
AGENDA

WORKSHOP 1: DRAFT SLR ADAPTATION ALTERNATIVES (90 min)

- What we have learned (10 min)
- Guiding Principles & Evaluation Criteria (20 min)
- Presentation of draft alternatives + questions for AG (30 min)
- Initial Discussion & Feedback (30 min)

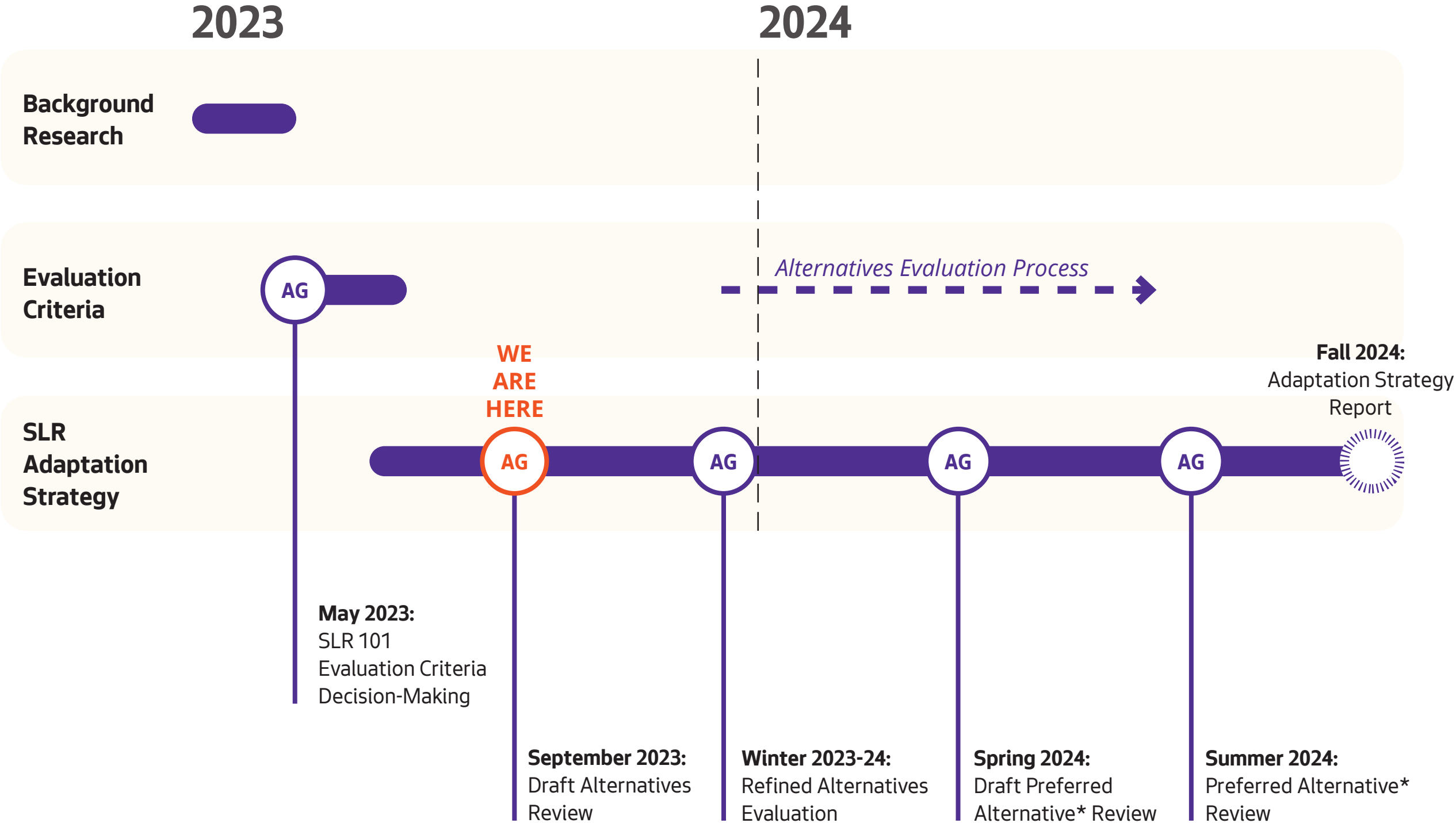
BREAK (15 min)

WORKSHOP 2: REFINING ALTERNATIVES (110 min, including a 15 min break)

- Collaborative refinement of each alternative

SUMMARY & NEXT STEPS (5 min)

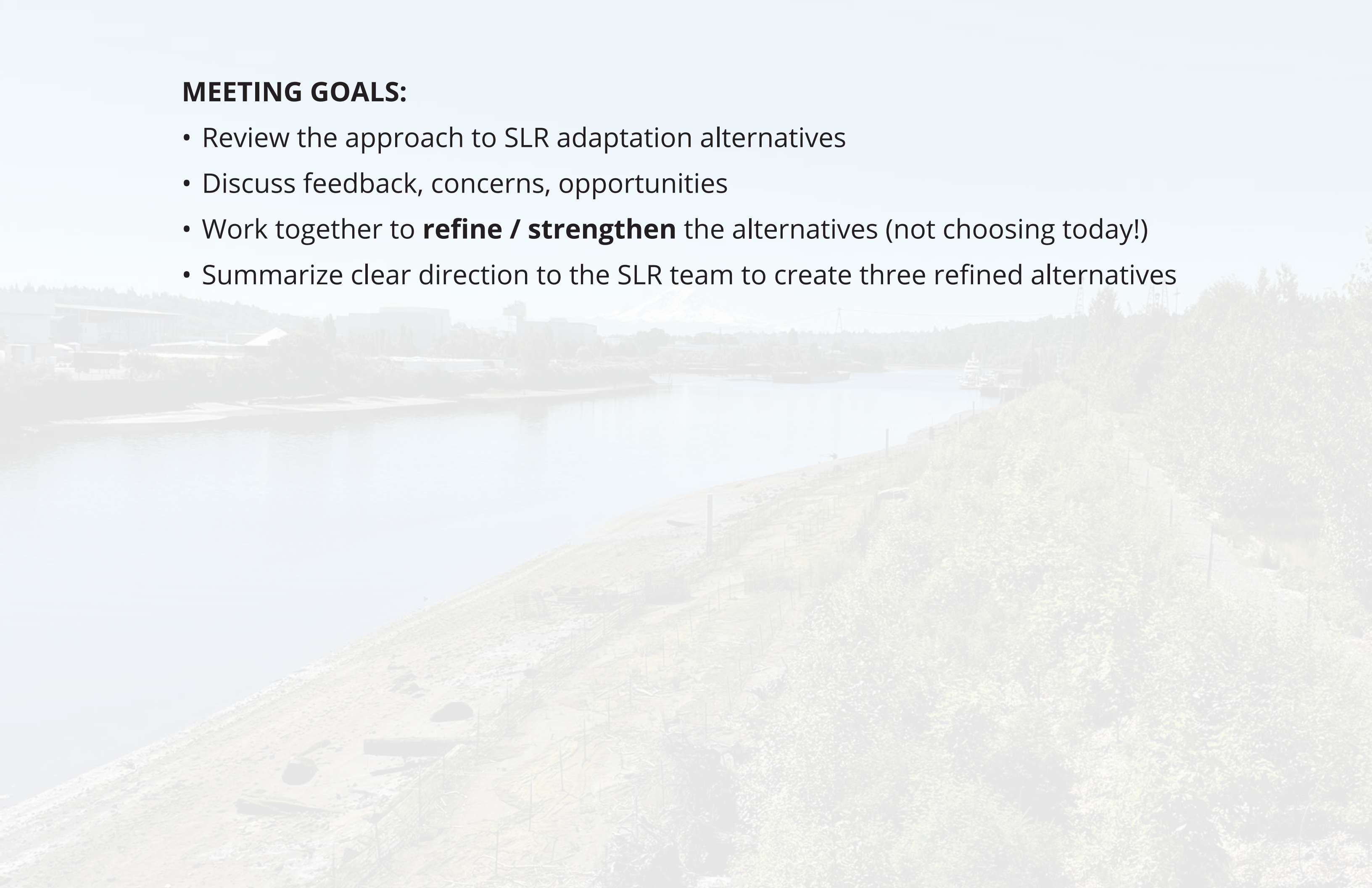
PROJECT TIMELINE



**The "Preferred" Alternative will reflect a shared vision of community and City based on our current understanding. It will be a starting point for continued analysis, reviews, and consultations.*

MEETING GOALS:

- Review the approach to SLR adaptation alternatives
- Discuss feedback, concerns, opportunities
- Work together to **refine / strengthen** the alternatives (not choosing today!)
- Summarize clear direction to the SLR team to create three refined alternatives



JUNE 3RD COMMUNITY OPEN HOUSE

SEA LEVEL RISE ADAPTATION STRATEGIES

SEA LEVEL RISE ADAPTATION means redesigning the shoreline area to address flooding in a way that...

- Supports and uplifts affected communities
- **Protects** and **accommodates** with adaptive and creative infrastructure
- Provides equitable benefits for residents and businesses
- Promotes racial equity and a thriving economy
- Prioritizes feasible and nature-based solutions

PROTECT

Opportunities & Ideas:

- Historically protect land for job training or community space
- Benches to sit and look at river
- River to be clean
- Fix sewer system while adapting
- How companies control their pipes & have them release water at the lowest tide
- Water fountain
- Benches and some where to walk or jog
- Cultural/museum + community generates income
- Green Spaces
- Restore instead of Destroy!
- Space for outdoor preschools + play

ACCOMMODATE

Opportunities & Ideas:

- More playground and greener area
- Soccer field
- Habitat, outdoor, park
- Public access
- Local cultural representation (not just industry)
- Art and Green Spaces
- Rain Gardens
- Make space for nature and animals!!

RETREAT

Opportunities & Ideas:

- Native planting
- Bring back historic river
- Local housing for affordable relocation
- Local housing for affordable relocation
- Bring back historic river
- Local housing for affordable relocation
- Local housing for affordable relocation

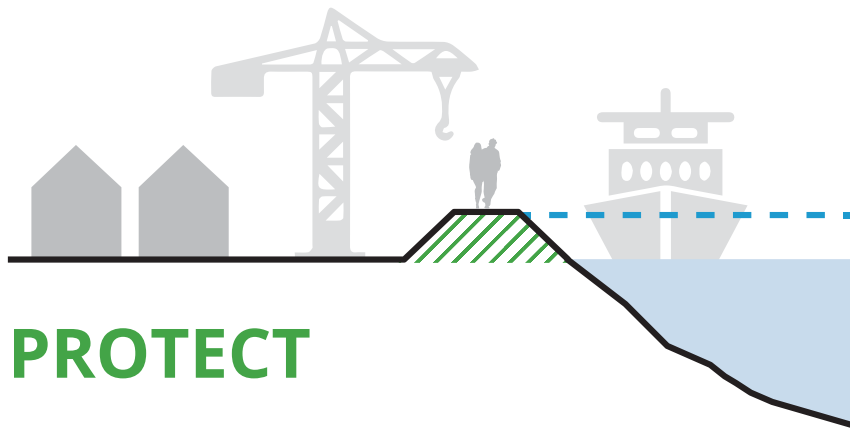
Seattle WALKER MAEY



GENERAL INPUT & IDEAS

- Benches to sit and look at the river
- Fix sewer system while adapting
- Have companies control their pipes and have them release water at the lowest tide.
- Glass path / visual connections to river life
- Water-flooding fountain
- Benches and somewhere to walk or jog
- River to be clean
- Native planting
- Local cultural representation (not just industrial history/culture)
- Incorporate Sliver by the River into planning because we are also South Park
- Tree-cutting moratorium – tree equity & green spaces. Urgency about gentrification/affordability – developers cutting trees & slapping together unaffordable homes faster than this project

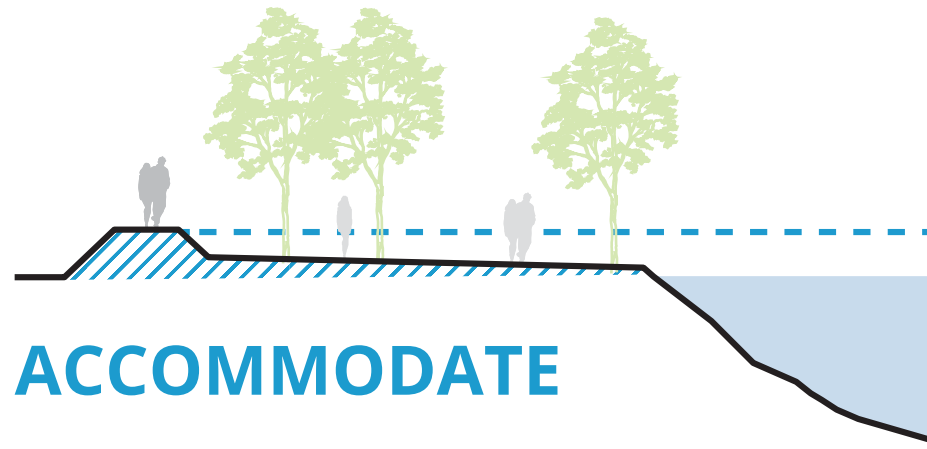
JUNE 3RD COMMUNITY OPEN HOUSE COMMENTS



PROTECT

Opportunities & Ideas:

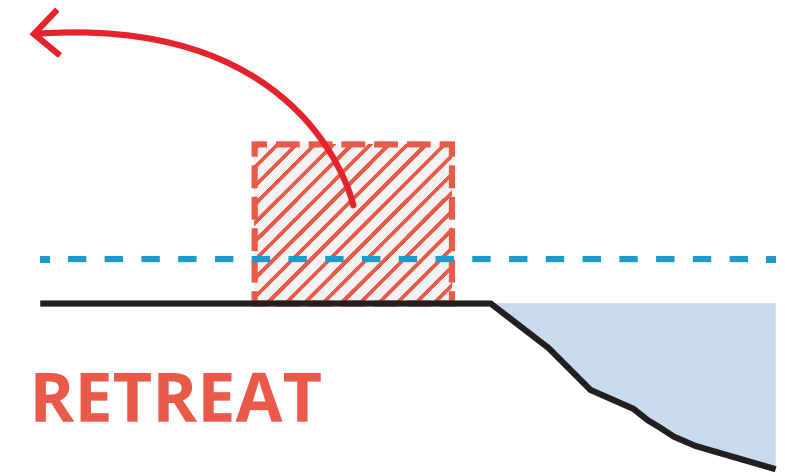
- Holistically protect land for multilingual job training, community projects, and youth opportunities
- Make concrete river defenses to prevent the water destroying the community.
- Cultural/soccer museum and community generates income
- Green spaces :)
- Bike paths on areas if you do have to build berms



ACCOMMODATE

Opportunities & Ideas:

- Create more flood water storage habitat areas
- River gardens
- More playground and greener areas
- Soccer field
- Have an open space and elevate further out
- Houses on stilts or raised?
- Habitat, culture, park, public access
- Splash park for kids
- Rain gardens
- Art and green spaces
- Easy and safe access to water/river activities
- Elevated basketball courts for the community
- Pools within community to learn how to swim
- Restore instead of destroy!
- Space for outdoor preschools and play
- Make space for nature and animals!!
- Create a channel for water to flood
- Safe space for walking and social activities
- Flood storage tanks – use for grey water / toilets



RETREAT

Opportunities & Ideas:

- Local affordable housing for any relocation
- Bring back historic river
- For storm events, having networks of support in place for people with disabilities

YOUR INPUT & IDEAS

"Can we build flood berms/ sea dikes that introduce the public space, yet build dock structures overtop that would still allow for marine industry?"

