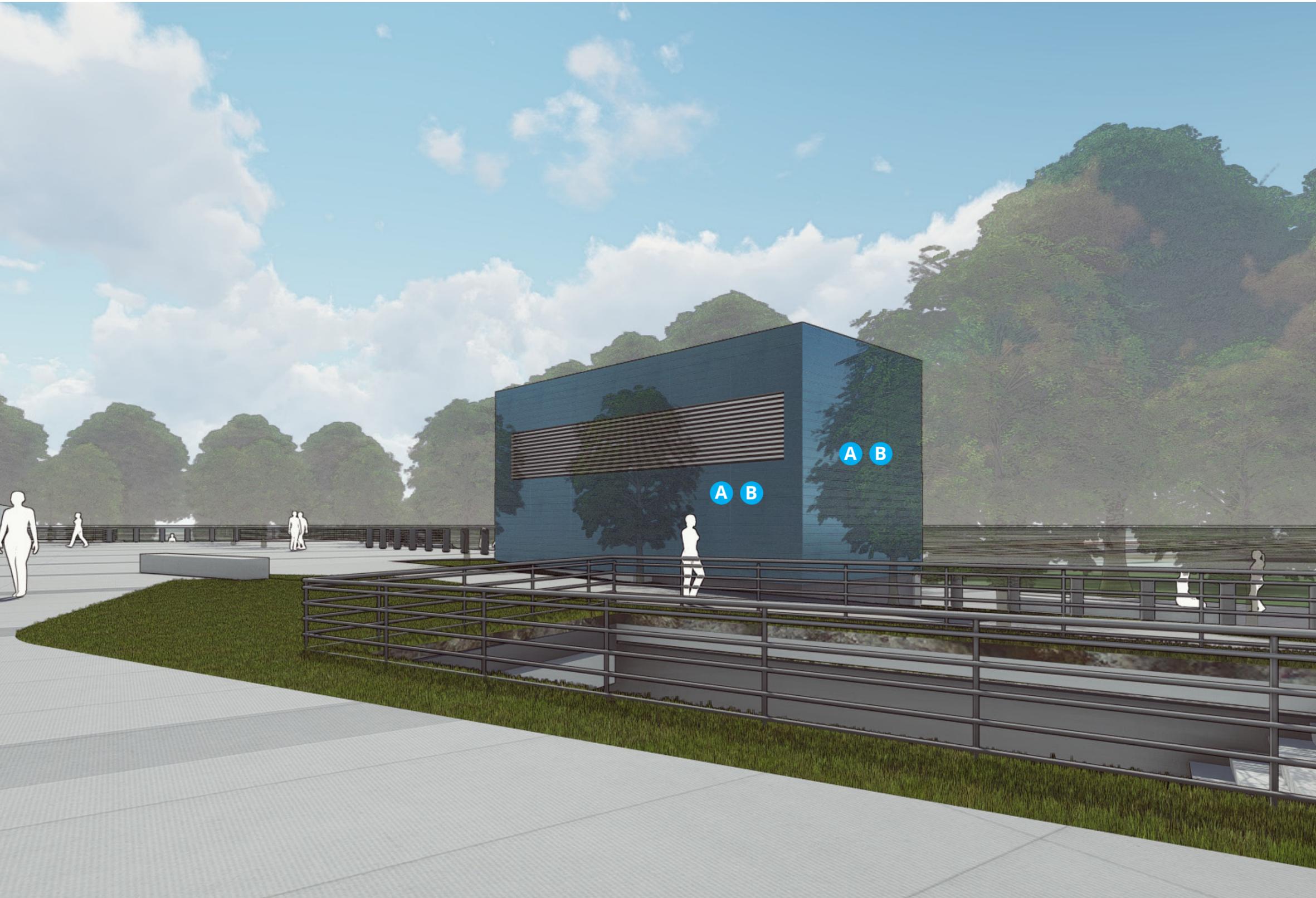
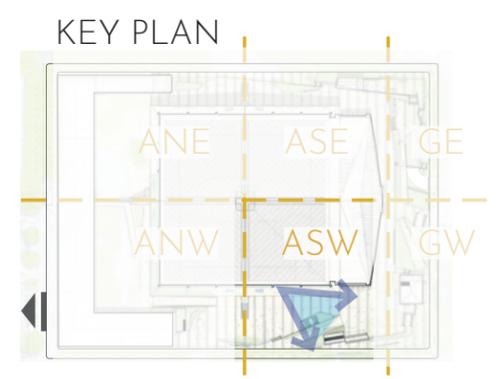
ASW | SOUTHWEST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTHEAST



ASW | SOUTHWEST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING SOUTHWEST



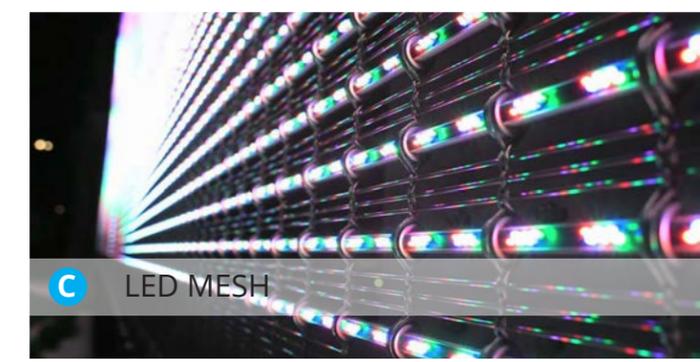
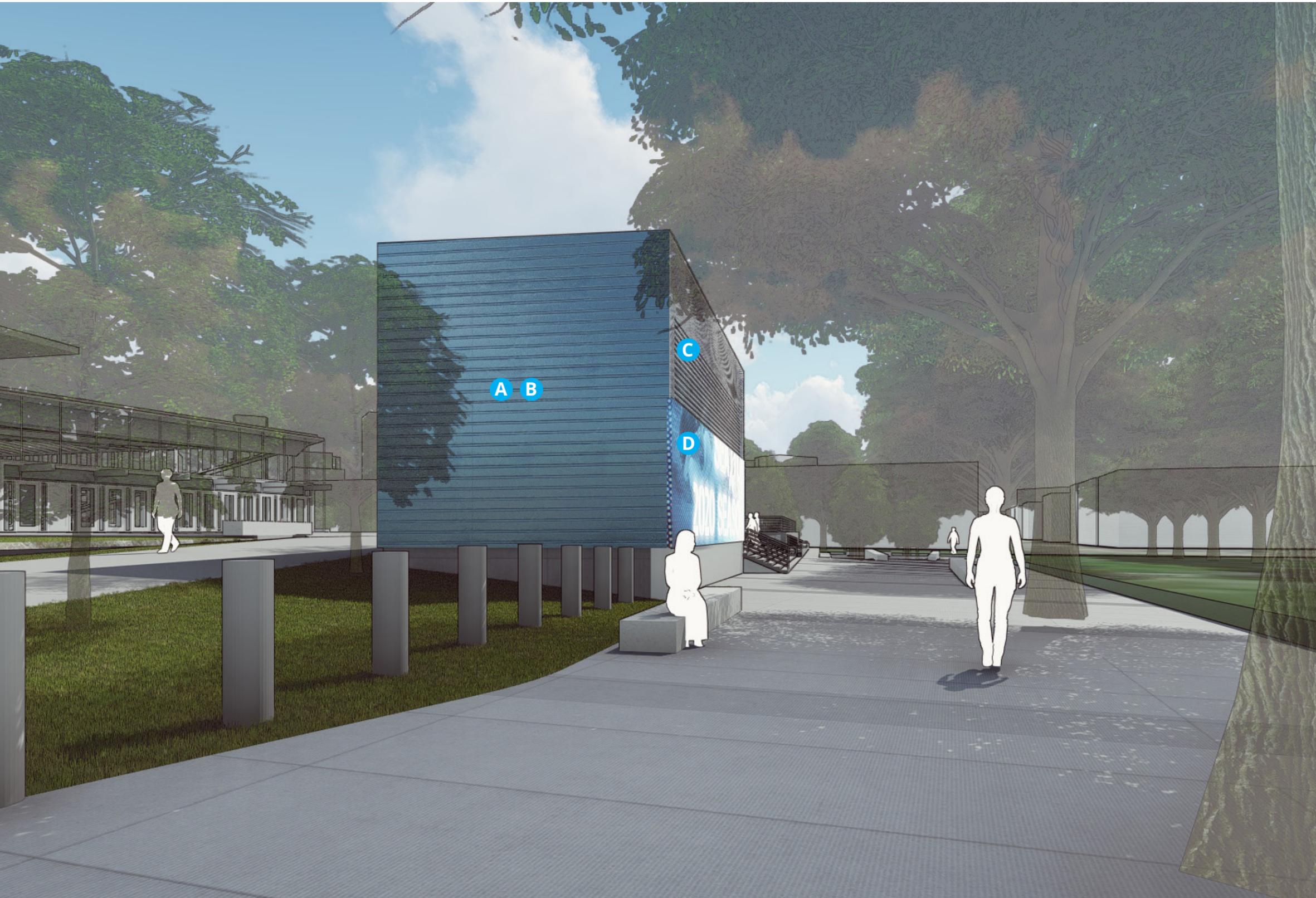
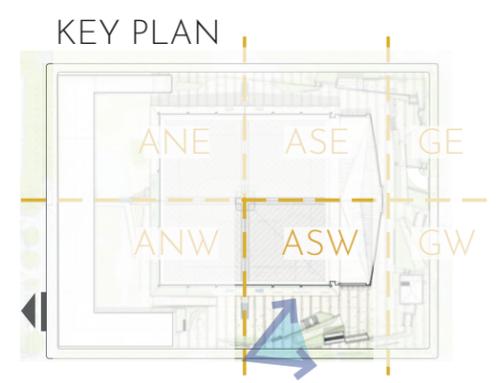
A METAL PANEL



B VINE WALL

ASW | SOUTHWEST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING SOUTHEAST



ANW | SITE ANALYSIS

CURRENT PHOTOGRAPHS
VIEW LOOKING NORTHEAST



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING NORTH AT SOUTH FACADE



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING SOUTHWEST



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING NORTH AT SOUTH FACADE EDGE



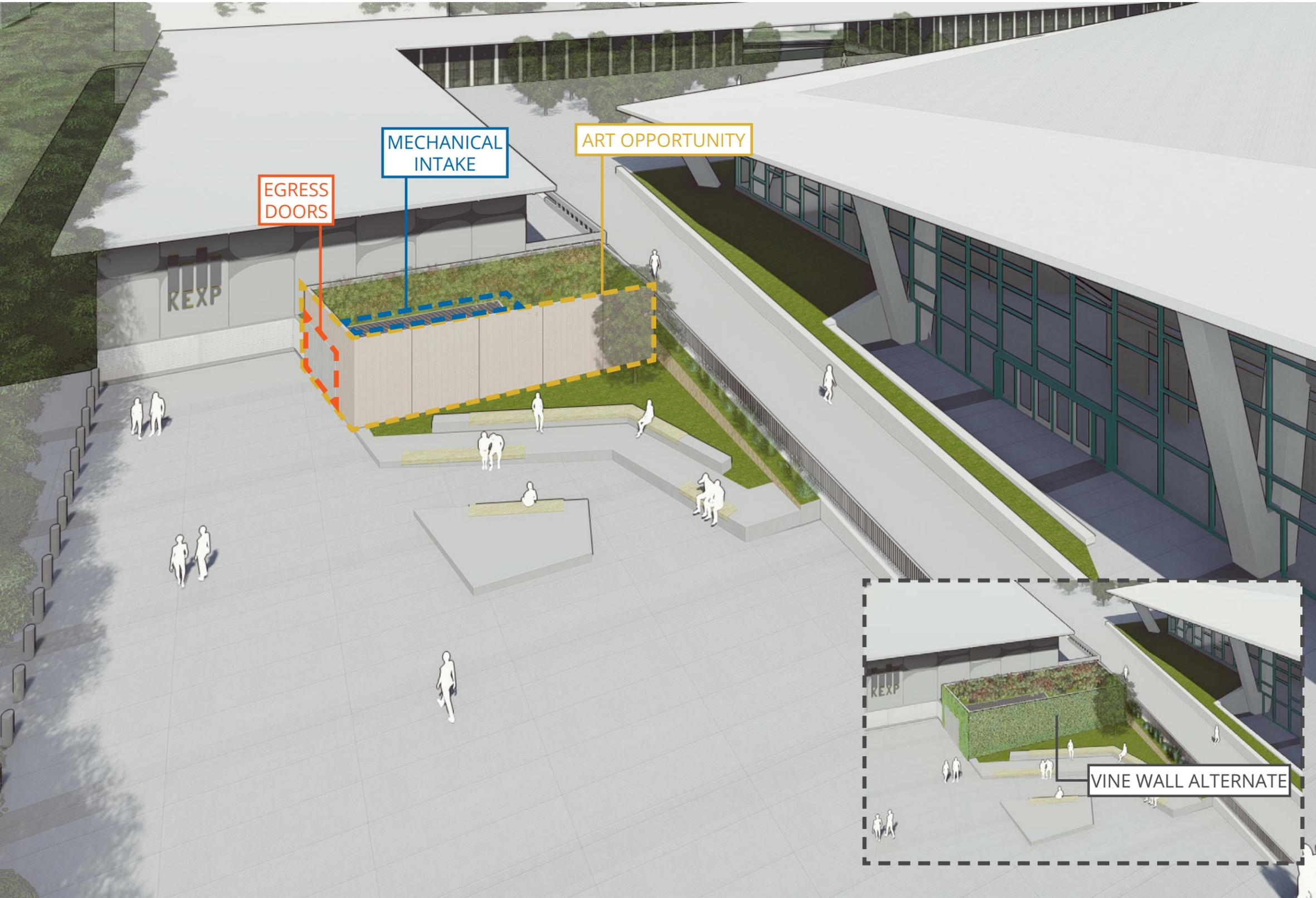
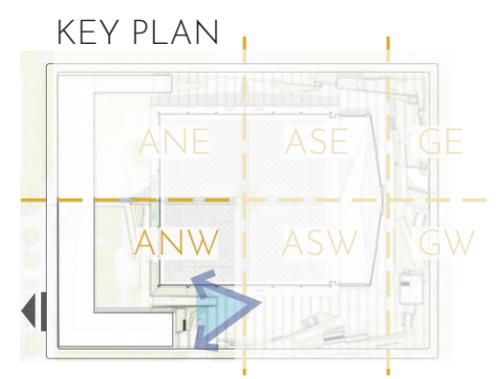
Source: BOLA ARCHITECTURE + PLANNING