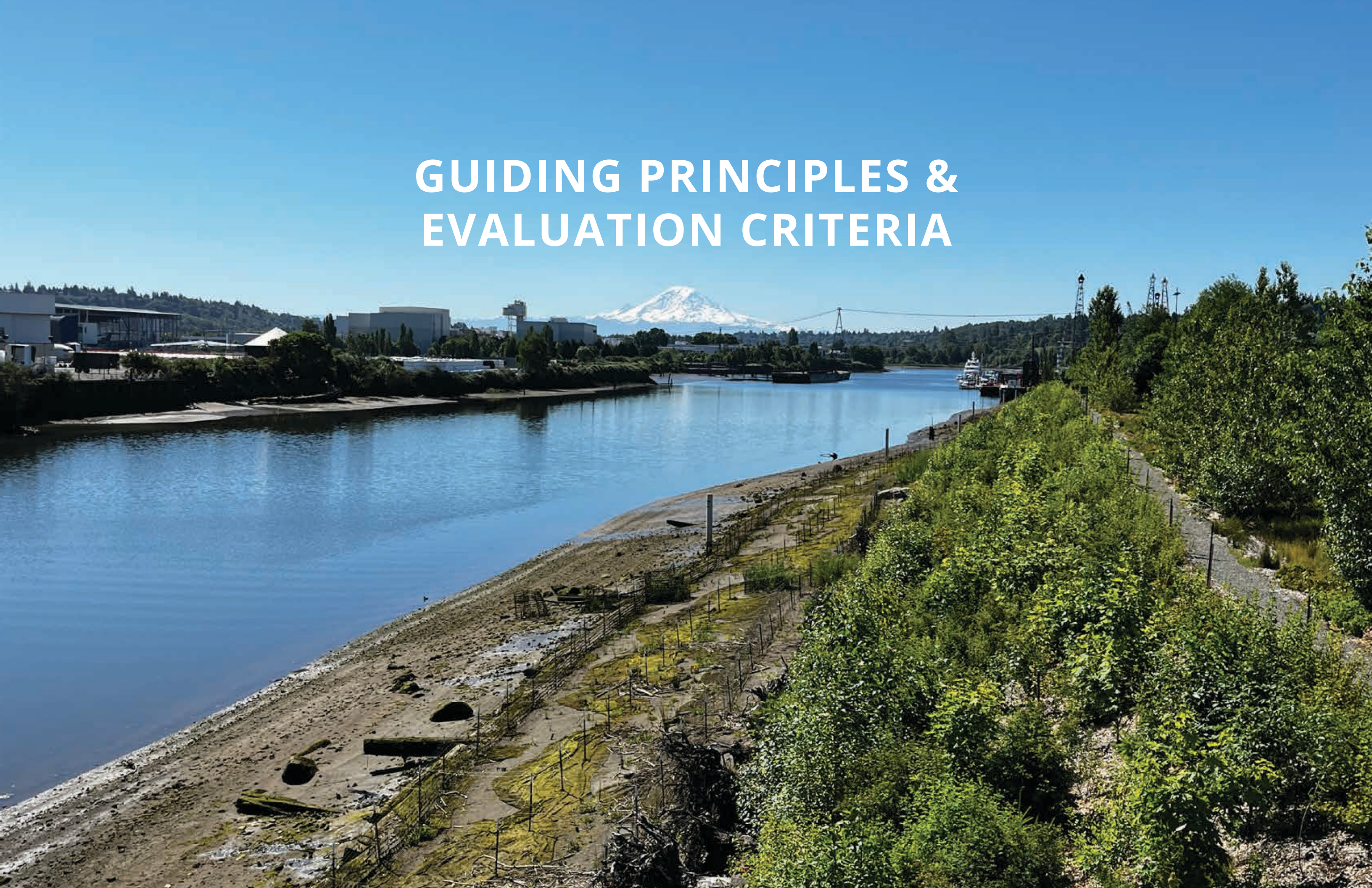
"I would like the proposed solutions to also generate an economic impact for the community, such as the generation of work both during the project and after the project."

"Relocate and rebuild... incentivize relocation for businesses that can, raise land up, build more supportive community uses on higher ground, affordable housing, parks and open space etc."

"Community owned spaces along the river with green infrastructure"

"As part of Access and Recreation it would be great to incorporate walking/ biking trails for low carbon transportation."

GUIDING PRINCIPLES & EVALUATION CRITERIA



DRAFT EVALUATION CRITERIA COMMENTS



FINAL EVALUATION CRITERIA

HABITAT & ECOLOGY

- Improved habitat quantity and quality
- Restoration of tree canopy

EQUITY & PROSPERITY IN PLACE

- Support of anti-displacement and minimized harm to residents and businesses
- Addition of local jobs/employment

ECONOMIC IMPACT

- Direct and indirect economic benefits between residential and business communities
- Direct and indirect economic costs between residential and business communities and implementers

PUBLIC ACCESS & CO-BENEFITS

- Quality and functionality of public access to shoreline areas
- Support for health and wellness
- Addition of green space

ADAPTABILITY & EFFECTIVENESS

- Speed of implementation
- Mitigation of flooding issues
- Mitigation of other extreme events

PARTICIPATION & TRANSPARENT PROCESS

- Potential for community participation throughout design, permitting, and construction

FEASIBILITY

- Level of effort for long-term maintenance
 - Level of effort for full implementation
-

EVALUATION CRITERIA: EXAMPLES

HABITAT & ECOLOGY



PUBLIC ACCESS & CO-BENEFITS



EQUITY & PROSPERITY IN PLACE



EXISTING CONDITIONS

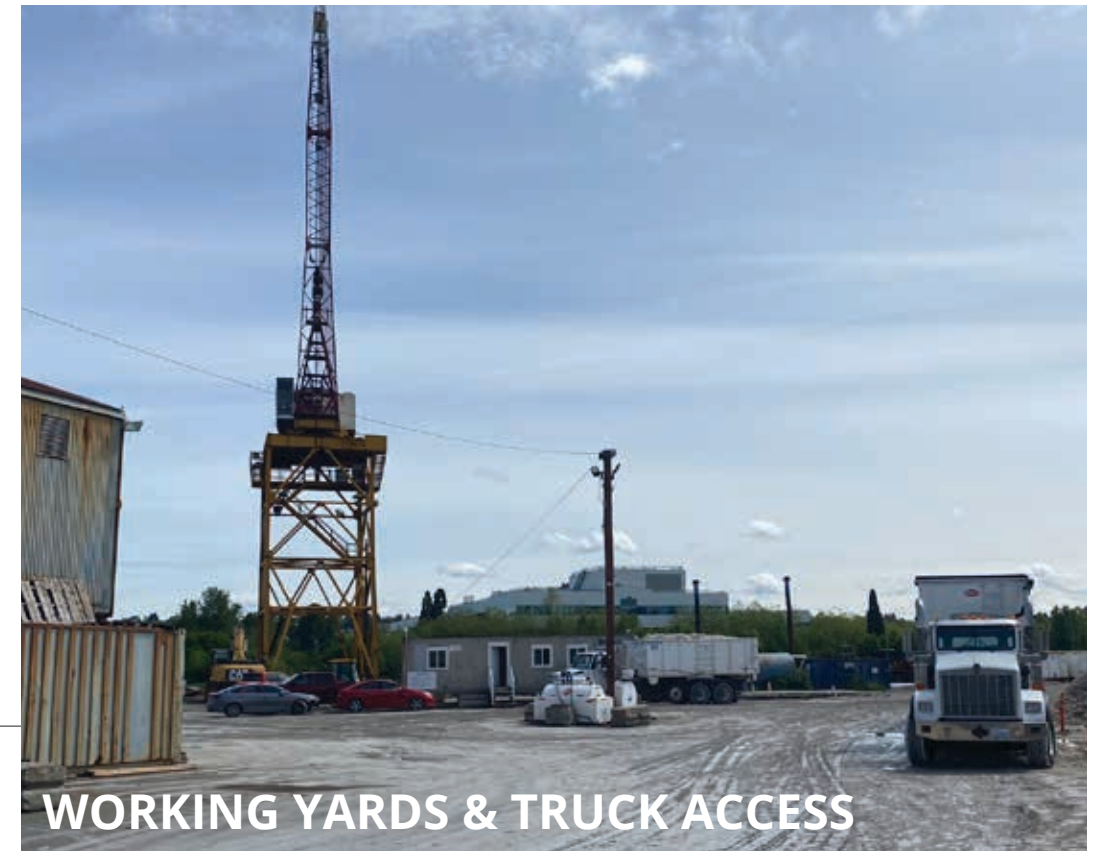
industrial / maritime



DOCKS & HARD SHORELINES



HOMES IN INDUSTRIAL ZONE



WORKING YARDS & TRUCK ACCESS

EXISTING CONDITIONS

public / community



DUWAMISH WATERWAY PARK



UNIMPROVED STREET-ENDS



STREET-END PUBLIC SPACES

EXISTING CONDITIONS:

habitat / floodable open space



DUWAMISH PEOPLE'S PARK (TERMINAL 117)

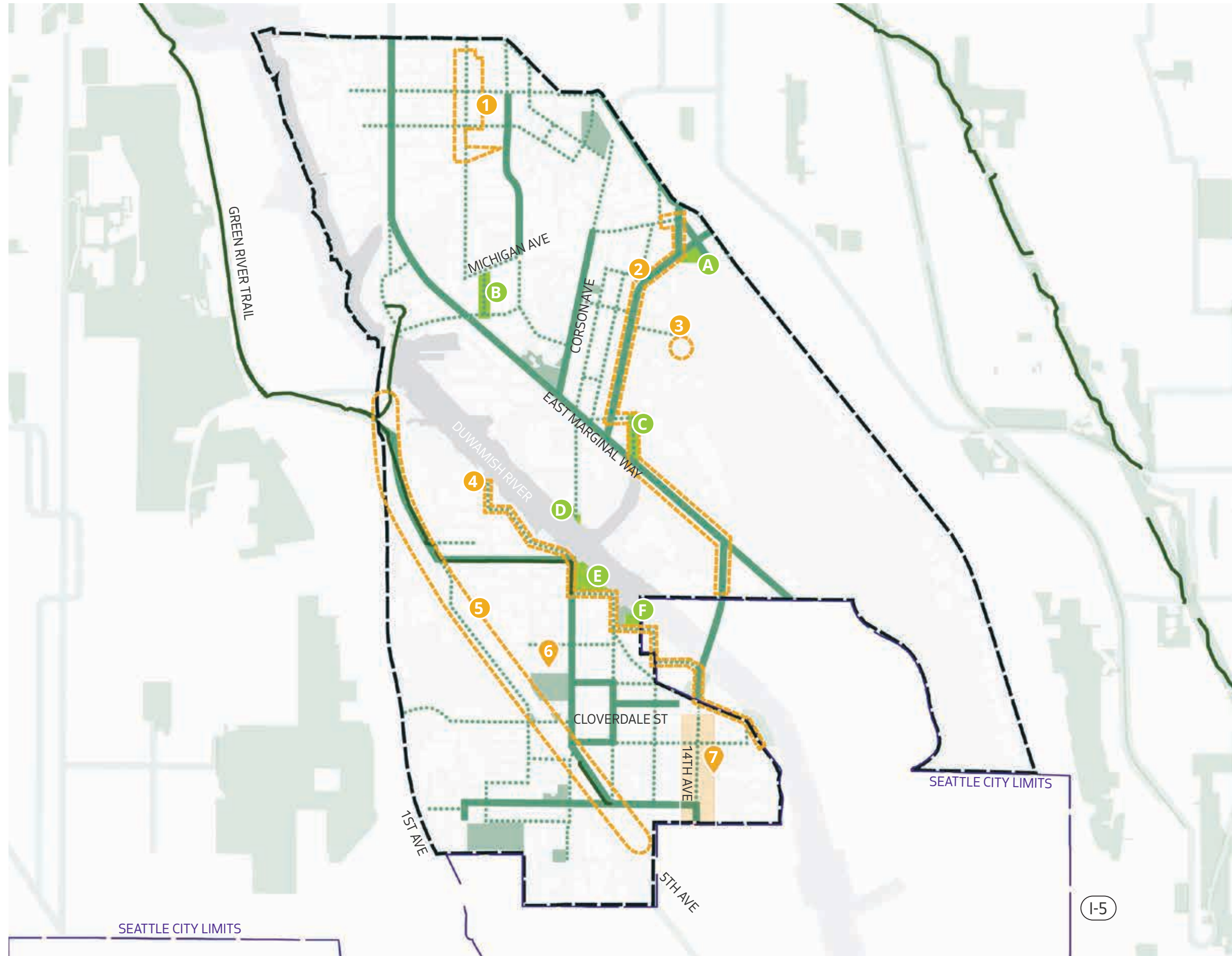


DUWAMISH WATERWAY PARK



SHORELINE HABITAT RESTORATION

EXISTING COMMUNITY PLANS



LEGEND

- CITY LIMITS
- EXISTING WALKING/BIKING ROUTES
- EXISTING TRAILS
- PROPOSED IMPROVE WALKING/BIKING ROUTE
- EXISTING PUBLIC OPEN SPACE

- Community Gathering Places
- Community Actions

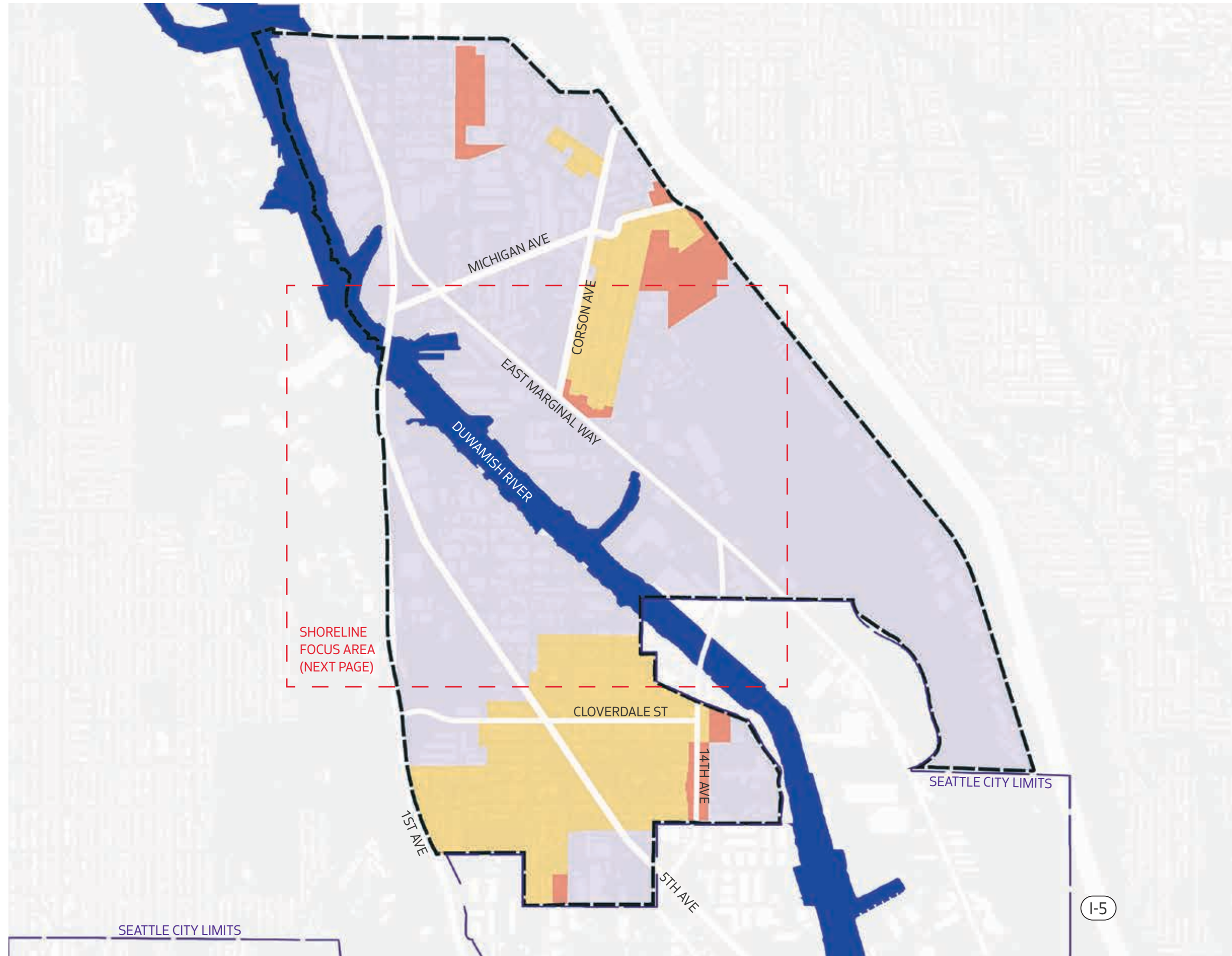
1. Georgetown Live/Work District
2. Georgetown-South Park Connector
3. Georgetown Steam Plant Programming
4. South Park Riverwalk
5. Reconnect South Park
6. South Park Community Center
7. South Park Business District

- Future Public Open Space
- A. Ruby Chow Park Improvements
- B. 5th Ave Festival Street
- C. Georgetown Flume
- D. Gateway North Park
- E. Potential Water Quality Facility
- F. Unity Electric Site

Existing community plans inform the draft SLR alternatives, including the South Park and Georgetown Open Space Vision Plans and current community initiatives.



EXISTING ZONING



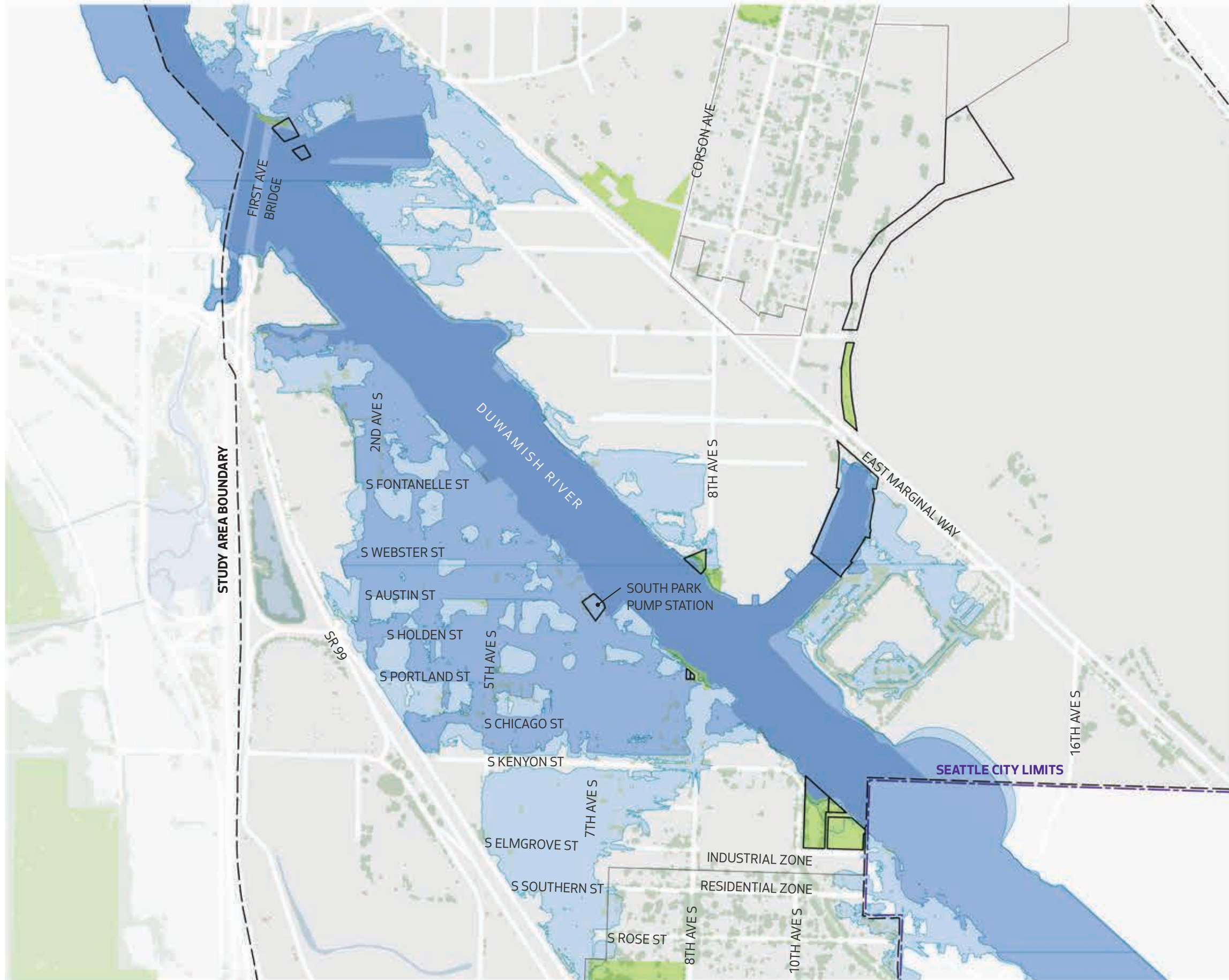
LEGEND

- INDUSTRIAL ZONING
- RESIDENTIAL ZONING
- COMMERCIAL ZONING
- STUDY AREA
- SEATTLE CITY LIMITS

The neighborhoods of South Park and Georgetown are mostly zoned for industrial use, and each neighborhood includes residential and commercial areas that are adjacent to industrial areas. The sites along the shoreline in both neighborhoods are zoned for industrial use.



NO ACTION SCENARIO



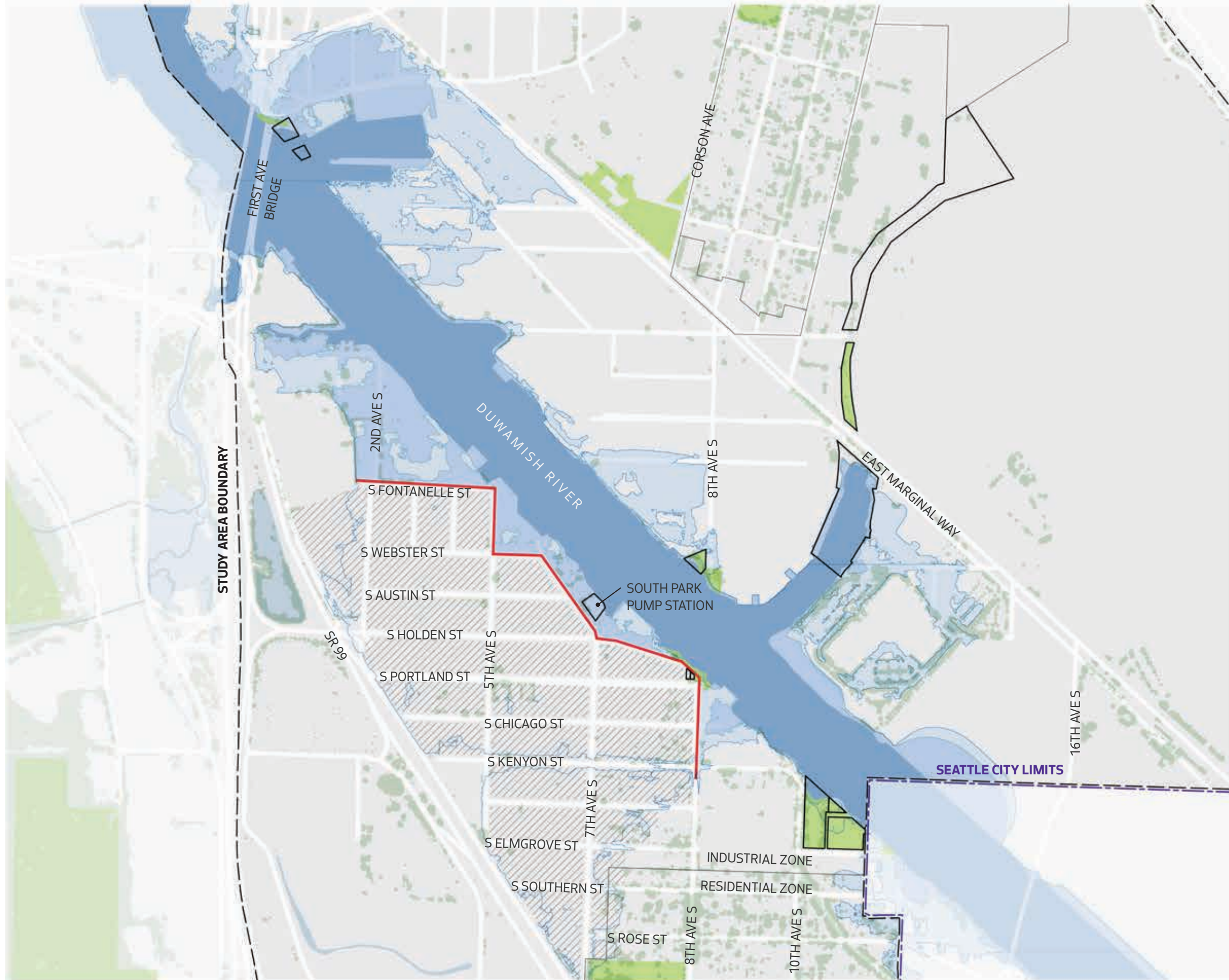
LEGEND

- 13' COASTAL FLOOD ELEVATION (2050)
- 15' COASTAL FLOOD ELEVATION (2100)
- PARCEL LINE
- PUBLICLY-OWNED PARCELS
- STUDY AREA
- SEATTLE CITY LIMITS
- PUBLIC SPACE
- TREE CANOPY

If no action is taken, by 2100, much of the South Park industrial area and several sites in the Georgetown industrial area would be regularly flooded by high tides and King Tides, creating ongoing health, safety, and displacement risks. In addition to coastal flooding, inland stormwater flooding would be worsened by SLR. In Georgetown, coastal flooding from the river would mostly impact individual private properties, while inland areas would experience worsened urban flooding. In South Park, coastal flooding from the river enters from private properties and public street-ends, but this flooding also extends to many other properties that are not located on the shoreline.