KEY PLAN



ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - AERIAL VIEW LOOKING NORTH

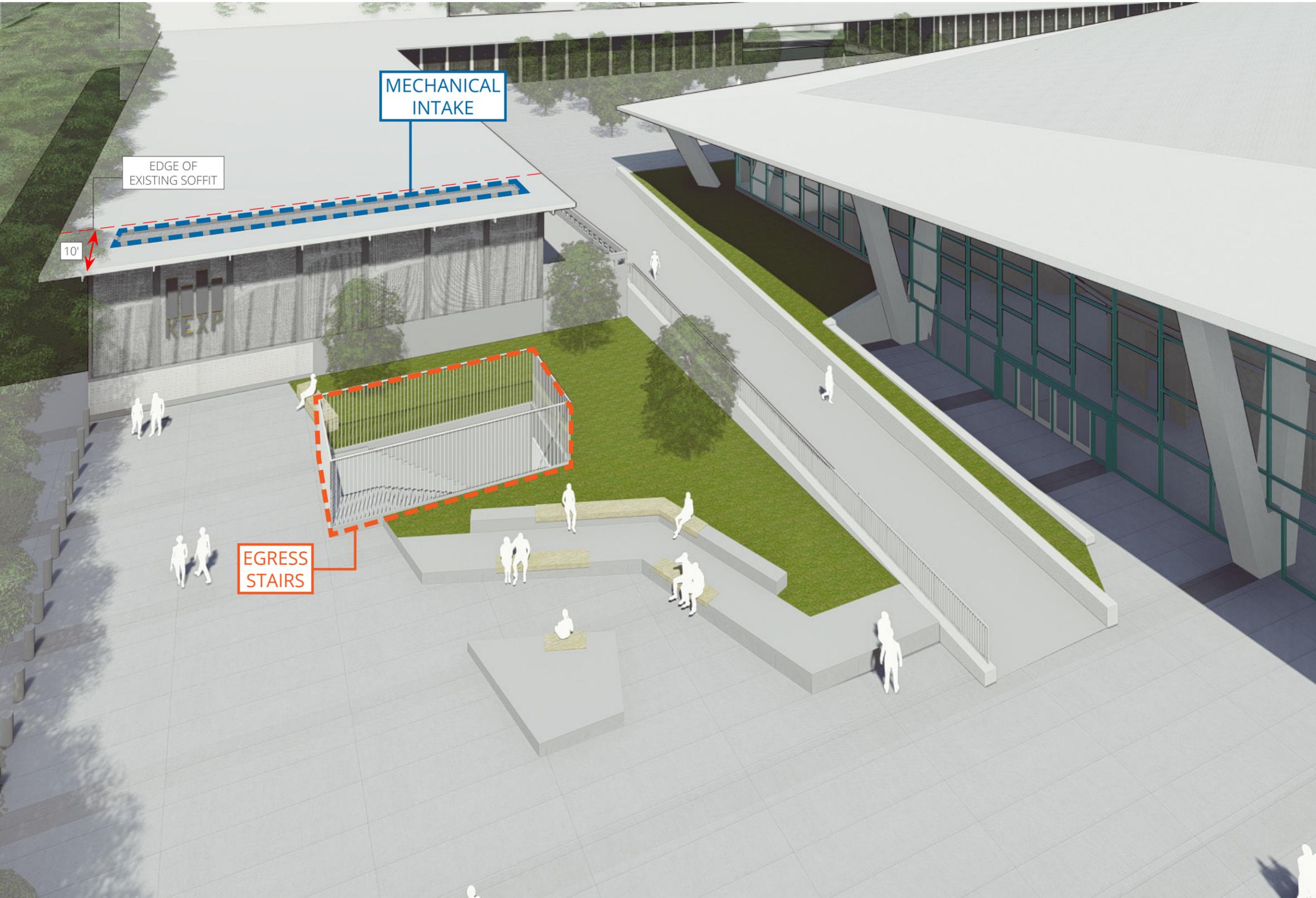
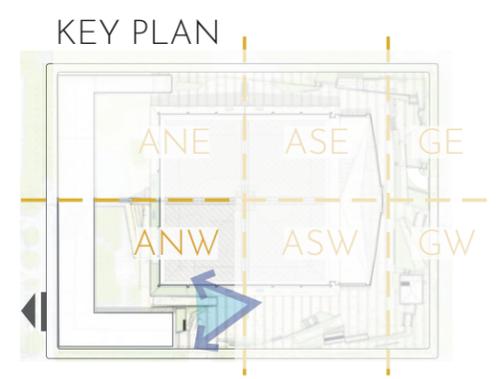


OPTION A DESCRIPTION:

- BUILD NEW ARENA MECHANICAL INTAKE TOWER AND EGRESS STAIR IMMEDIATELY SOUTH OF EXISTING NW ROOMS FAÇADE/FOOTING, MINIMIZE HEIGHT TO APPROX. 12' ABOVE ADJACENT PLAZA
- ENCLOSE NEW EGRESS/MECHANICAL BUILDING WITH CONCRETE PANEL FAÇADE ON ALL SIDES (WITH ALTERNATE VINE OVERLAY), AND SEDUM ROOF
- RETAIN EXISTING KEXP DONOR TILES IN CURRENT LOCATION, EXPAND TO THE WEST FAÇADE OF NEW EGRESS/MECHANICAL BUILDING
- SOUTHERN MOST PORTION OF EXISTING ROOF MAY HAVE TO BE DECONSTRUCTED AND RECONSTRUCTED

ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - AERIAL VIEW LOOKING NORTH

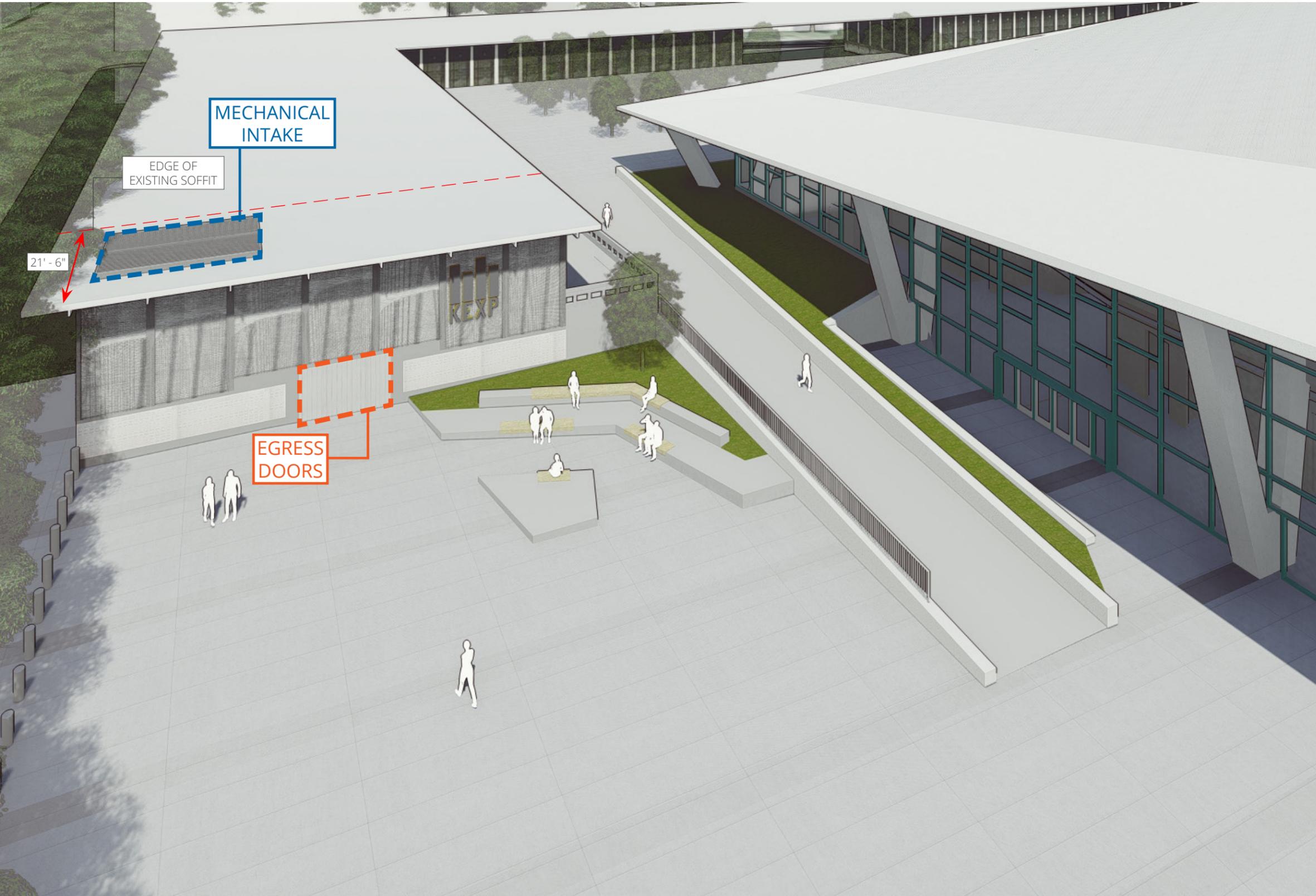
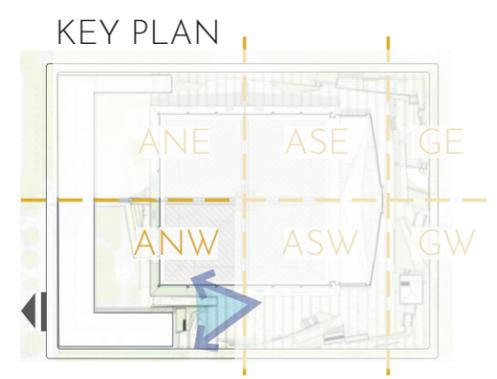


OPTION B DESCRIPTION:

- EXTEND THE NW ROOMS BUILDING 10' TO THE SOUTH TO ENCLOSE NEW ARENA MECHANICAL INTAKE TOWER
- EXISTING THIRY PANELS WOULD REMAIN IN PLACE BUT BE CONCEALED BY THE BUILDING EXTENSION
- ENCLOSE NEW 10' BUILDING EXTENSION WITH PERFORATED METAL PANEL RAINSCREEN SYSTEM (W, S, E, SIDES), AND CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE
- SHIFT EXISTING KEXP DONOR TILES TO FOUNDATION WALL OF NEW BUILDING EXTENSION
- CONSTRUCT NEW EGRESS STAIR IMMEDIATELY SOUTH OF NEW 10' NW ROOMS EXTENSION, ENCLOSING WITH SECURITY FENCE

ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - AERIAL VIEW LOOKING NORTH

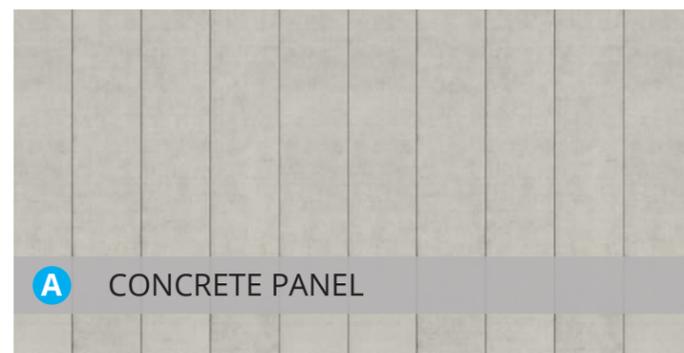
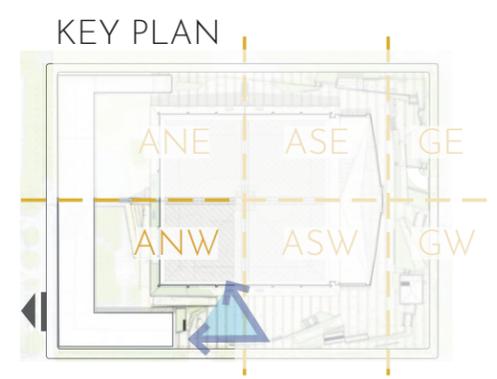


OPTION C DESCRIPTION:

- EXTEND THE NW ROOMS BUILDING 21'-6" TO THE SOUTH TO ENCLOSE NEW ARENA MECHANICAL INTAKE TOWER
- EXISTING THIRY PANELS WOULD REMAIN IN PLACE BUT BE CONCEALED BY THE BUILDING EXTENSION
- ENCLOSE NEW 21'-6" BUILDING EXTENSION WITH PERFORATED METAL PANEL RAINSCREEN SYSTEM (W, S, E, SIDES), AND CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE
- SHIFT EXISTING KEXP DONOR TILES TO FOUNDATION WALL OF NEW BUILDING EXTENSION
- EGRESS DOORS LOCATED ON SOUTHERN SIDE OF 21'-6" EXTENSION

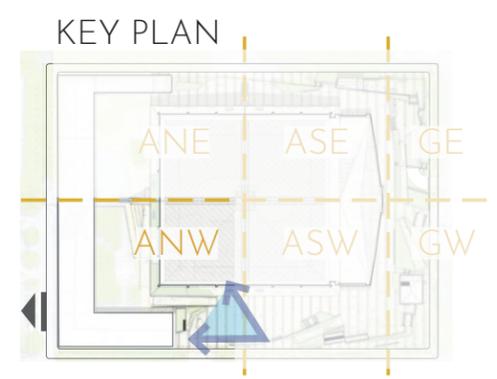
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING NORTHEAST



ANW | NORTHWEST EGRESS & MECHANICAL

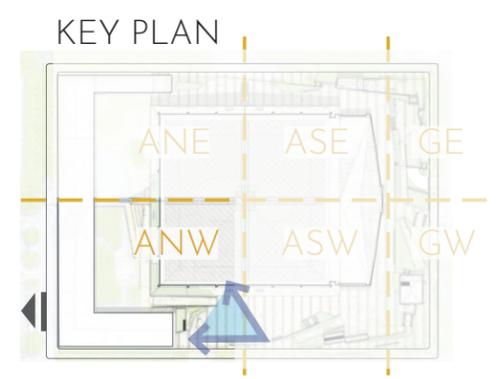
PROPOSED OPTION B - VIEW LOOKING NORTHEAST



A PERFORATED METAL PANEL

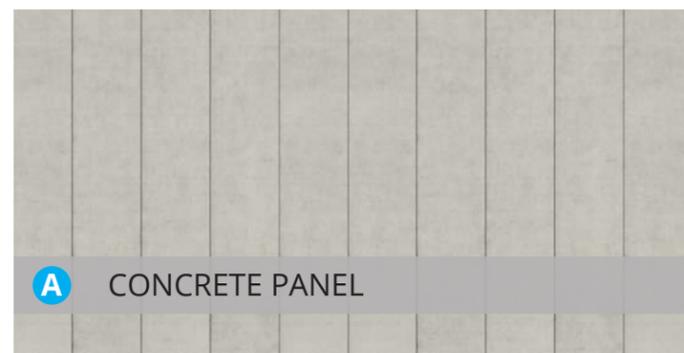
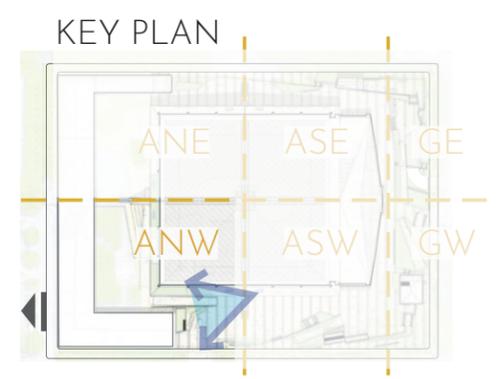
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING NORTHEAST



ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING NORTHWEST



A CONCRETE PANEL



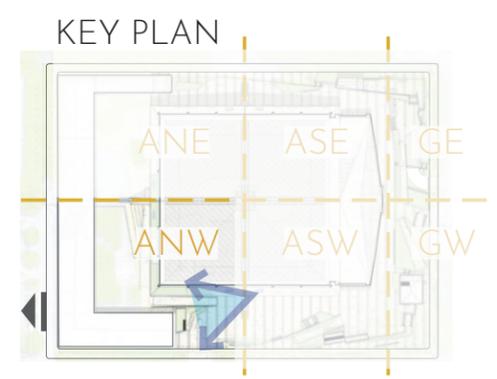
B VINE WALL



C SEDUM ROOF

ANW | NORTHWEST EGRESS & MECHANICAL

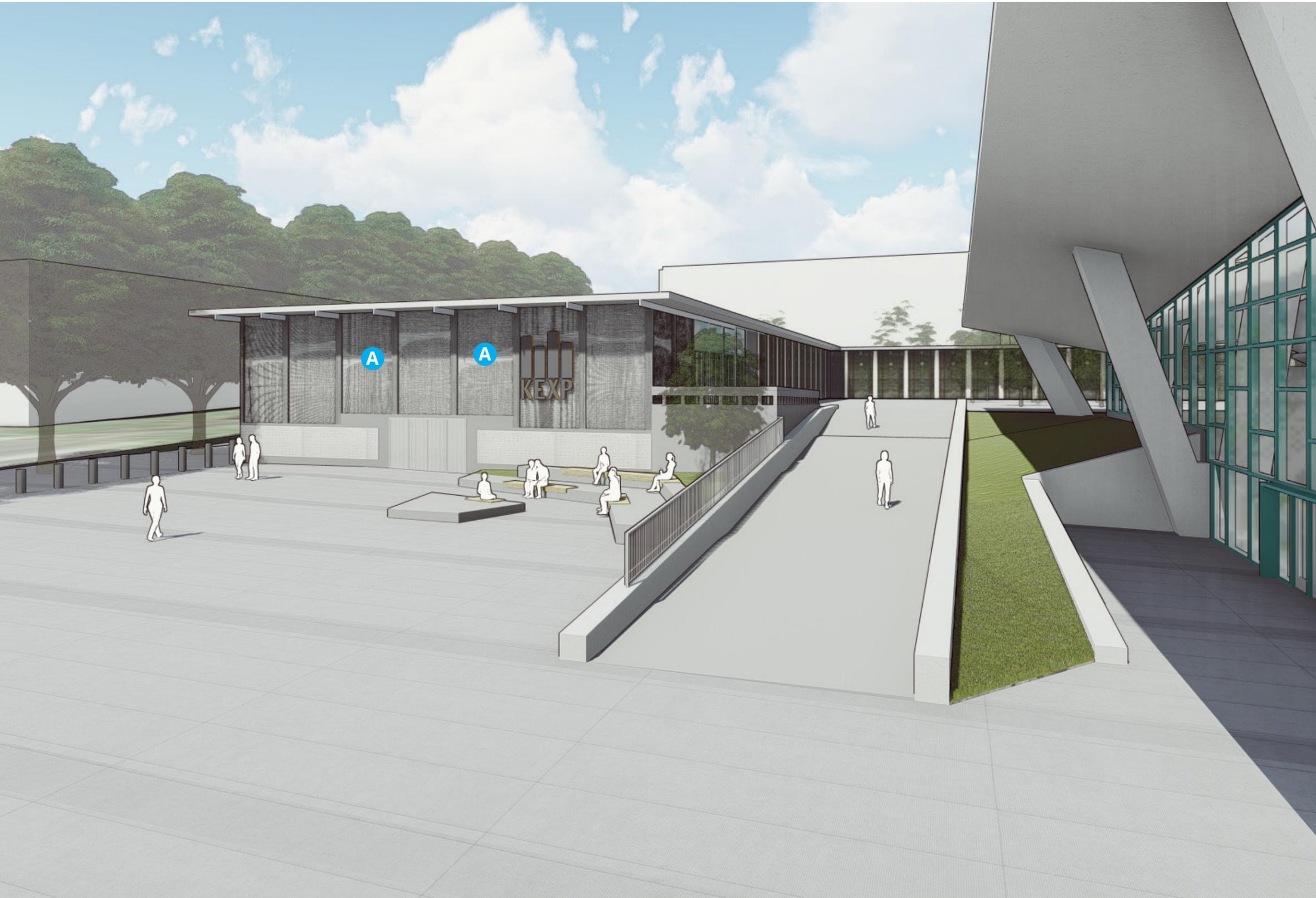
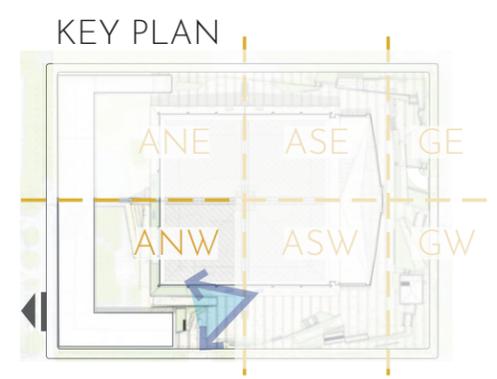
PROPOSED OPTION B - VIEW LOOKING NORTHWEST



A PERFORATED METAL PANEL

ANW | NORTHWEST EGRESS & MECHANICAL

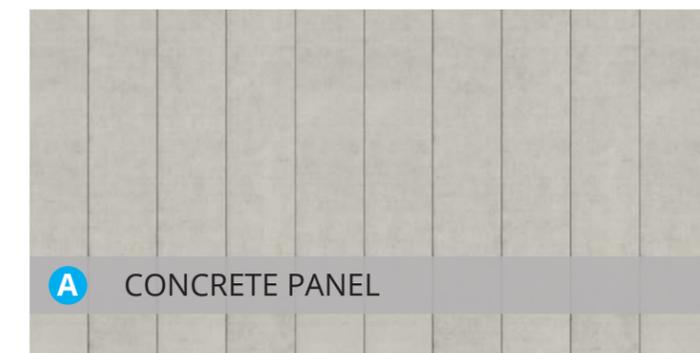
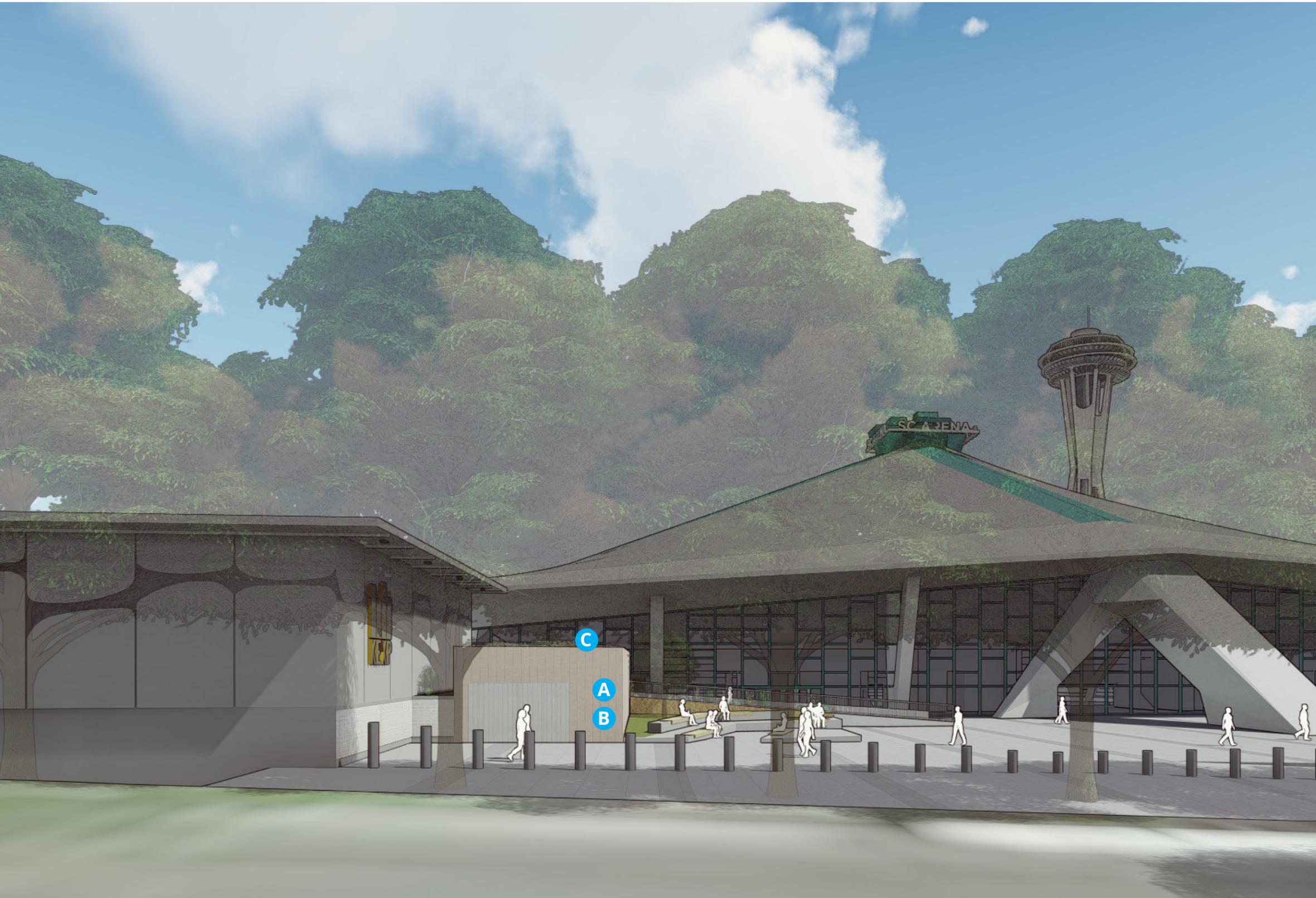
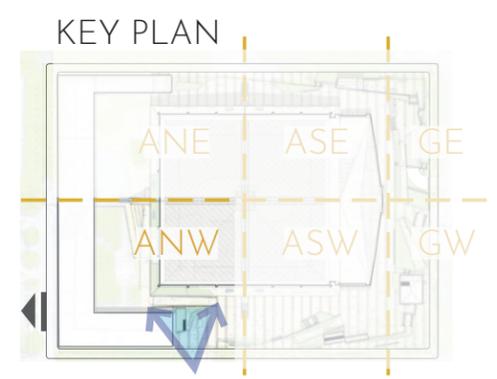
PROPOSED OPTION C - VIEW LOOKING NORTHWEST



A PERFORATED METAL PANEL

ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING EAST



A CONCRETE PANEL



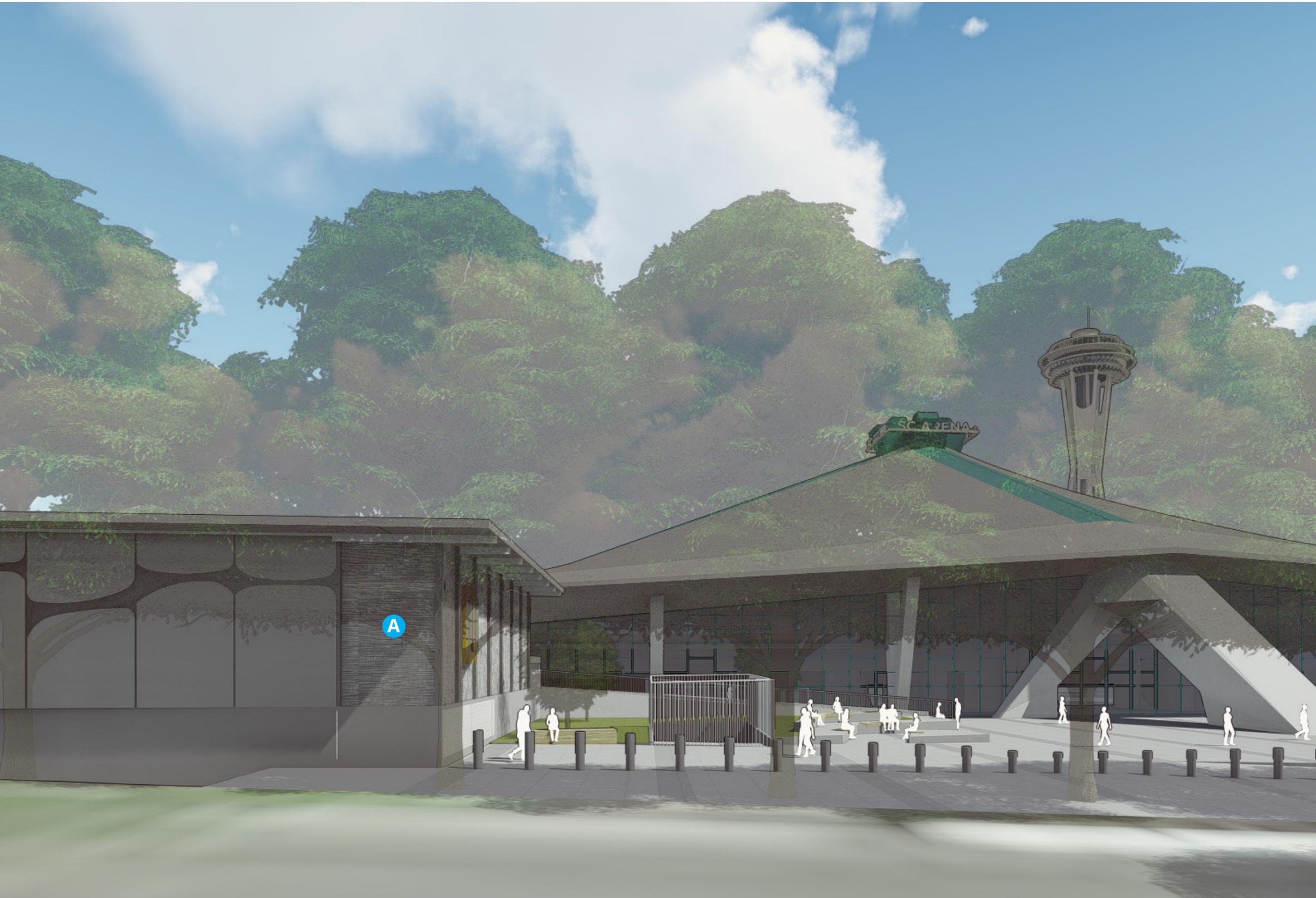
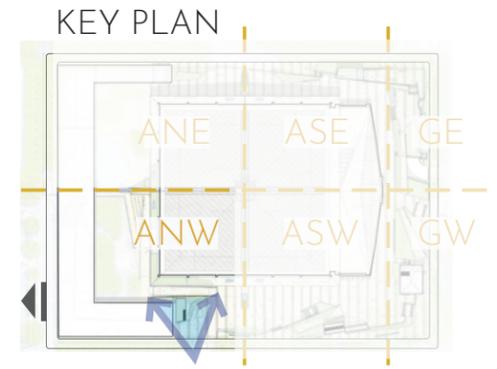
B VINE WALL



C SEDUM ROOF

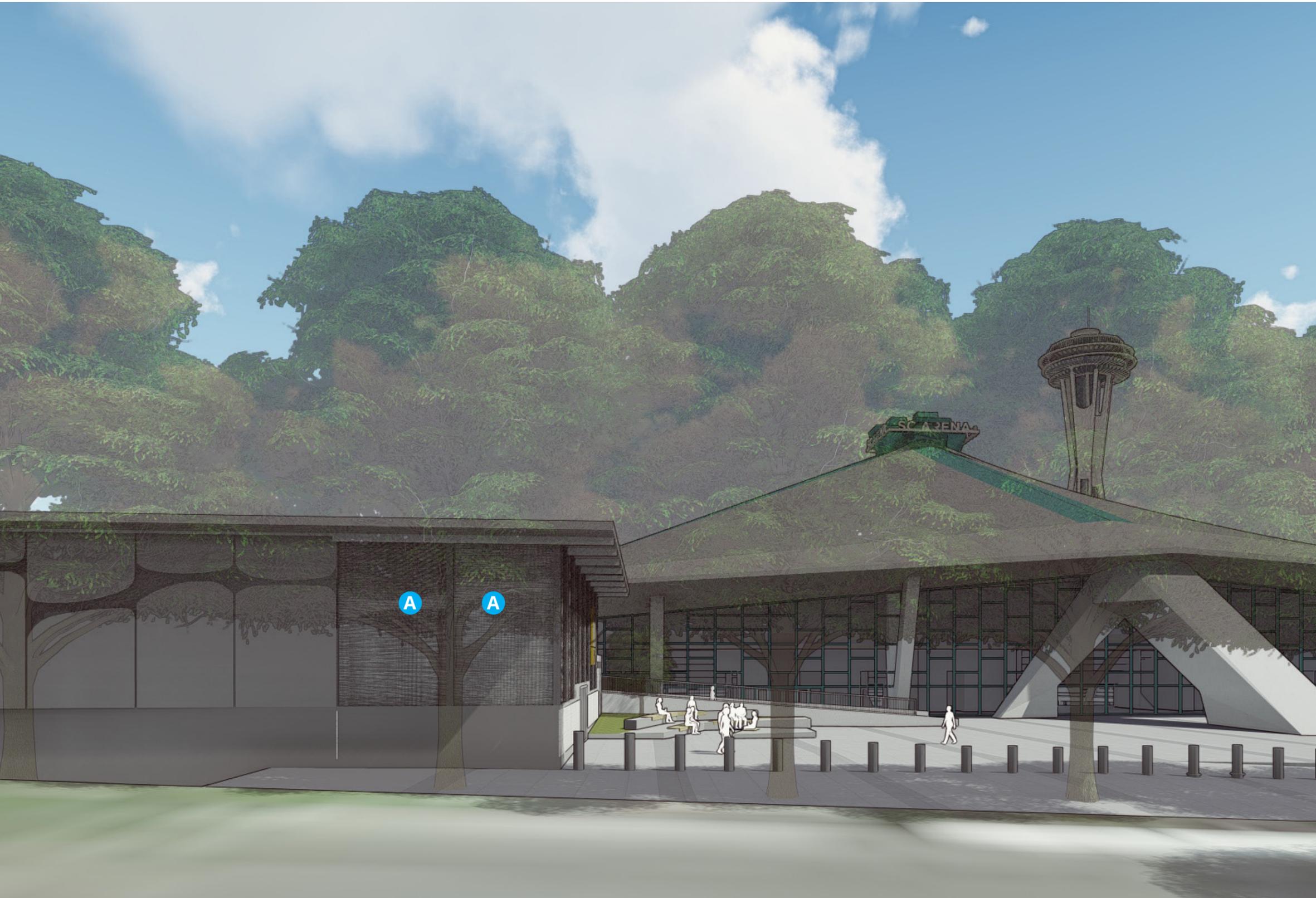
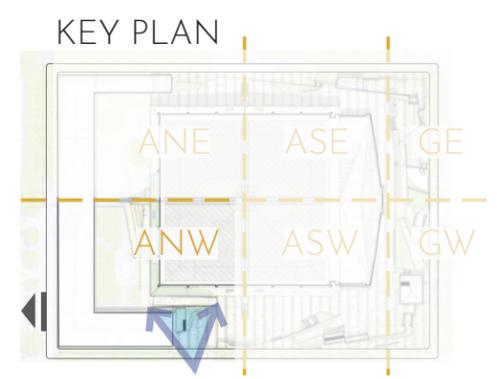
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - VIEW LOOKING EAST



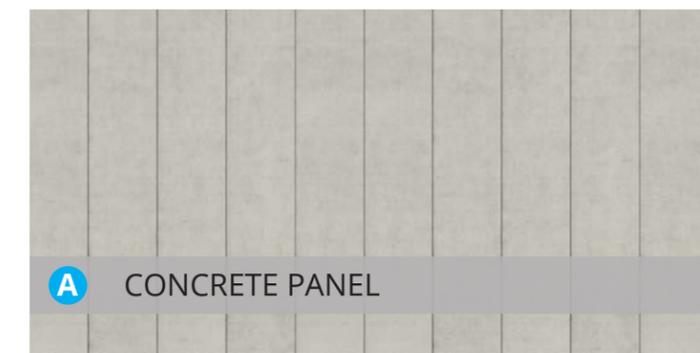
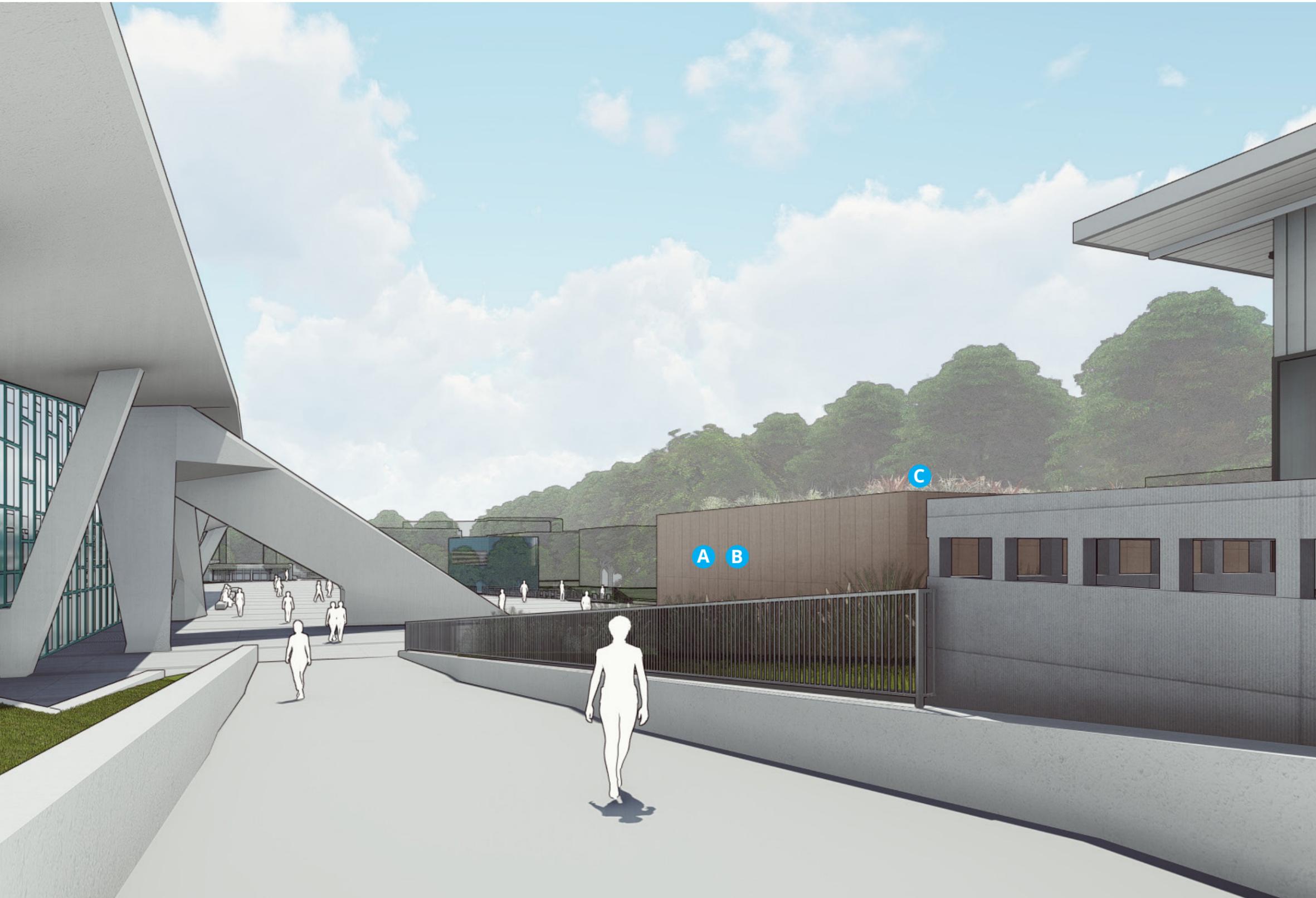
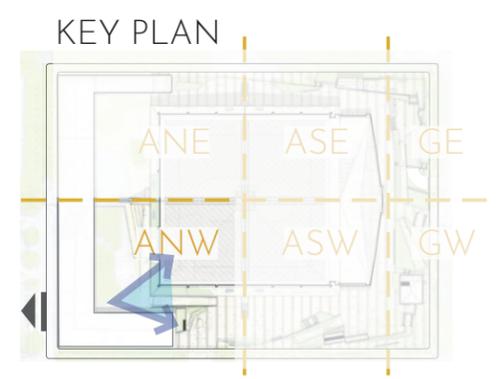
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING EAST



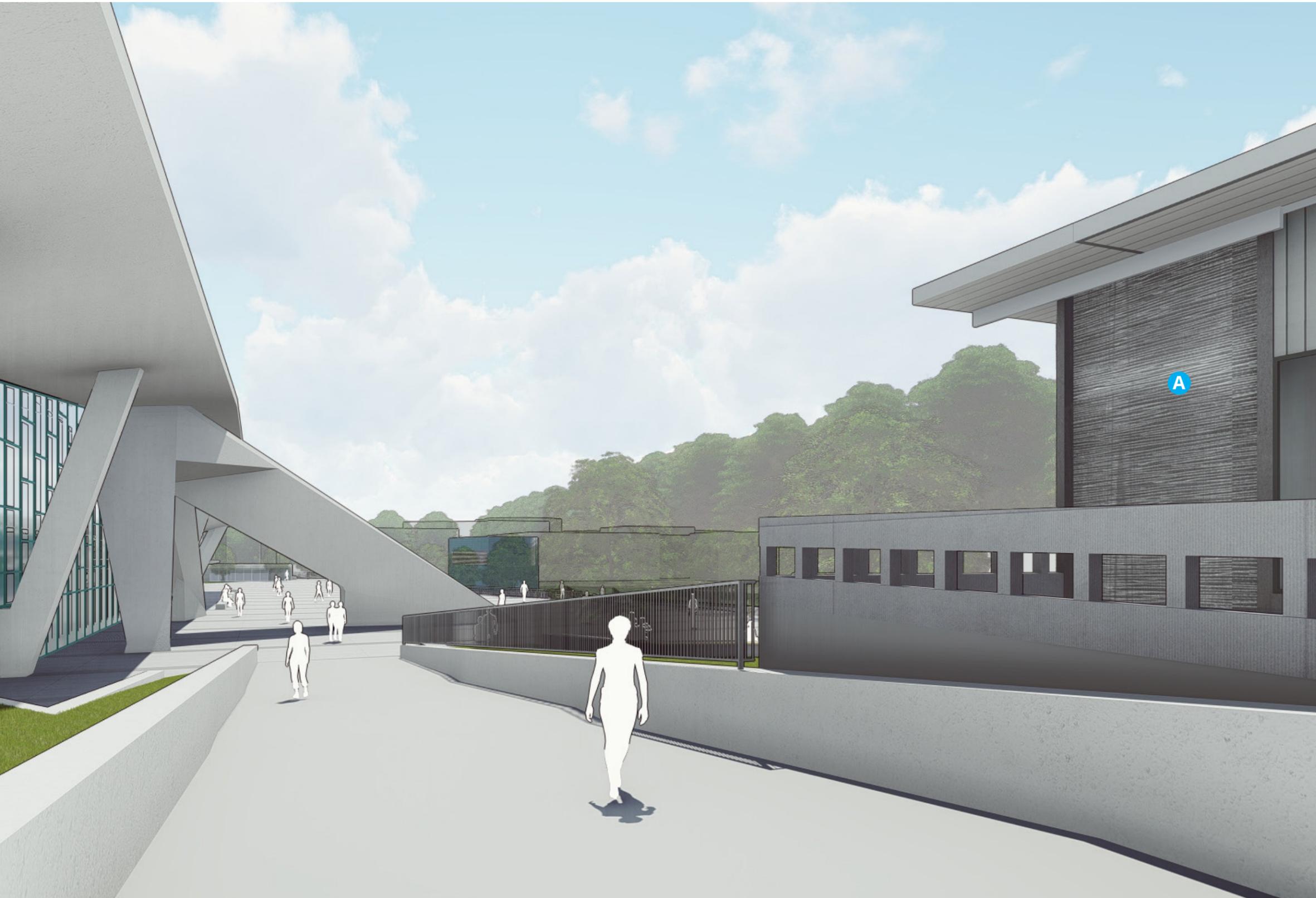
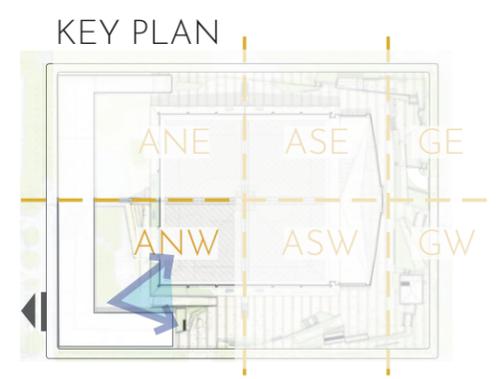
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING SOUTH