PUBLIC STREETS APPROACH - BERM OR FLOOD WALL



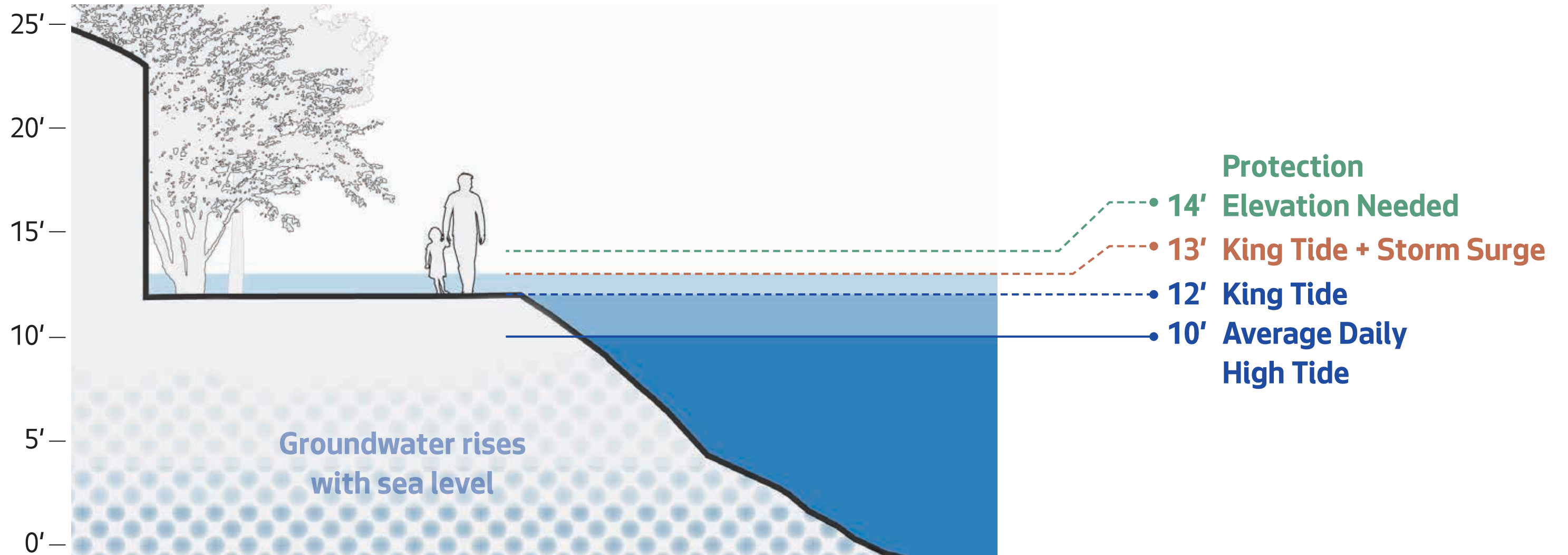
LEGEND

- 16' EL. BERM AND/OR FLOOD WALL
- ▨ ~2100 PROTECTED PARCELS
- 13' COASTAL FLOOD ELEVATION (2050)
- 15' COASTAL FLOOD ELEVATION (2100)
- PUBLICLY-OWNED PARCELS
- STUDY AREA
- CITY LIMITS
- PUBLIC SPACE
- TREE CANOPY

If flood protection was built only using public streets, then private properties along the river would need to protect themselves or retreat. This approach would limit river access, views, and would limit co-benefits from SLR adaptation. The draft alternatives explore more holistic, long-term options for adaptation.



REFRESHER: PROJECTED 2050 FLOOD ELEVATIONS



Flood elevations based on SLR projections for the City of Seattle.

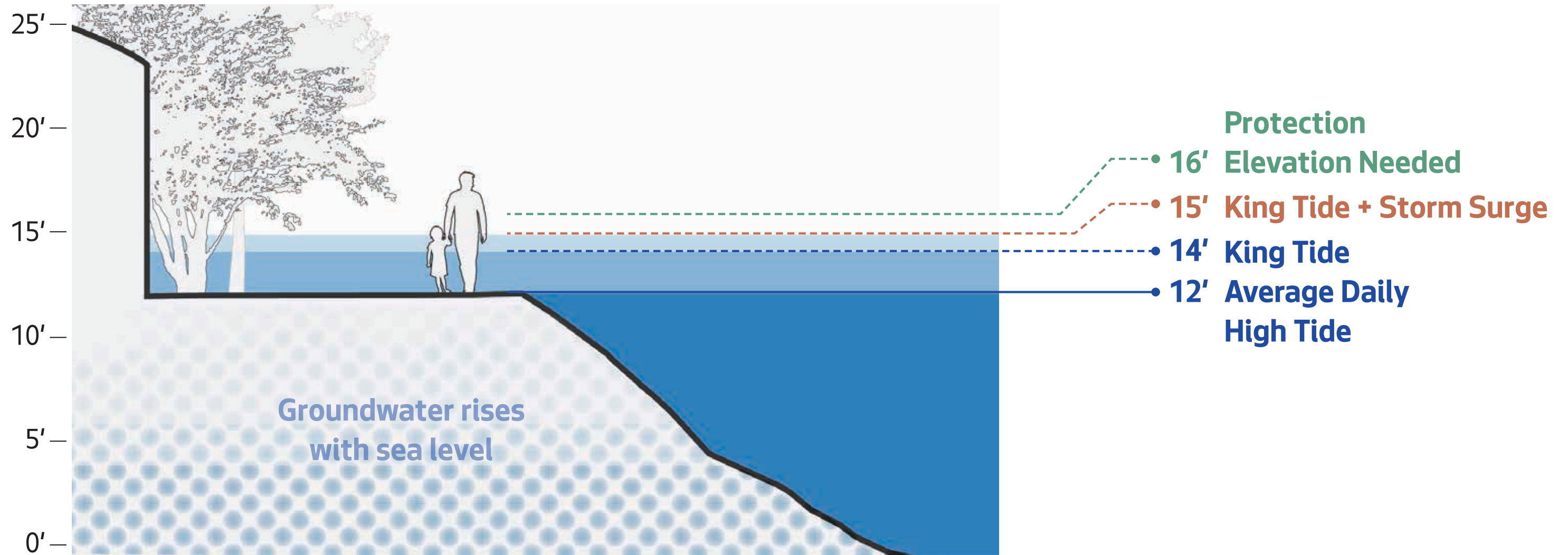
Source: Miller et al., 2018.

Notes: A “king tide” is an annual high tide that occurs approximately three times per year.

Average High Tide refers to Mean Higher High Water (MHHW).

Elevations are shown in North American Vertical Datum of 1988 (NAVD88)

REFRESHER: PROJECTED 2100 FLOOD ELEVATIONS



Flood elevations based on SLR projections for the City of Seattle.

Source: Miller et al., 2018.

Notes: A “king tide” is an annual high tide that occurs approximately three times per year.

Average High Tide refers to Mean Higher High Water (MHHW).

Elevations are shown in North American Vertical Datum of 1988 (NAVD88)

REFRESHER: SANDBAG EXAMPLE

The sandbags provide a visual example of elevations needed for future protection from coastal flooding. For a 15' flood elevation, 16' of protection elevation would be needed.

**~2100 Protection
Elevation Needed:
16'**

**Sandbag Elevation:
up to about 15'**

**Ground Elevation:
about 12'10"**

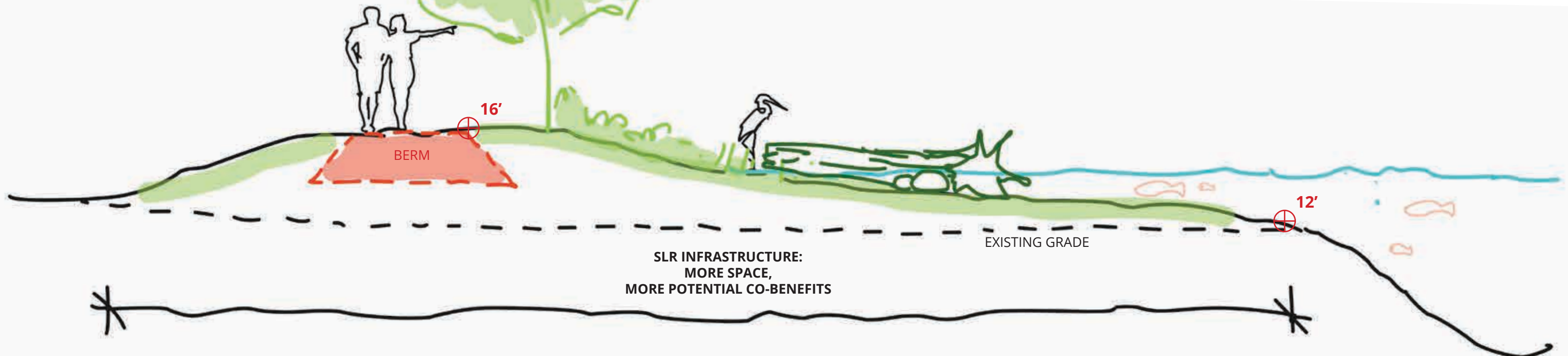
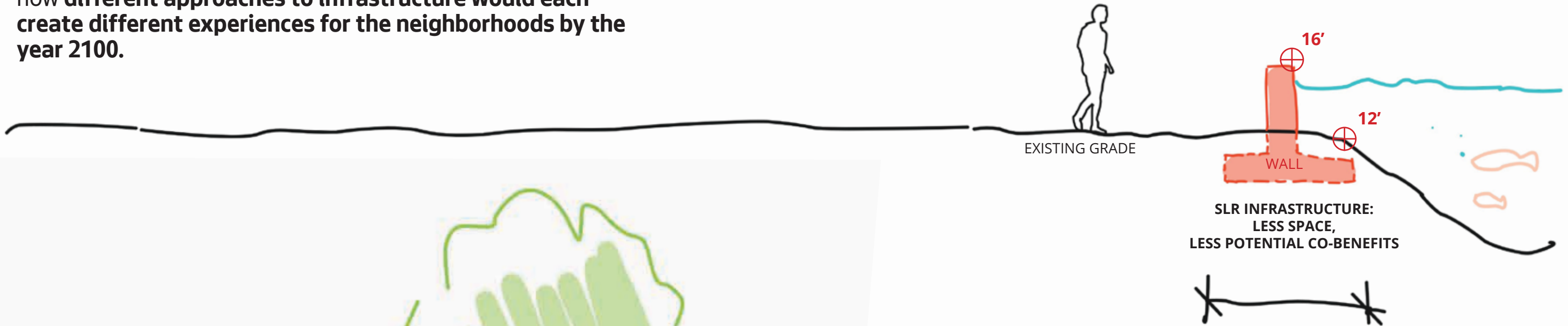
**Average Daily High Tide:
about 9'**



SHORELINE DESIGN INFLUENCES NEIGHBORHOOD DESIGN

That is why it's important to start by thinking **big-picture** and **long-term** before diving into the details of the phasing and design of infrastructure.

The draft SLR alternatives we will present are intended to start this conversation. They will show three examples of how **different approaches to infrastructure would each create different experiences for the neighborhoods by the year 2100.**



As we present the draft alternatives, consider:

What potential benefits or concerns do you see within each alternative for different communities in the Duwamish Valley?

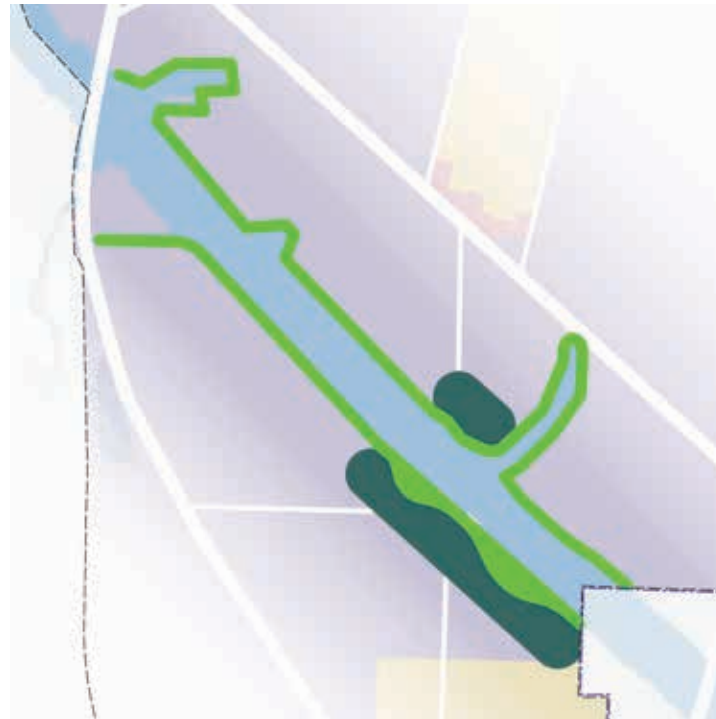
For example, throughout South Park and Georgetown (listed in no particular order):

- **Residents**
- **Small and micro businesses**
- **Community groups**
- **Local tribes**
- **Industrial/maritime businesses**
- **Fish and wildlife**
- **Others?**

DRAFT ALTERNATIVES

ALT 01: FOCUSED

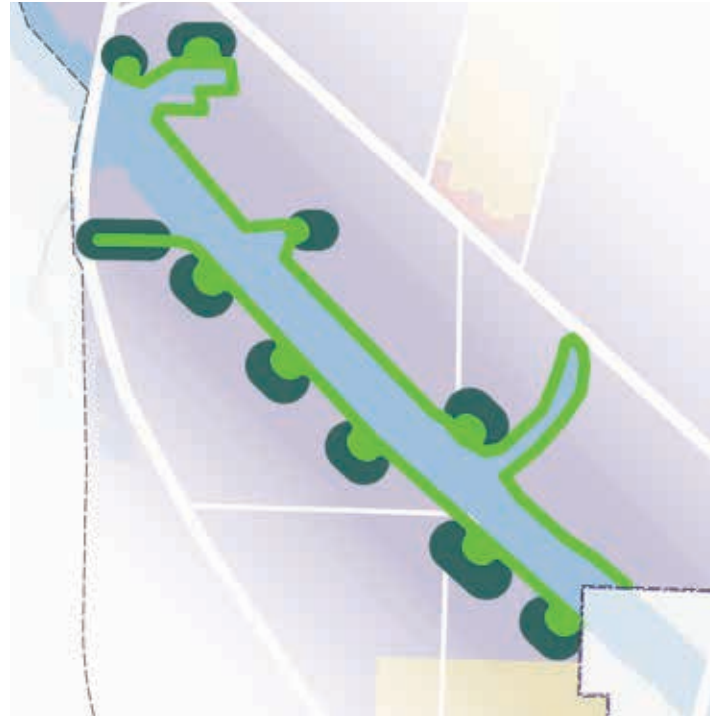
Focuses industrial & maritime use and multiple benefit elements within distinct areas.



- + prioritizes industrial efficiency
- + green space near homes
- less habitat
- less public access

ALT 02: NODES

Strategically locates nodes of industrial & maritime activity and habitat/other multiple benefits along shoreline.



- + prioritizes clear acquisition strategy
- + distributed habitat / green space
- discontinuous habitat
- discontinuous public access

ALT 03: CONTINUITY

Invests in a continuous living shoreline, improving the environment and community access, while establishing maritime access at strategic locations.



- + river health
- + continuous habitat
- + continuous public access
- constrained maritime access
- challenging acquisition strategy

existing residential zones

existing industrial zones

-  **potential multiple benefit areas**
-  **potential habitat / floodable open space**

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**ALT 04:
RETREAT
(NOT STUDIED)**

Retreat from low-lying industrial land bolsters river health and flood resiliency.



- + maximizes river health
- + continuous habitat
- + continuous public access
- + works with nature

- major loss of industrial land
- major acquisitions / relocations
- major remediation of contamination
- conflicts with prosperity in place

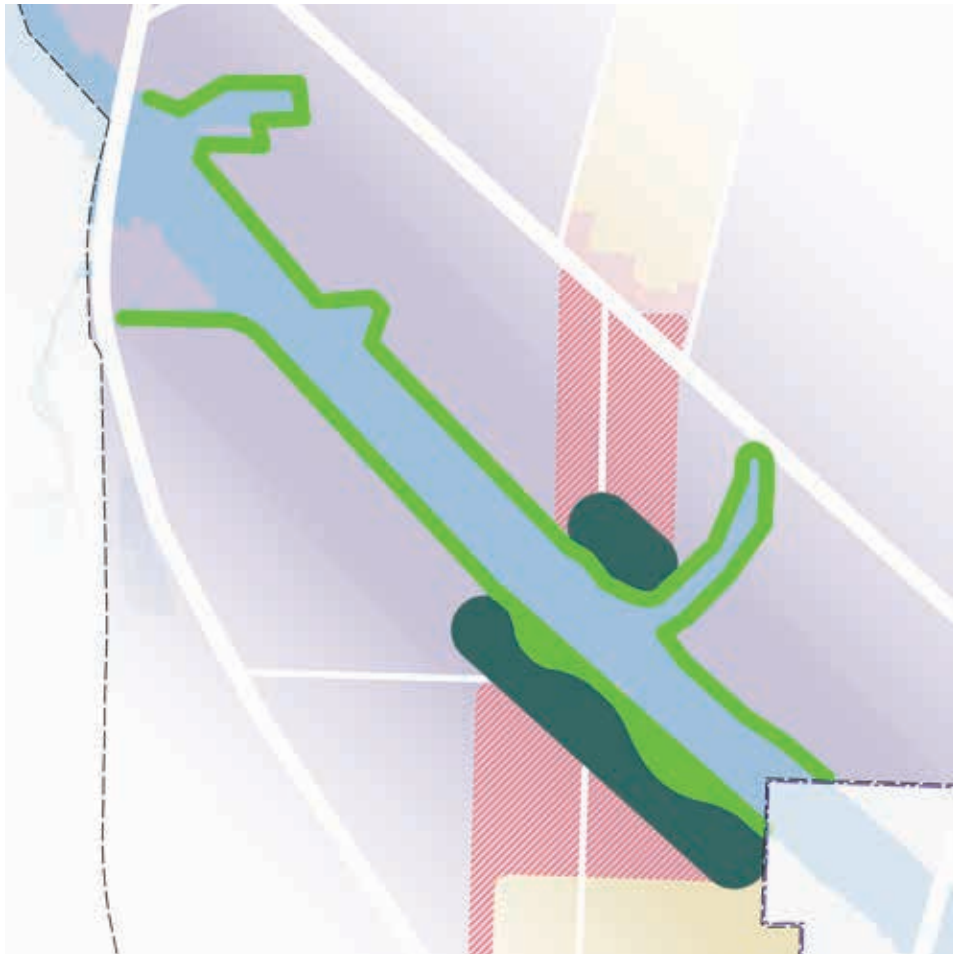
existing residential zones
existing industrial zones

-  potential multiple benefit areas
-  potential habitat / floodable open space

DRAFT ALTERNATIVES + INLAND IDEAS

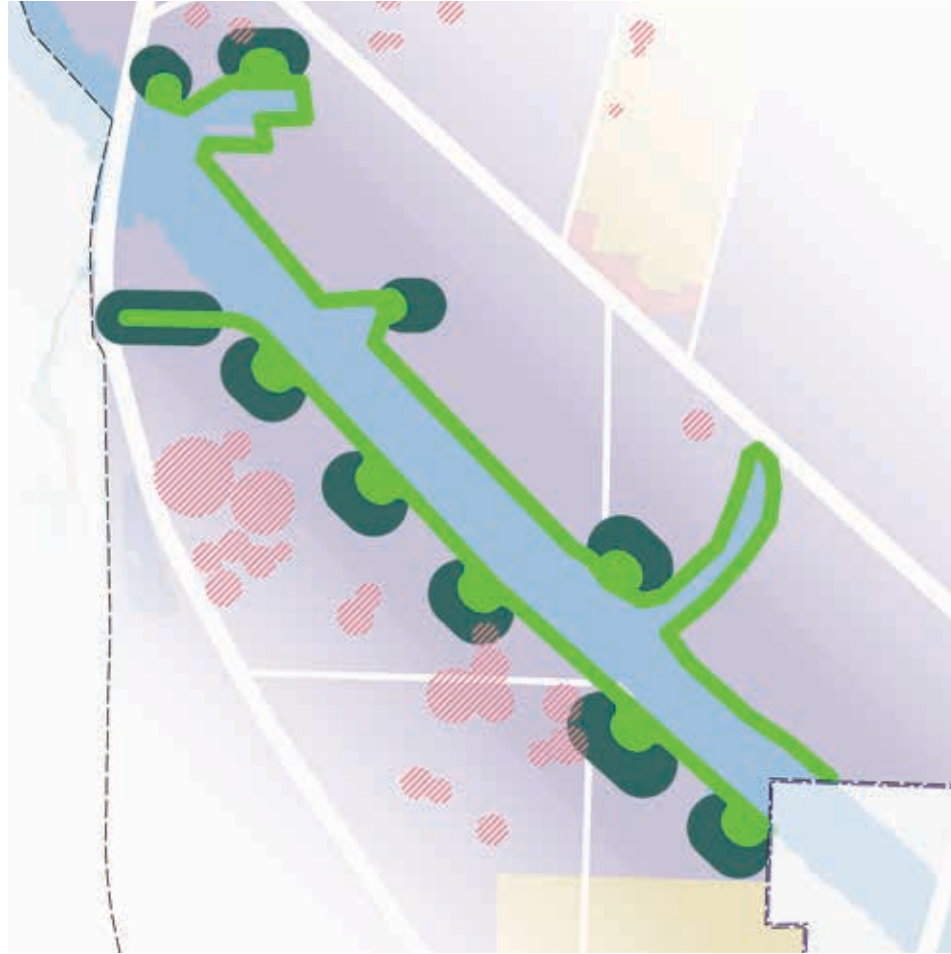
IDEA 1: SHARED VITALITY

Industrial areas linking residential areas to public shoreline areas can be prioritized for creative hubs.



IDEA 2: POCKETS OF GREEN ELEMENTS

Low-elevation spots within the neighborhoods can be prioritized for pockets of green elements.



IDEA 3: SHARED MARITIME ACCESS

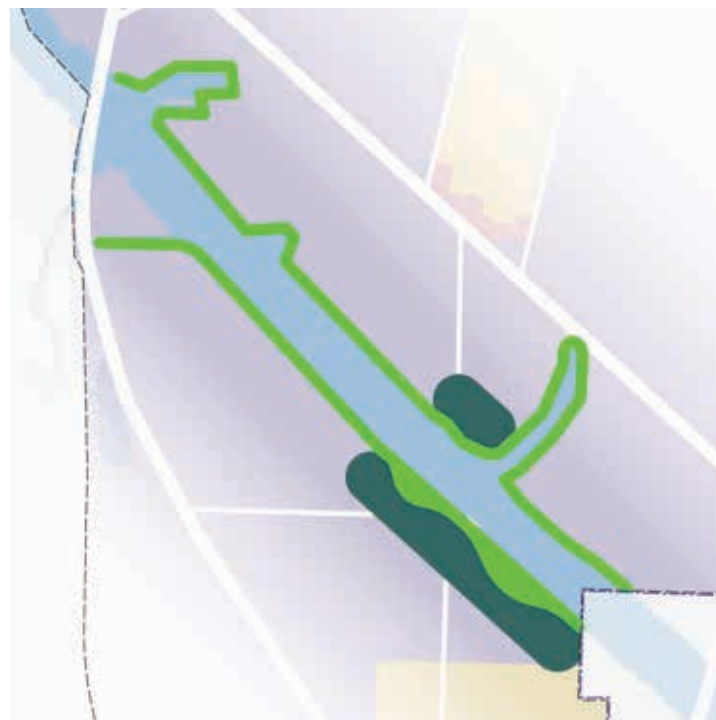
Consolidated maritime access points could be managed by a central authority and shared by multiple users.



 inland ideas

**ALT 01:
FOCUSED**

Focuses industrial & maritime uses and other multiple benefit elements in distinct areas.



**ALT 02:
NODES**

Strategically locates nodes of industrial & maritime activity and habitat/other multiple benefits along shoreline.



**ALT 03:
CONTINUITY**

Invests in a continuous living shoreline, improving the environment and community access, while establishing maritime access at strategic locations.

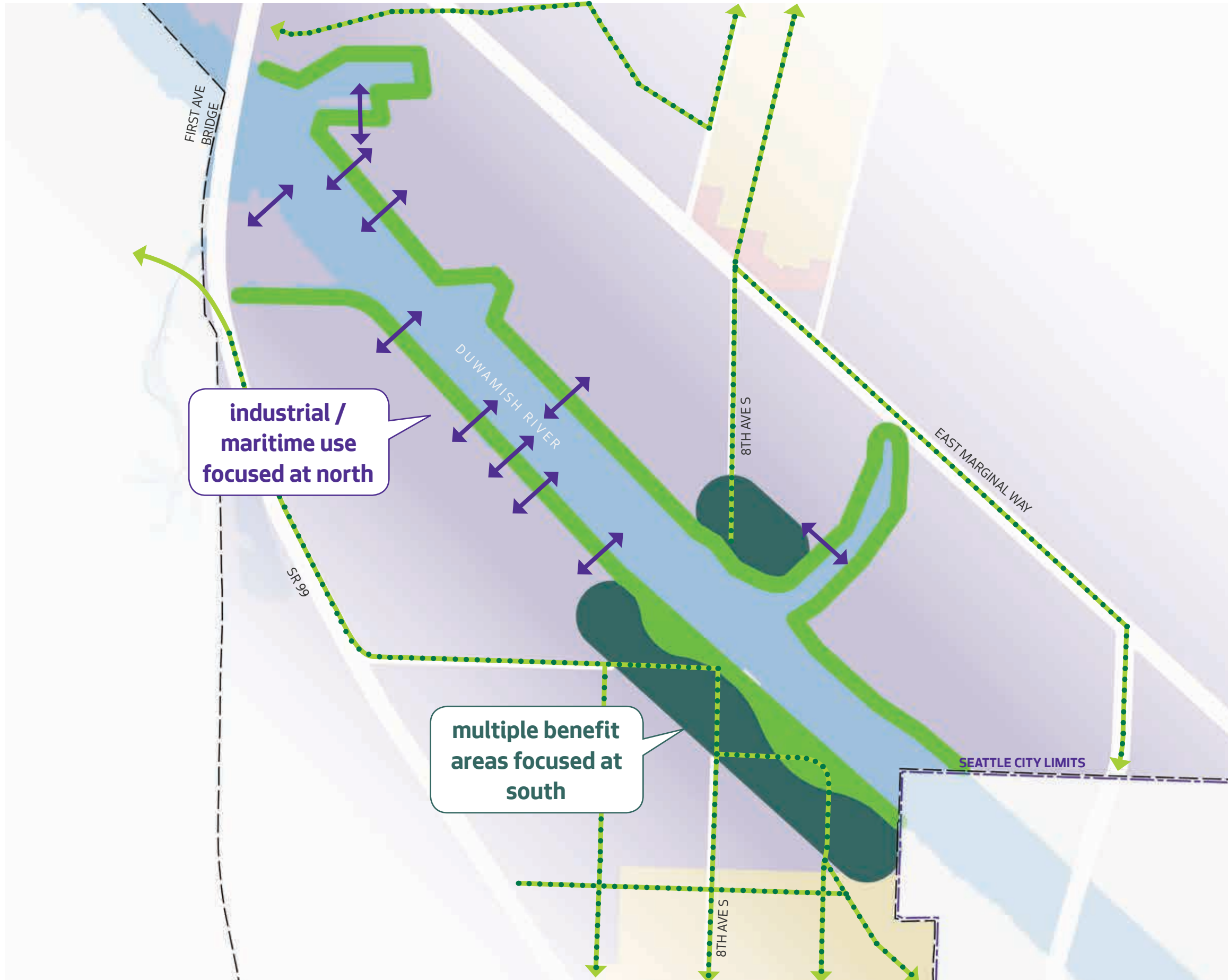


existing residential zones
existing industrial zones

-  **potential multiple benefit areas**
-  **potential habitat / floodable open space**