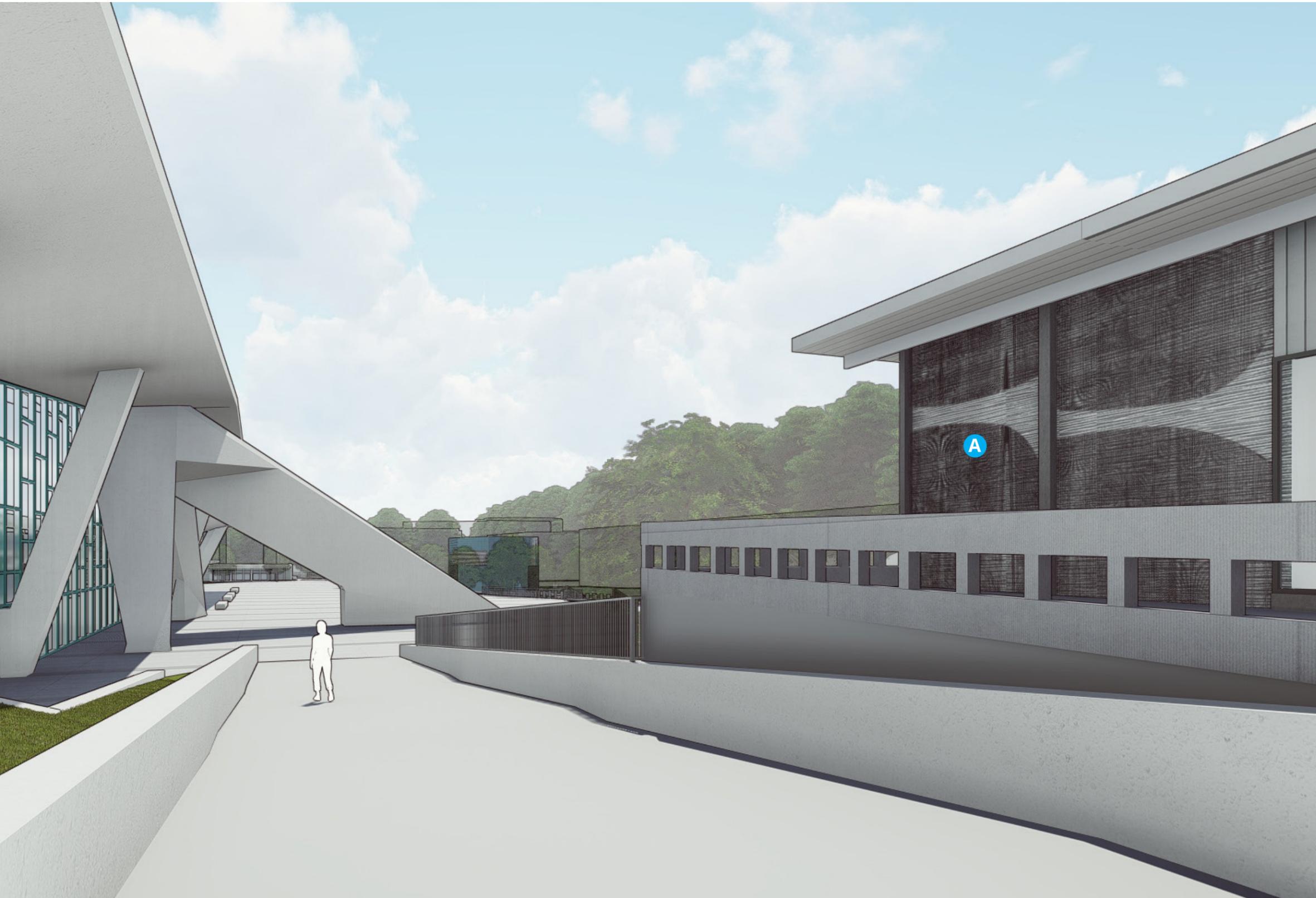
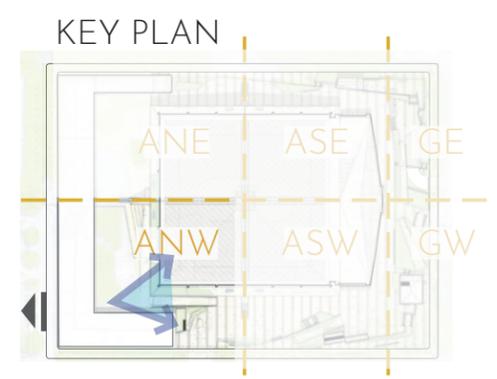
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - VIEW LOOKING SOUTH



ANW | NORTHWEST EGRESS & MECHANICAL

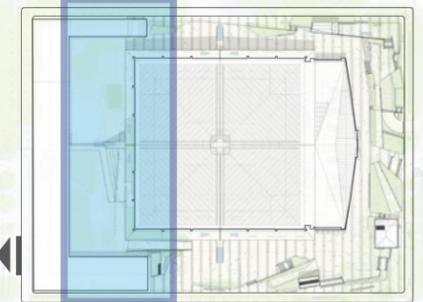
PROPOSED OPTION C - VIEW LOOKING SOUTH



NORTH COURTYARD

CURRENT CONDITION - PLAN VIEW

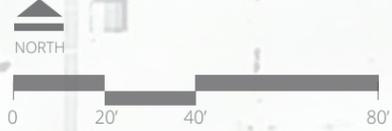
KEY PLAN



Republican St.

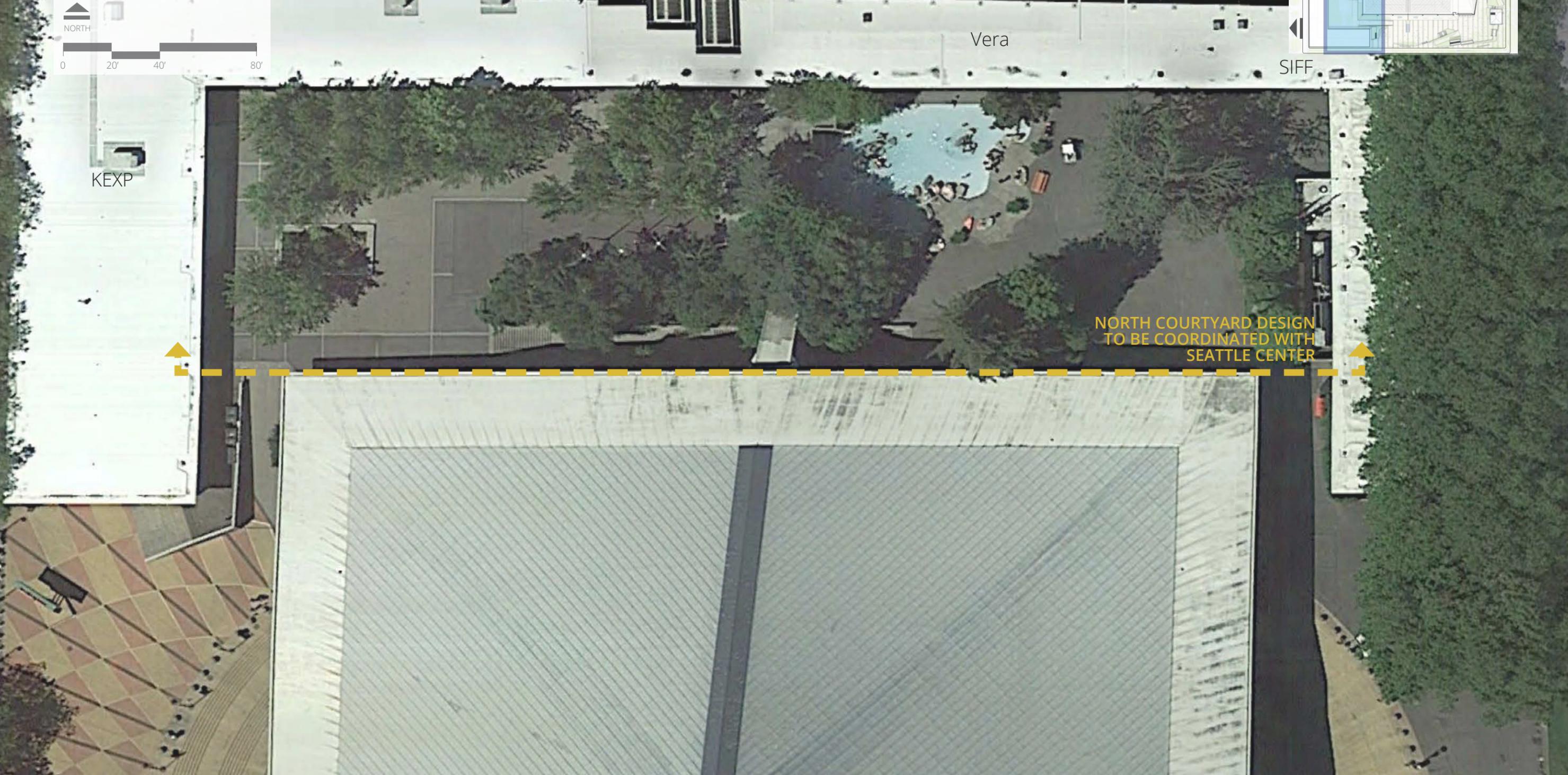
Vera

SIFF



KEXP

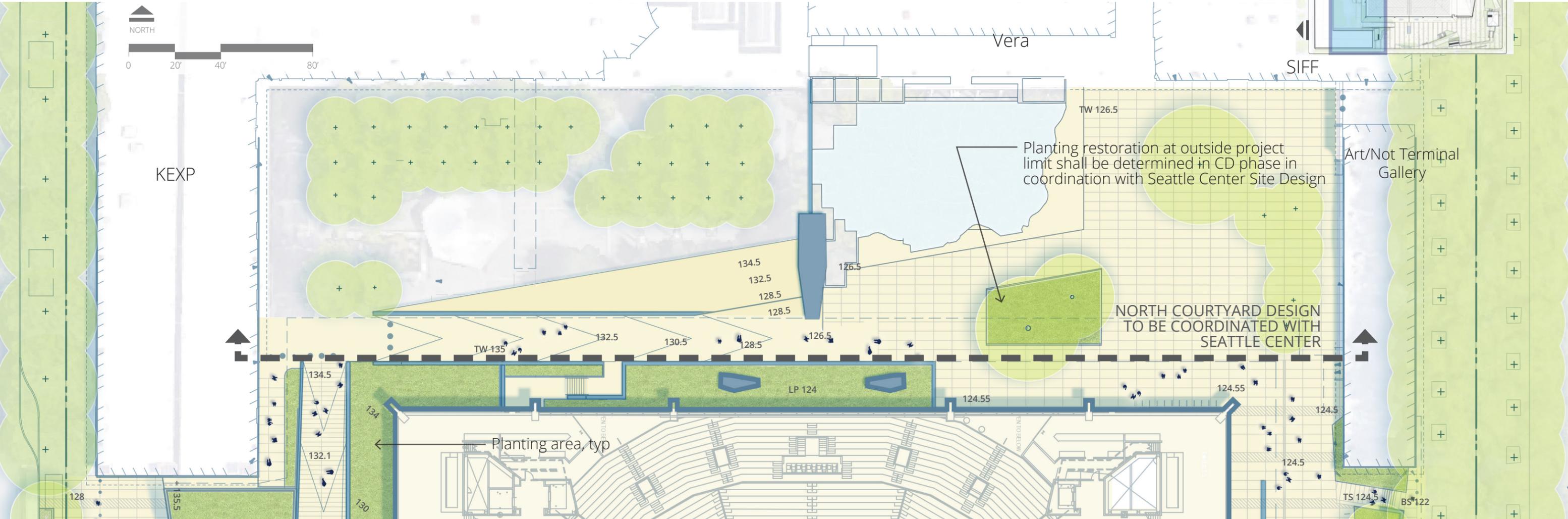
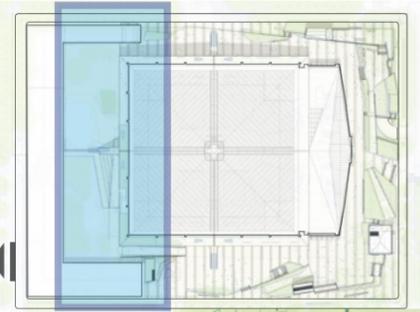
NORTH COURTYARD DESIGN
TO BE COORDINATED WITH
SEATTLE CENTER



NORTH COURTYARD

ENLARGED SITE PLAN - PLANTING

KEY PLAN



TREES



Metasequoia glyptostroboides

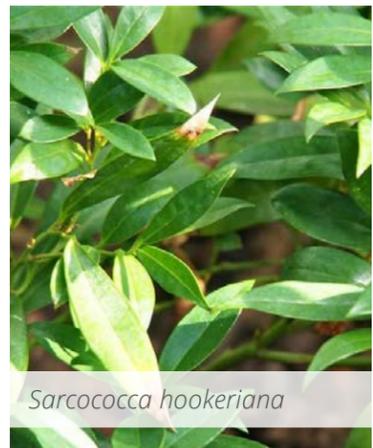


Sequoia sempervirens

STRUCTURAL



Leucothoe fontanesiana



Sarcococca hookeriana

SUPPORTING



Asarum caudatum



Vancouveria hexandra

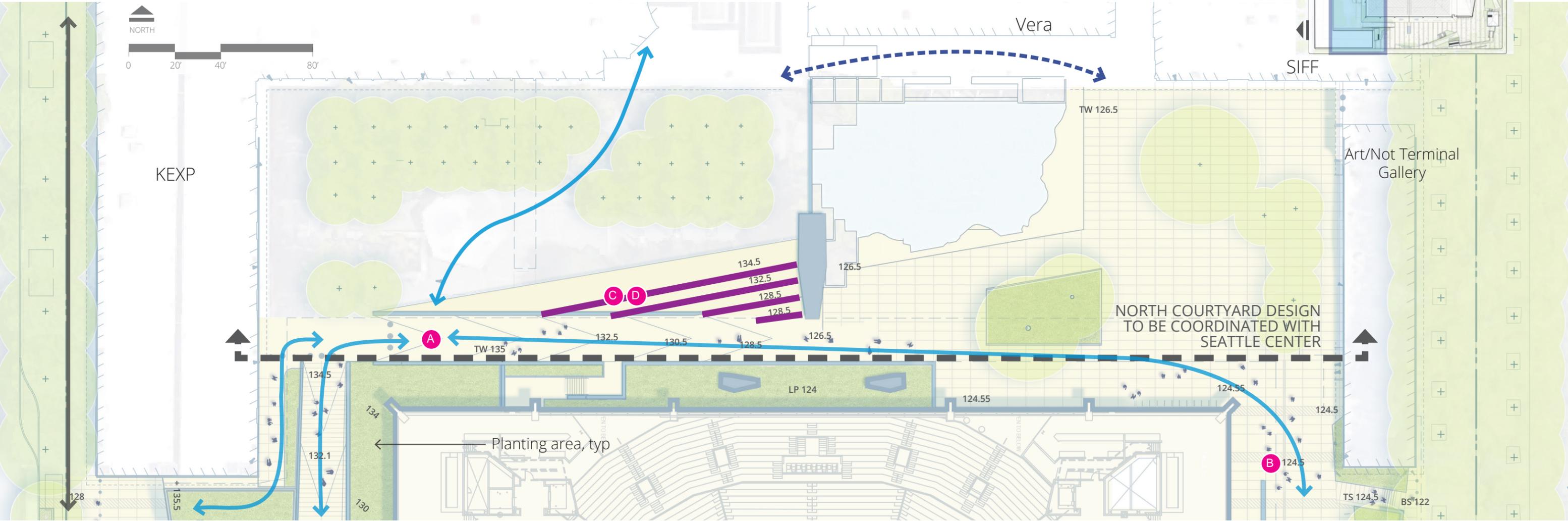
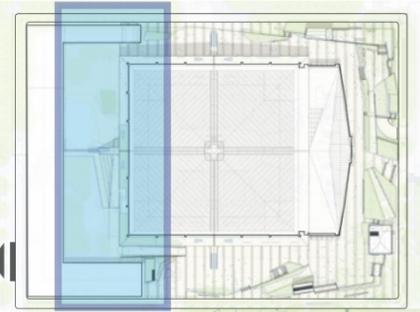