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ALT 01 - FOCUSED



LEGEND

- SHORELINE USES:**
- INDUSTRIAL / MARITIME
 - MULTIPLE BENEFIT AREAS
 - HABITAT / FLOODABLE OPEN SPACE
 - IMPROVED COMMUNITY CONNECTION
 - MARITIME ACCESS
- [—] STUDY AREA

FOCUSED:

Aggregate uses to increase compatibility of investments. For example - maritime and heavier industrial uses are generally clustered. Habitat, open space, and lighter industrial uses such as maker spaces and training facilities are located closer to existing residential areas.



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INLAND IDEA: SHARED VITALITY



Industrial areas linking residential areas and public shoreline areas can be incentivized as creative hubs: for example, job training, maker space, small business spaces, or community-owned industrial spaces.

LEGEND

- PROPOSED:**
- INLAND IDEA: SHARED VITALITY
- IMPROVED COMMUNITY CONNECTION



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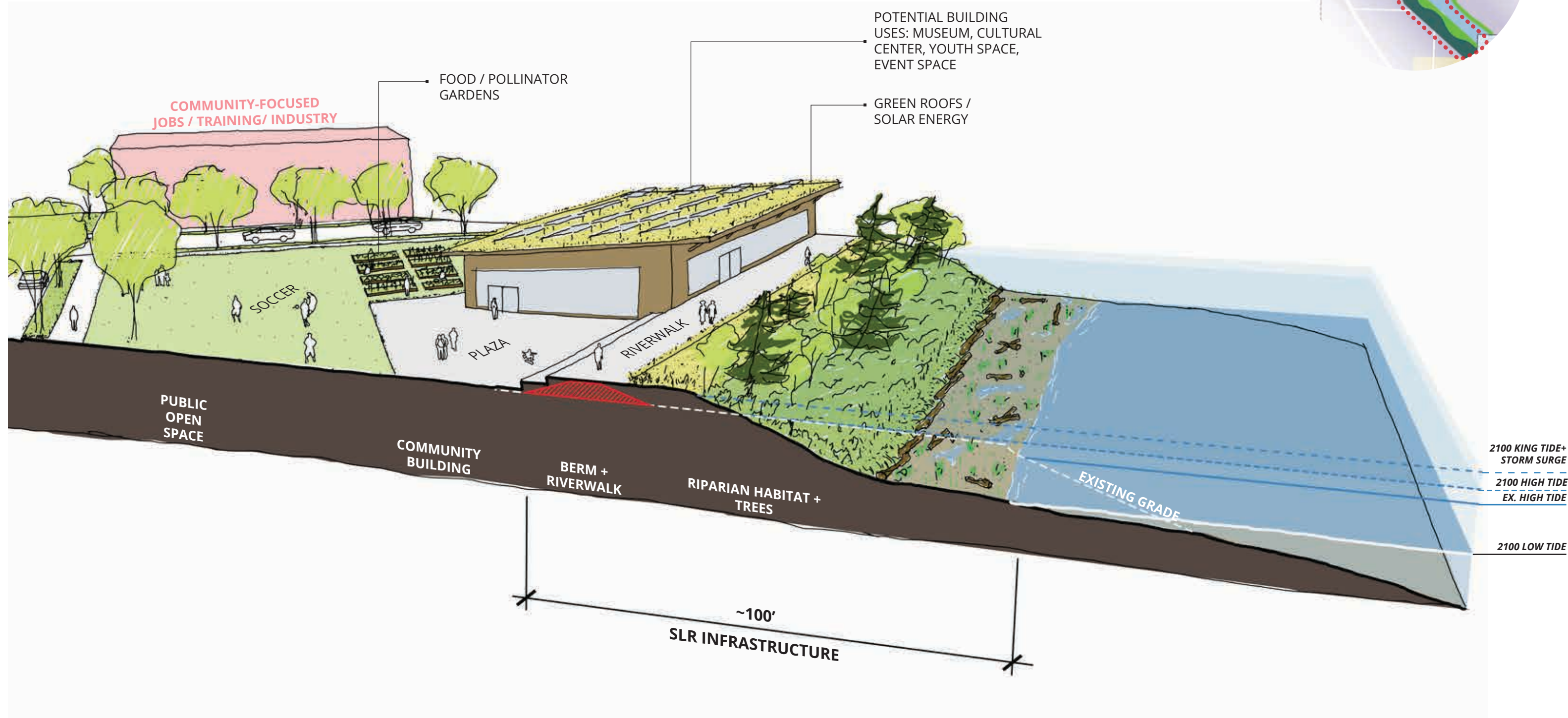
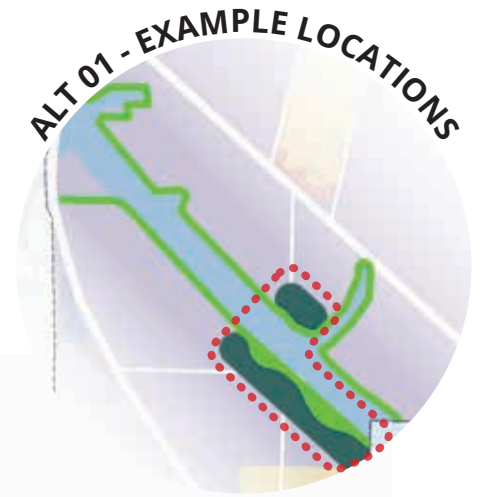
EXAMPLE 01-A: FOCUSED PUBLIC USE - SHORELINE BERM

PROS

- + protects space for community programs
- + public access/views to river
- + space for riparian habitat & trees
- + potential to manage inland rising groundwater

CONS

- less space for habitat
- cost/complexity of large land acquisition



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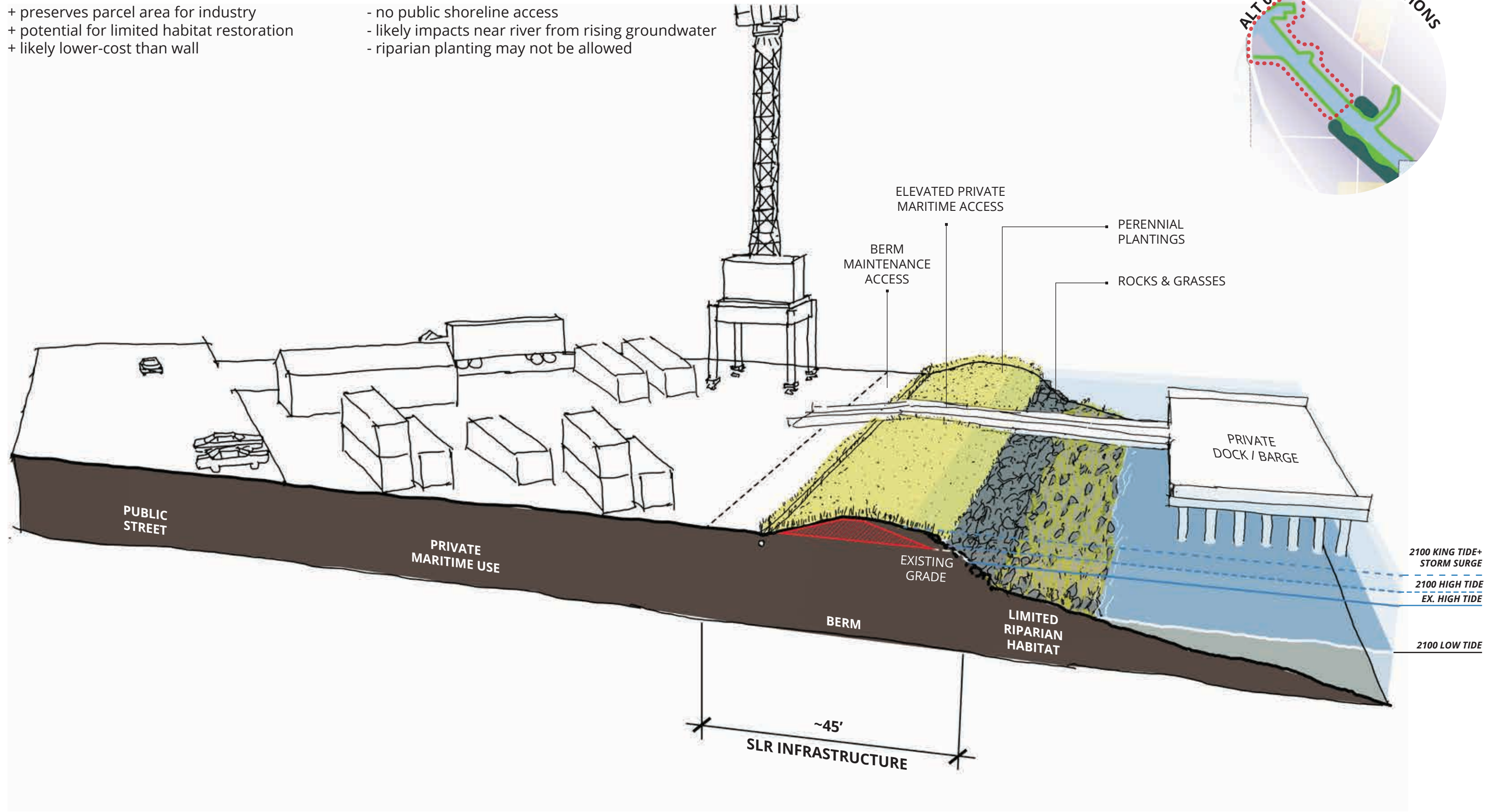
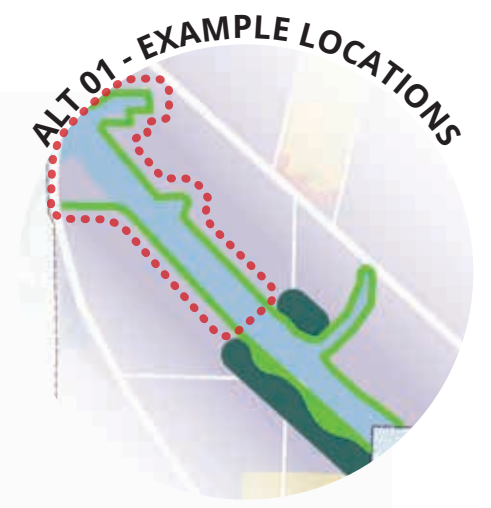
EXAMPLE 01-B: FOCUSED MARITIME USE - SHORELINE BERM

PROS

- + preserves parcel area for industry
- + potential for limited habitat restoration
- + likely lower-cost than wall

CONS

- no public shoreline access
- likely impacts near river from rising groundwater
- riparian planting may not be allowed