Trachelospermum jasminoides

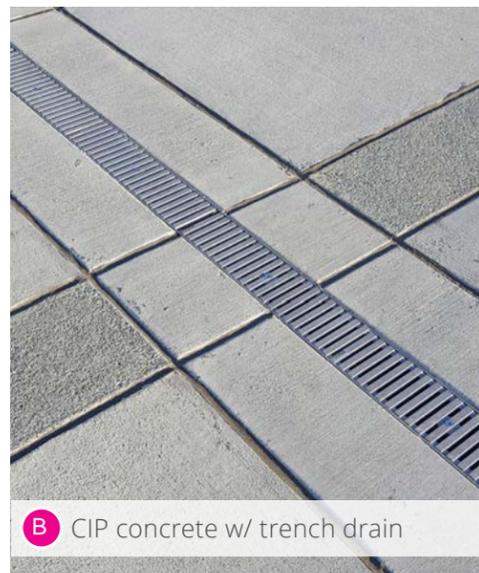
NORTH COURTYARD

ENLARGED SITE PLAN - CIRCULATION

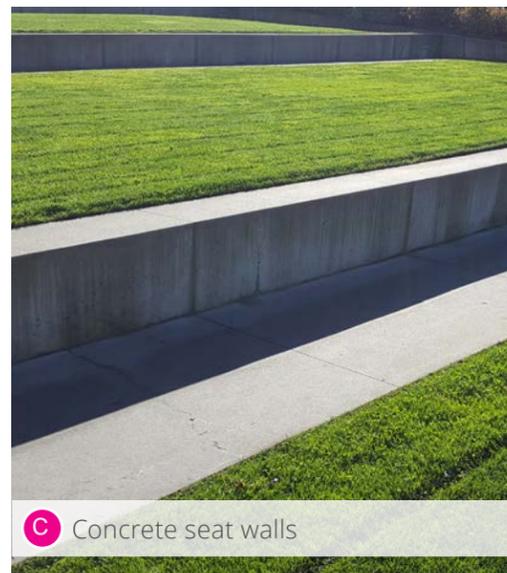
KEY PLAN



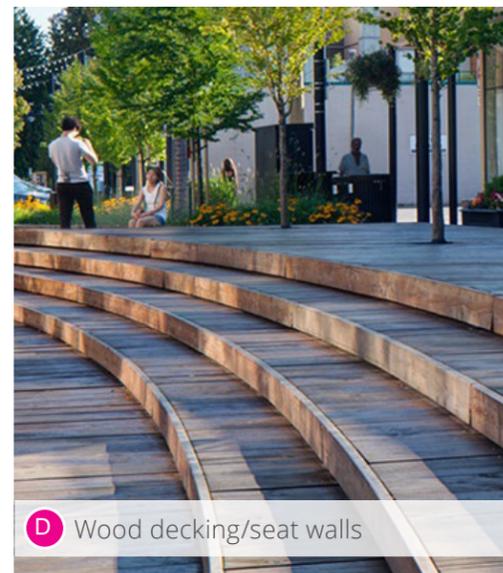
A Cast-in-place concrete w/ saw cut joints



B CIP concrete w/ trench drain



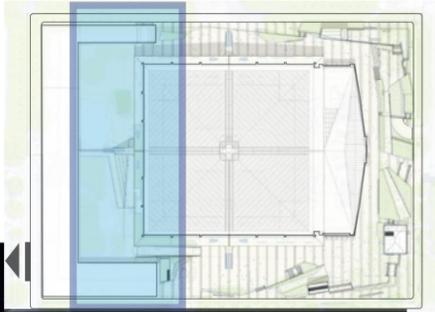
C Concrete seat walls



D Wood decking/seat walls

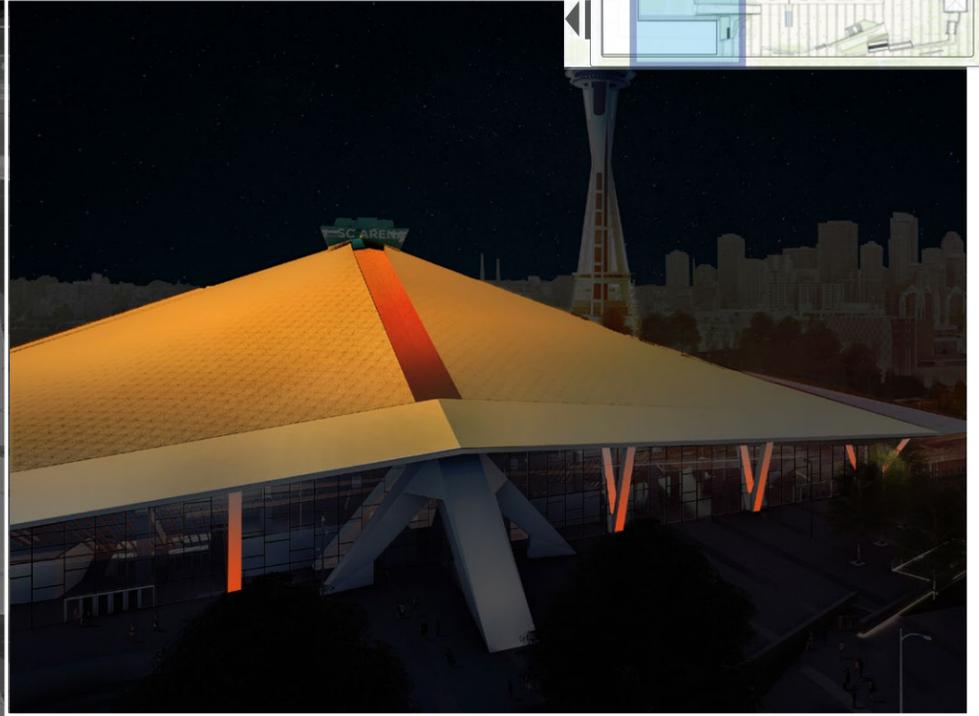
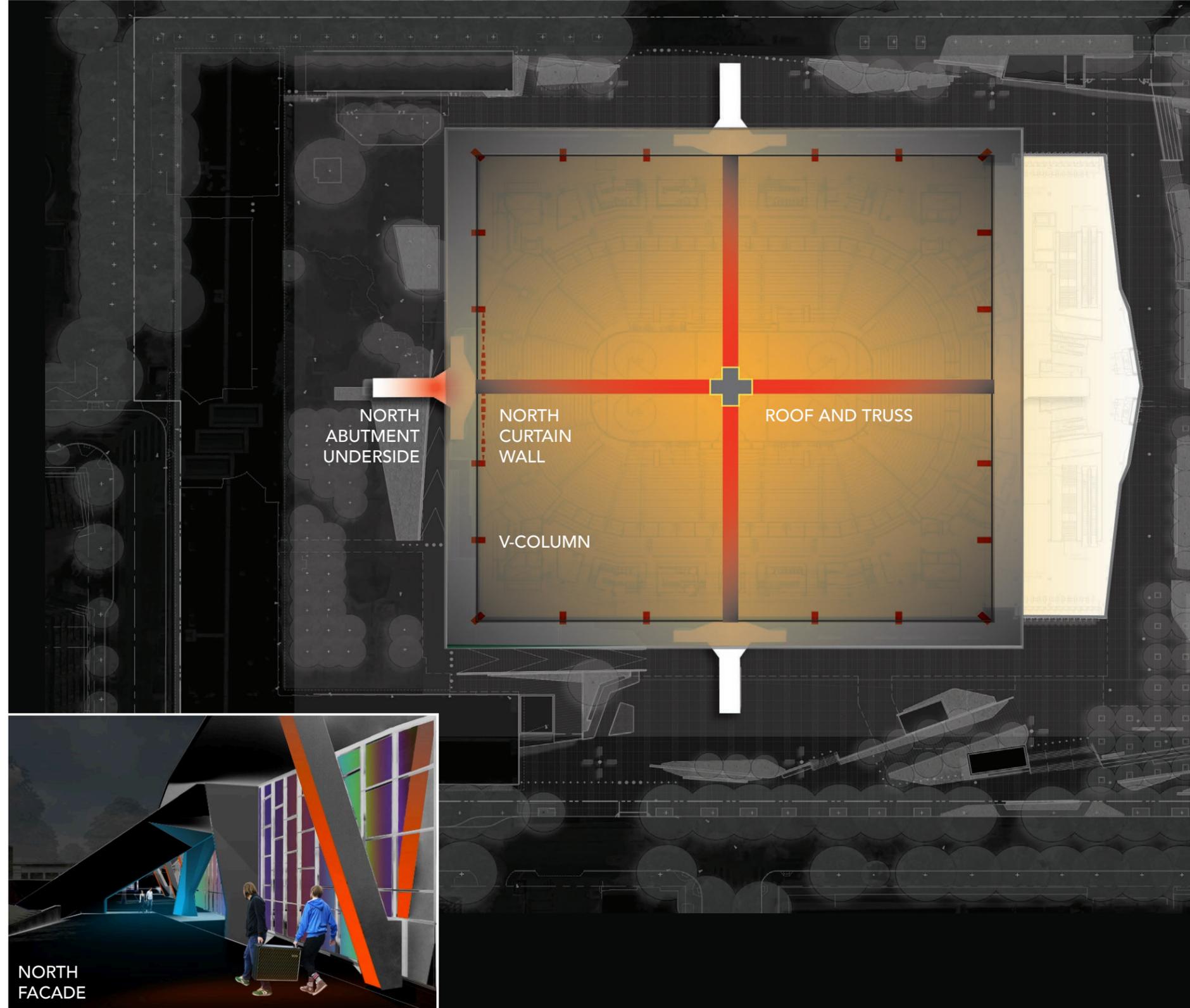
LEGEND:

- Accessible Routes
- Access with Stairs
- Arena Egress
- Vehicular Egress Route
- Thomas St. Closed to Vehicles During Events
- Access / Egress
- Site Seating



ART PLAN | LIGHTING - COLUMNS & CURTAIN WALL

NORTH COURTYARD



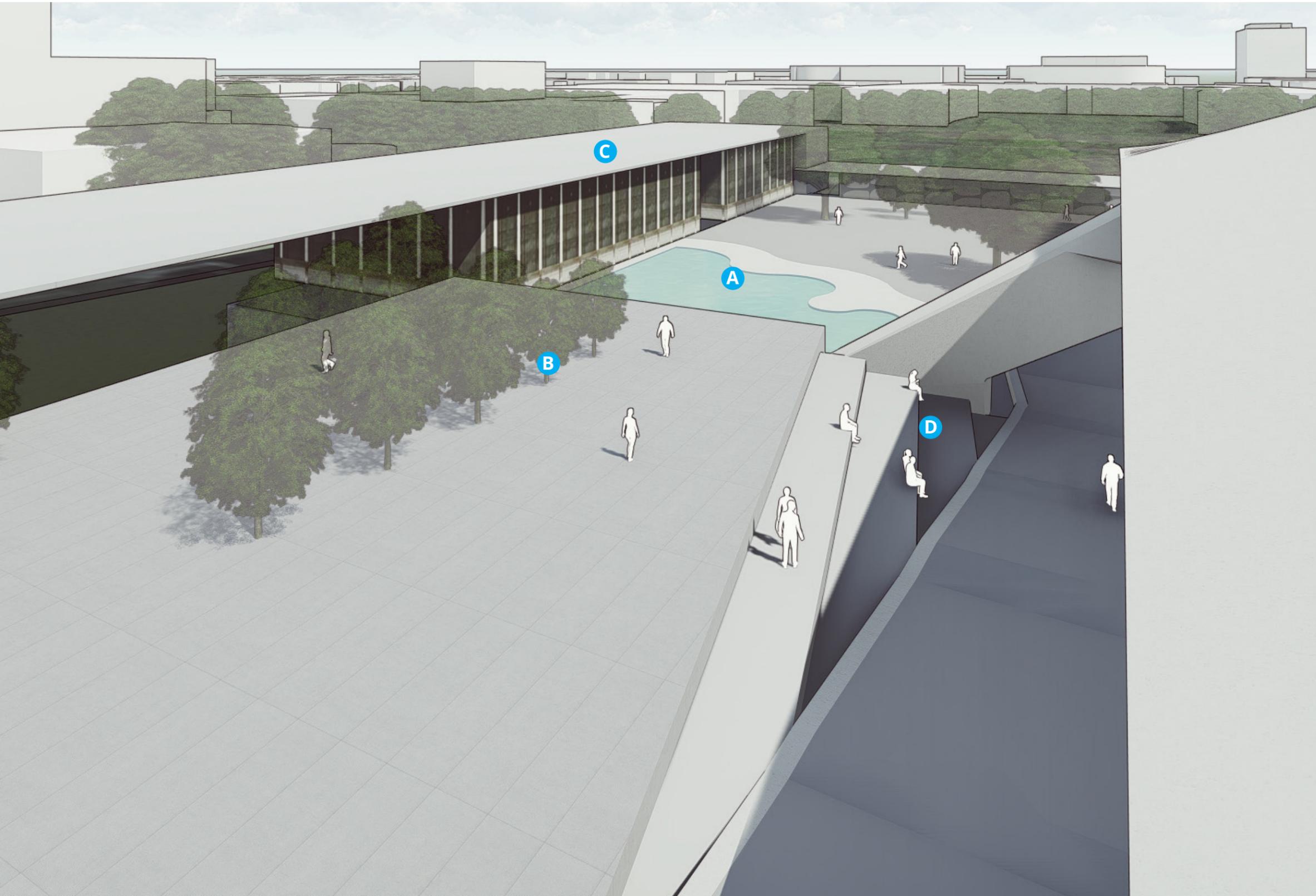
- Accentuate sculptural quality of architectural elements with dynamic RGB LED lighting
- Reserve four large buttresses for signage
- Indicate what is happening inside the Arena - such as a goal scored, or rhythm of music - with light
- Tie light programming to:
 - » Games
 - » Concerts
 - » Festivals
 - » Holidays
- Collaborate with project lighting designers to develop lighting systems integrated with site and building lighting strategies
- \$300,000 art funds, additional to lighting budget



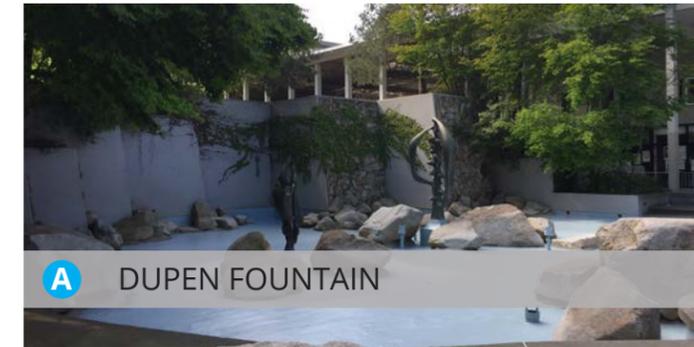
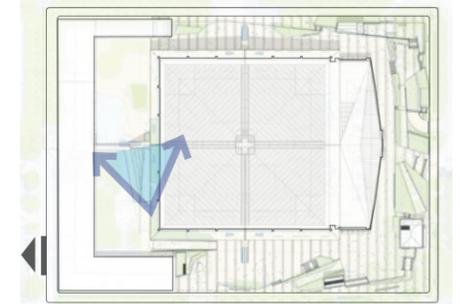
NORTH FACADE

NORTH COURTYARD

PROPOSED CONCEPT - AERIAL VIEW LOOKING NORTHEAST



KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



C COLUMN ARCADE

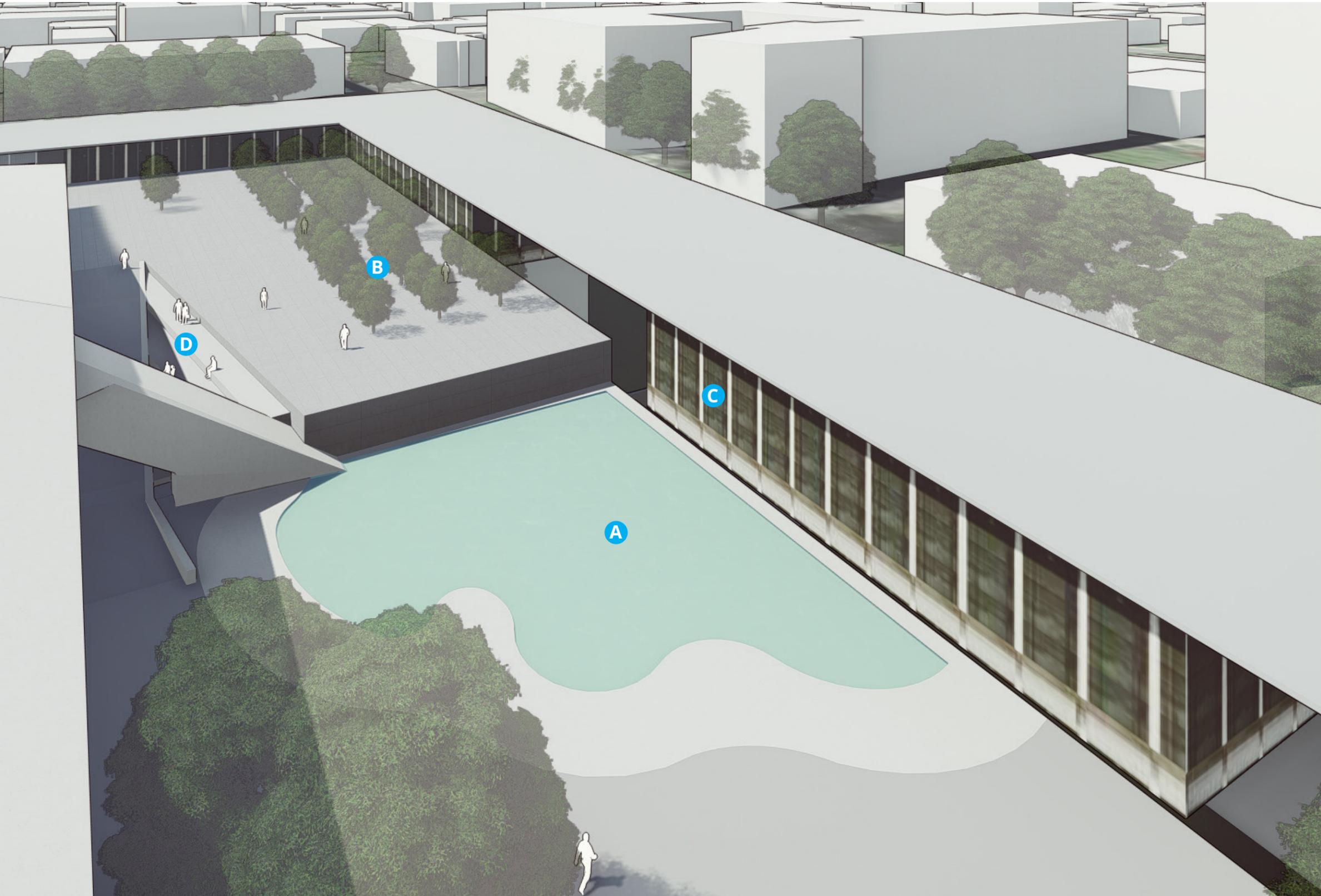
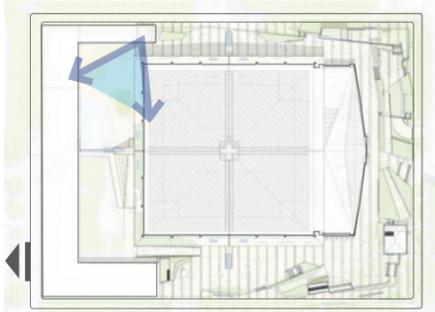


D TERRACE STEPS

NORTH COURTYARD

PROPOSED CONCEPT - AERIAL VIEW LOOKING NORTHWEST

KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



C COLUMN ARCADE

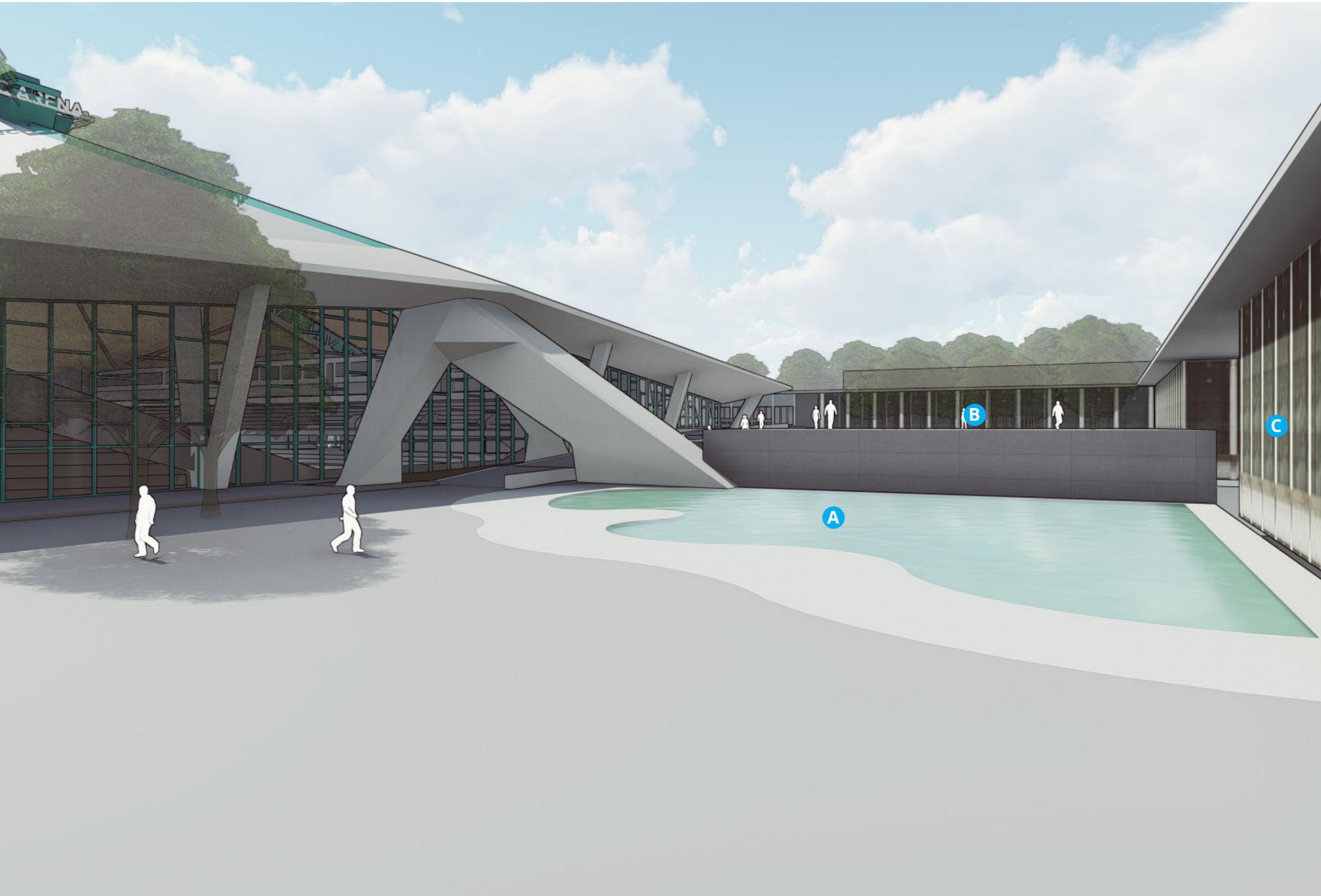
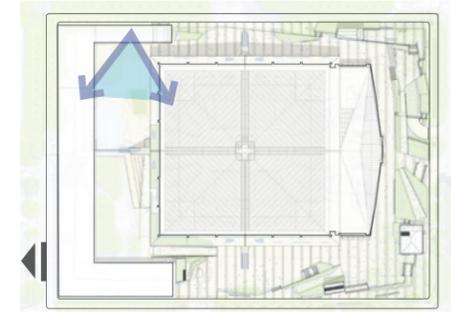


D TERRACE STEPS

NORTH COURTYARD

PROPOSED CONCEPT - VIEW LOOKING WEST

KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



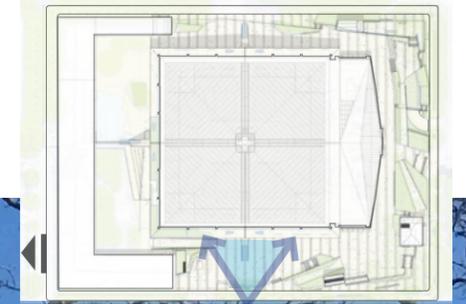
C COLUMN ARCADE



D TERRACE STEPS

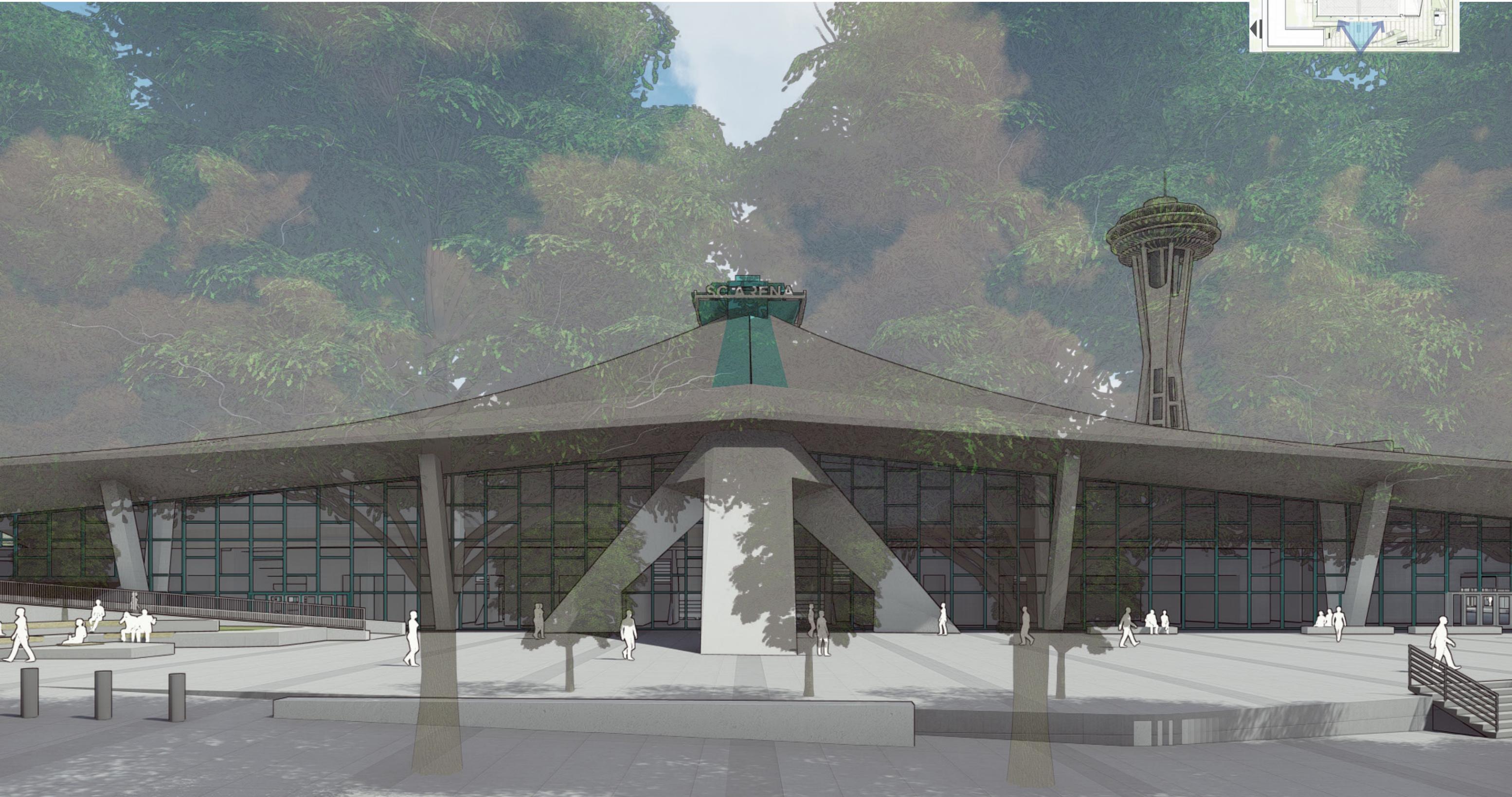
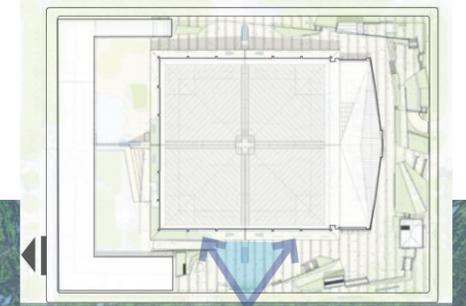
SITE ARRIVAL POINTS - CURRENT CONDITIONS