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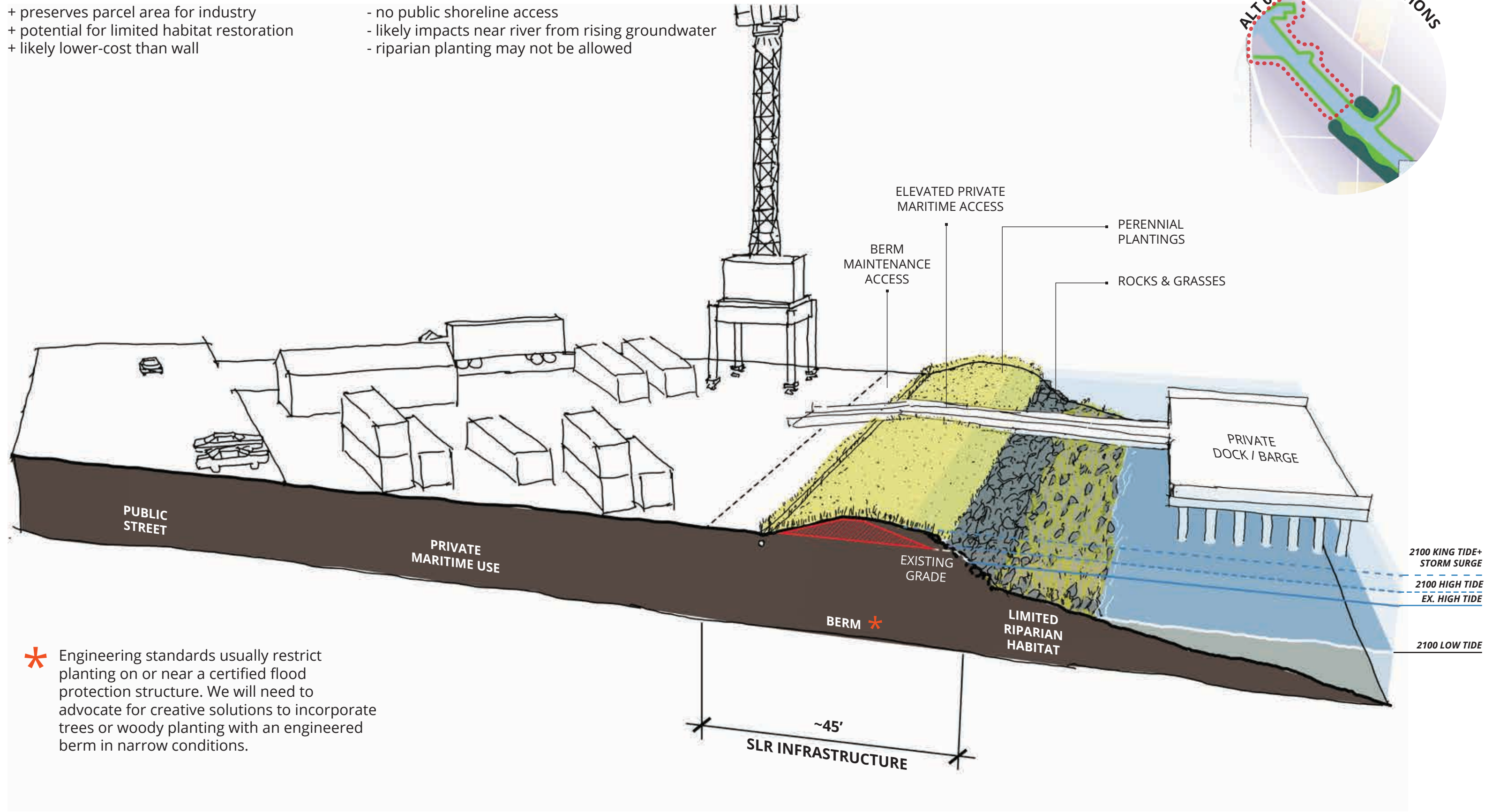
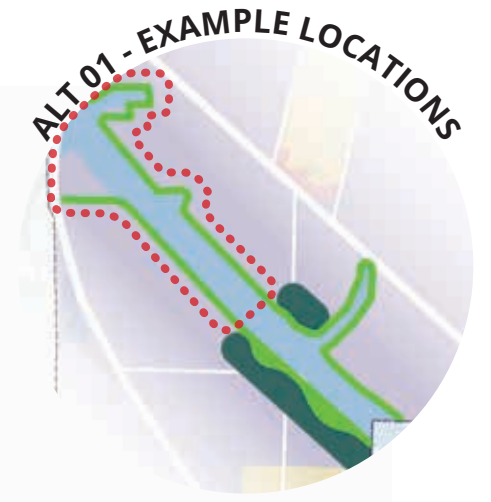
EXAMPLE 01-B: FOCUSED MARITIME USE - SHORELINE BERM

PROS

- + preserves parcel area for industry
- + potential for limited habitat restoration
- + likely lower-cost than wall

CONS

- no public shoreline access
- likely impacts near river from rising groundwater
- riparian planting may not be allowed



* Engineering standards usually restrict planting on or near a certified flood protection structure. We will need to advocate for creative solutions to incorporate trees or woody planting with an engineered berm in narrow conditions.

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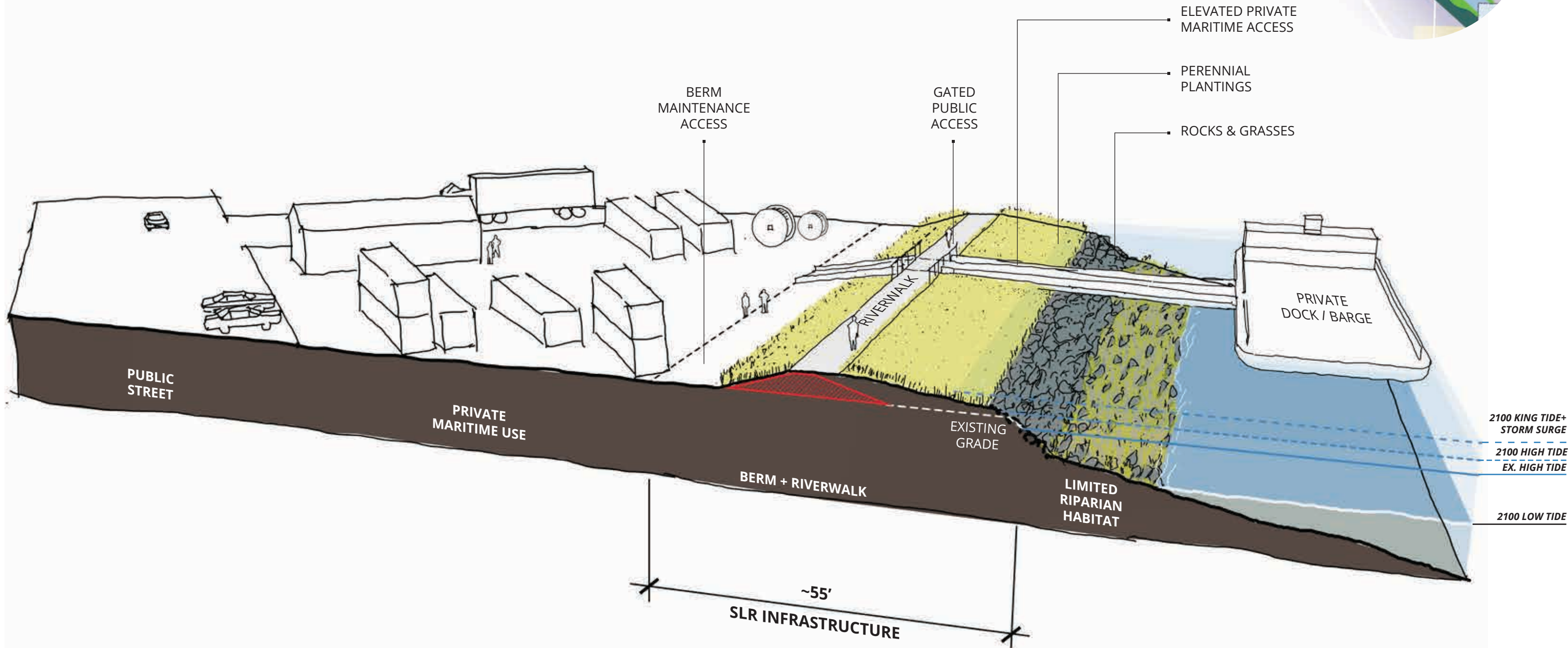
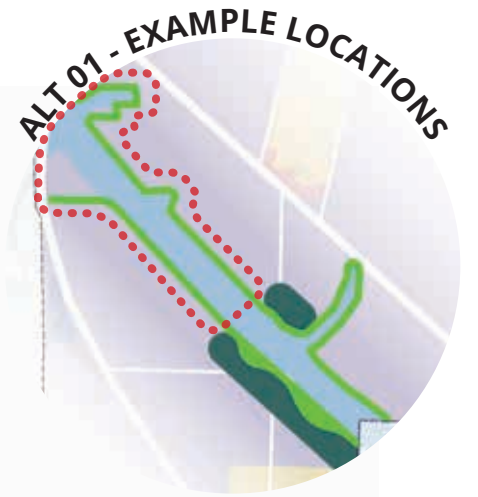
EXAMPLE 01-C: FOCUSED MARITIME USE + PUBLIC ACCESS - SHORELINE BERM

PROS

- + preserves parcel area for industry
- + potential for limited habitat restoration
- + likely lower-cost than wall
- + wider berm can be made taller in future

CONS

- compatibility of public access
- likely impacts near river from rising groundwater
- riparian planting may not be allowed



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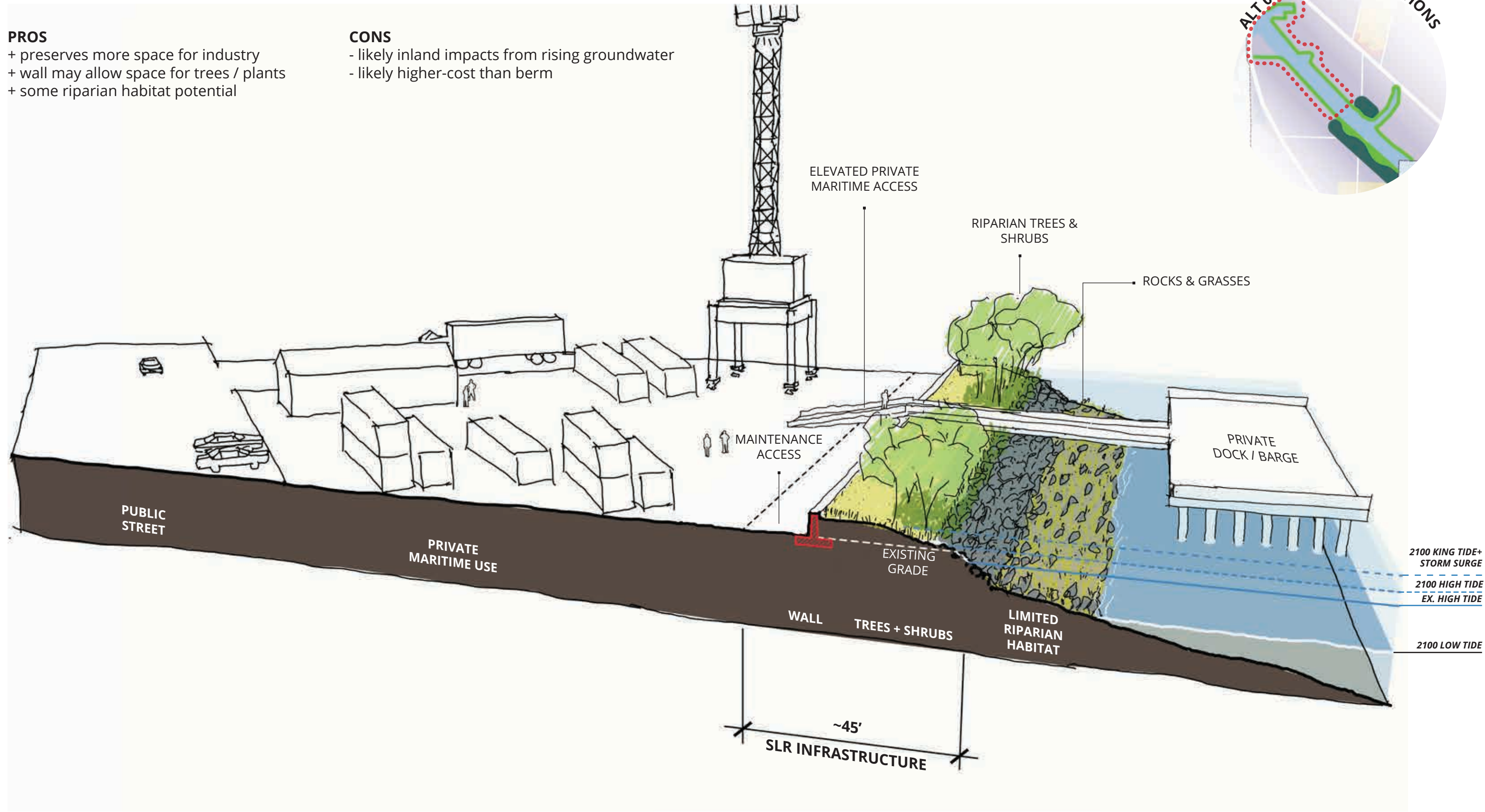
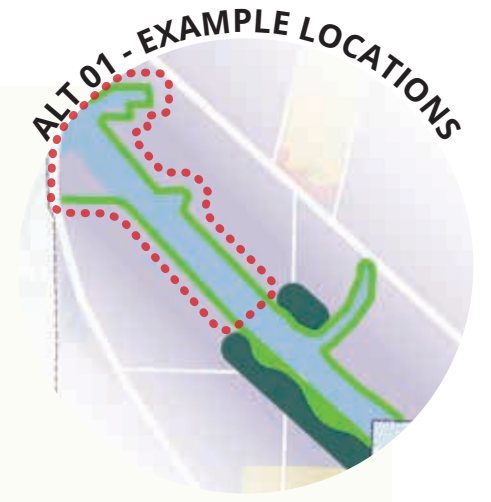
EXAMPLE 01-D: FOCUSED MARITIME USE - SHORELINE WALL

PROS

- + preserves more space for industry
- + wall may allow space for trees / plants
- + some riparian habitat potential

CONS

- likely inland impacts from rising groundwater
- likely higher-cost than berm



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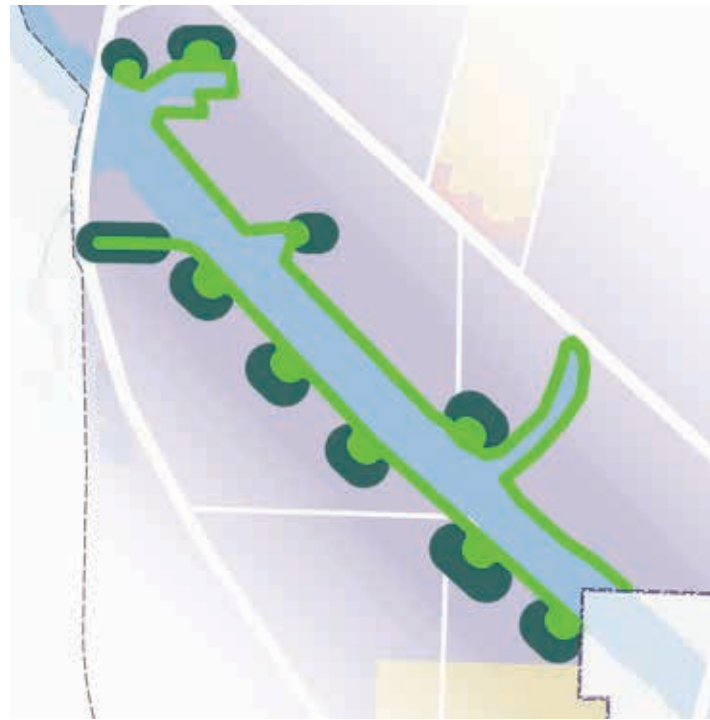
**ALT 01:
FOCUSED**

Focuses industrial & maritime uses and other multiple benefit elements in distinct areas.