WEST PLAZA & WEST ELEVATION FROM HARRISON ST



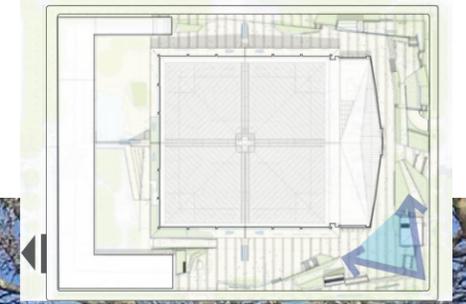
SITE ARRIVAL POINTS - FUTURE CONDITIONS

WEST PLAZA & WEST ELEVATION FROM HARRISON ST



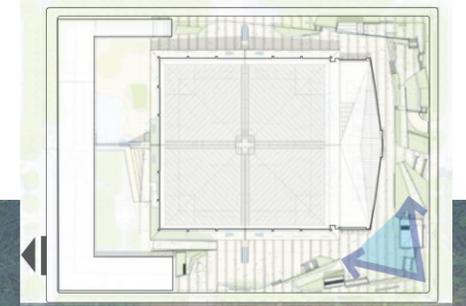
SITE ARRIVAL POINTS - CURRENT CONDITIONS

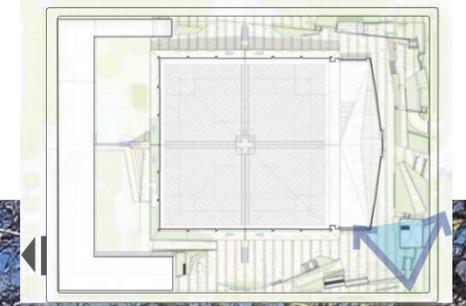
CORNER OF 1ST AVE N & THOMAS ST LOOKING NORTH



SITE ARRIVAL POINTS - FUTURE CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING NORTH





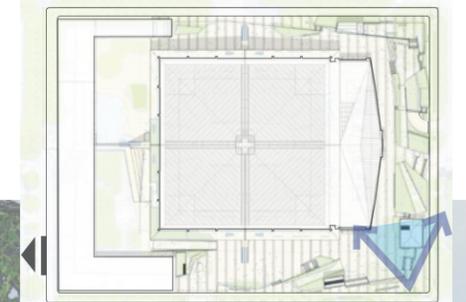
SITE ARRIVAL POINTS - CURRENT CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING EAST



SITE ARRIVAL POINTS - FUTURE CONDITIONS

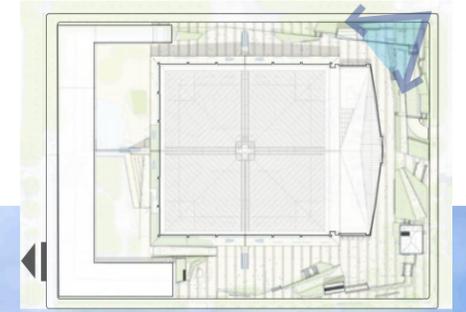
CORNER OF 1ST AVE N & THOMAS ST LOOKING EAST



SITE ARRIVAL POINTS - CURRENT CONDITIONS

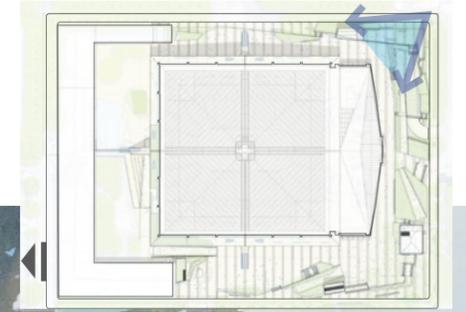
SOUTHEAST PLAZA FROM CORNER OF 2ND AVE N & THOMAS ST

KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

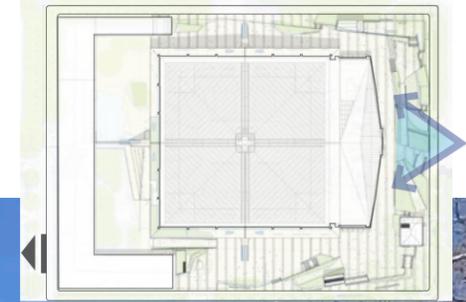
SOUTHEAST PLAZA FROM CORNER OF 2ND AVE N & THOMAS ST



SITE ARRIVAL POINTS - CURRENT CONDITIONS

SOUTH PLAZA & SOUTH ELEVATION FROM WARREN AVE

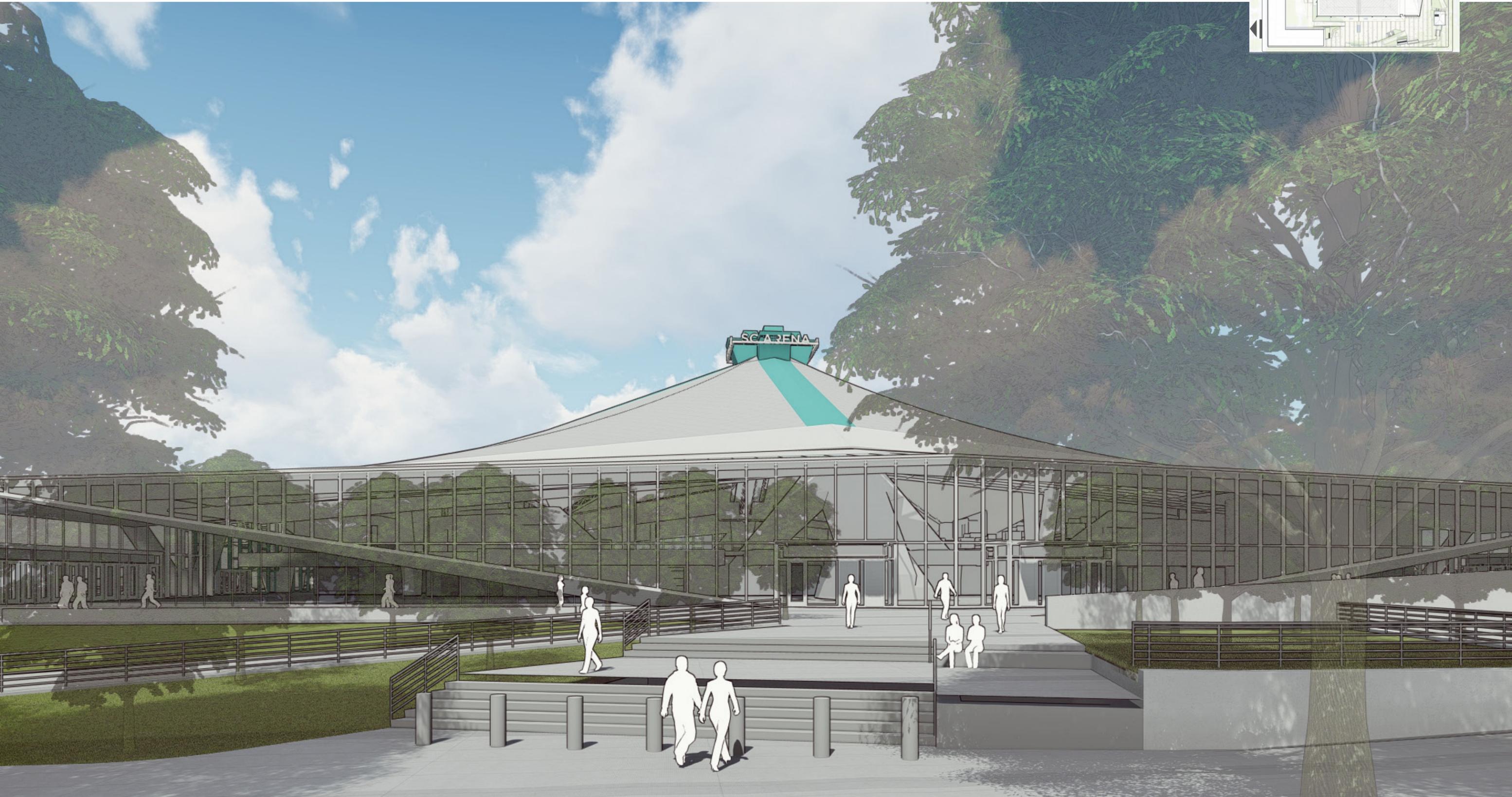
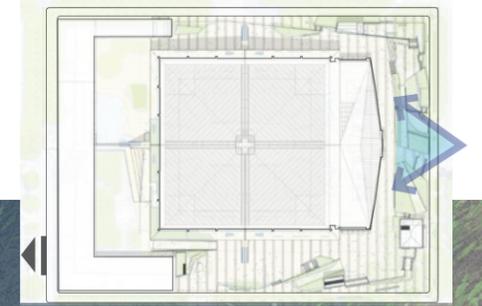
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

SOUTH PLAZA & SOUTH ELEVATION FROM WARREN AVE

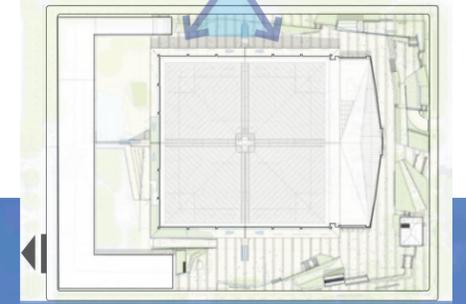
KEY PLAN



SITE ARRIVAL POINTS - CURRENT CONDITIONS

EAST PLAZA & EAST ELEVATION FROM INTERNATIONAL FOUNTAIN

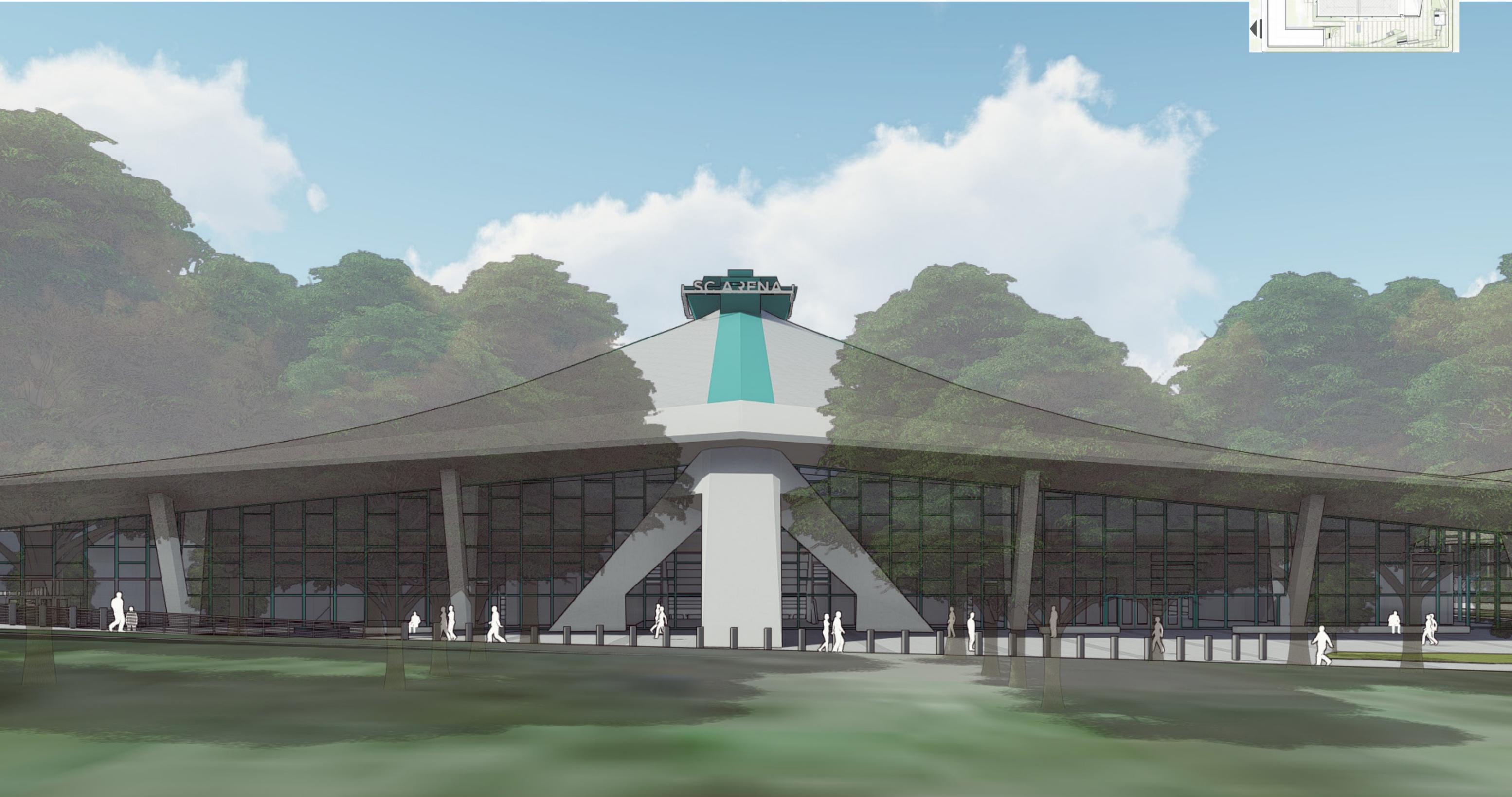
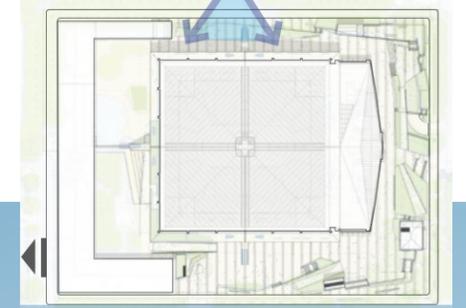
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

EAST PLAZA & EAST ELEVATION FROM INTERNATIONAL FOUNTAIN

KEY PLAN





MOVING FORWARD