**ALT 02:
NODES**

Strategically locates nodes of industrial & maritime activity and habitat/other multiple benefits along shoreline.



**ALT 03:
CONTINUITY**

Invests in a continuous living shoreline, improving the environment and community access, while establishing maritime access at strategic locations.

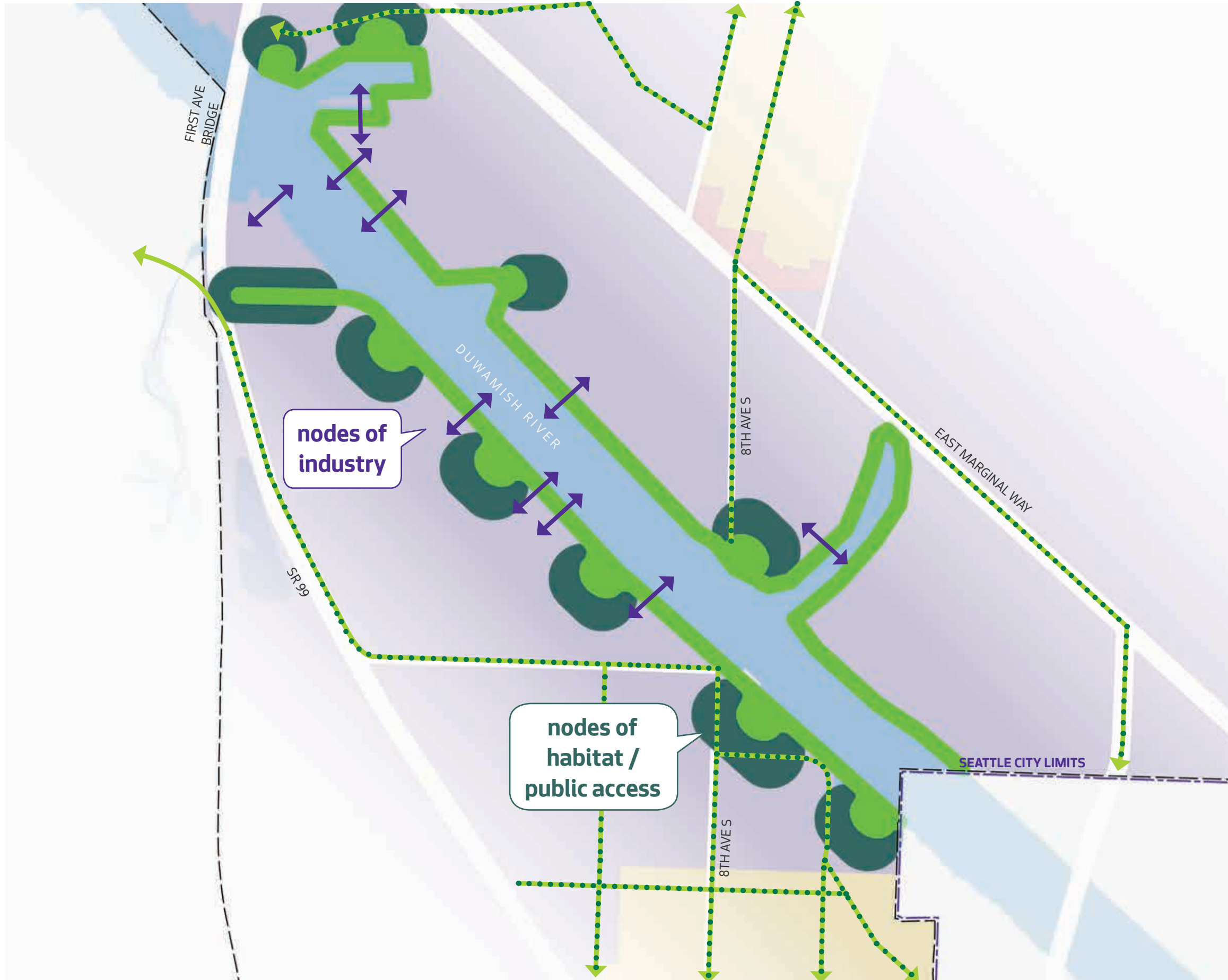


existing residential zones
existing industrial zones

-  **potential multiple benefit areas**
-  **potential habitat / floodable open space**

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ALT 02 - NODES



LEGEND

- SHORELINE USES:**
- INDUSTRIAL / MARITIME
 - MULTIPLE BENEFIT AREAS
 - HABITAT / FLOODABLE OPEN SPACE
- IMPROVED COMMUNITY CONNECTION
- MARITIME ACCESS
- [] STUDY AREA

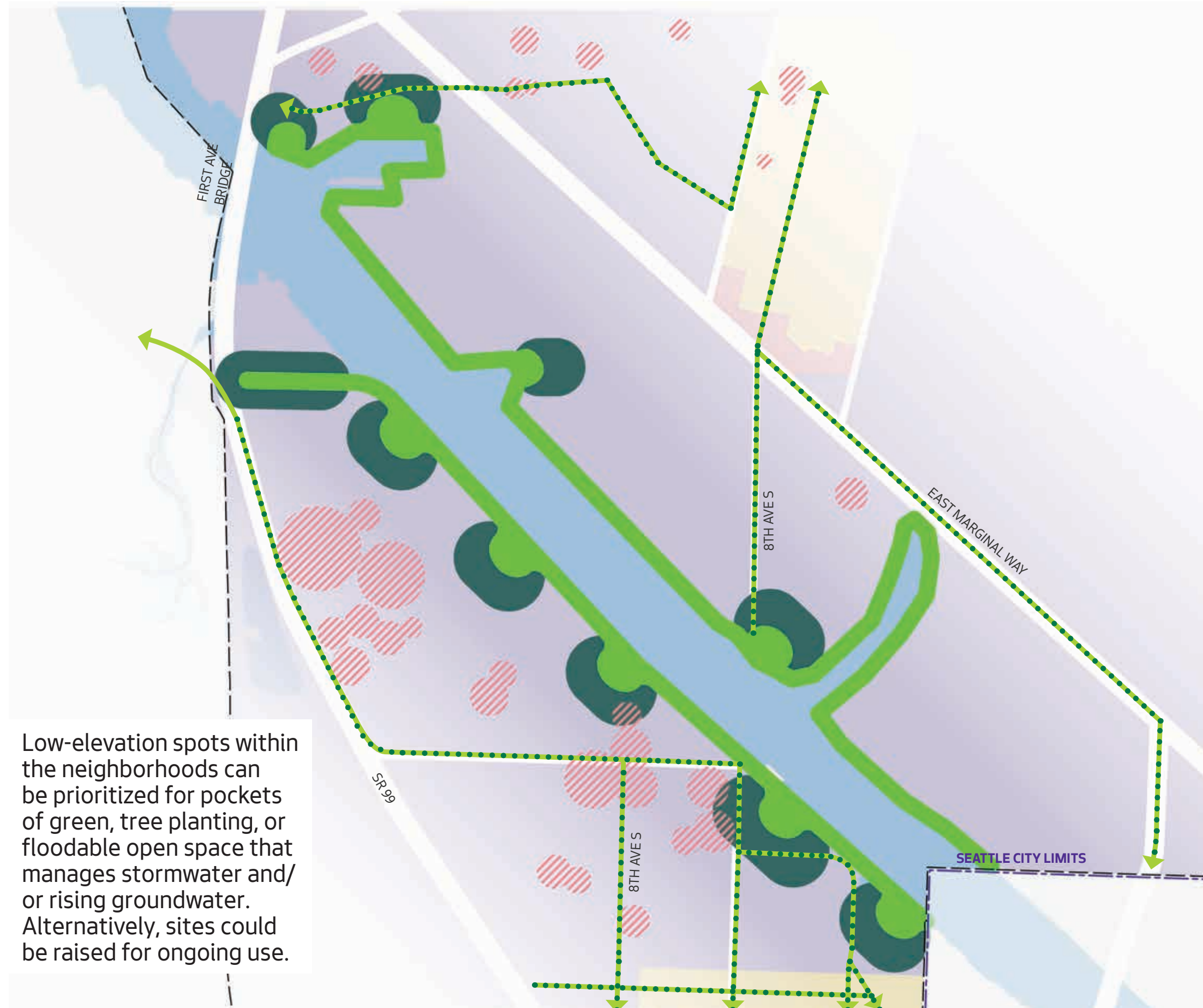
NODES:

Strategically retreat in low areas, folding in co-benefits of SLR mitigation, creating interspersed nodes of maritime industry protection and other benefits (habitat, access, and community-supportive investments).





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INLAND IDEA: POCKETS OF GREEN ELEMENTS



LEGEND

- PROPOSED:**
-  INLAND IDEA: POCKETS OF GREEN ELEMENTS
 -  IMPROVED COMMUNITY CONNECTION



Low-elevation spots within the neighborhoods can be prioritized for pockets of green, tree planting, or floodable open space that manages stormwater and/or rising groundwater. Alternatively, sites could be raised for ongoing use.

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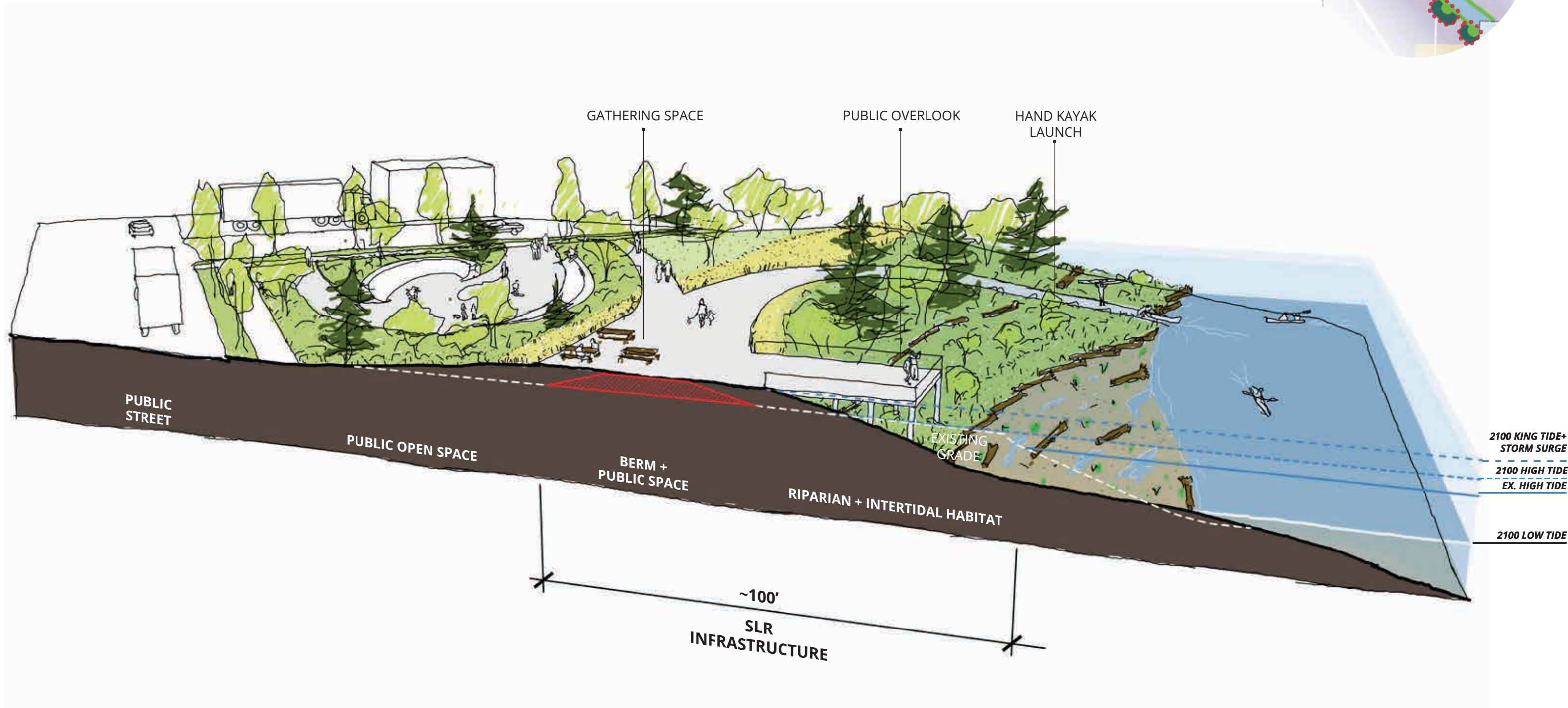
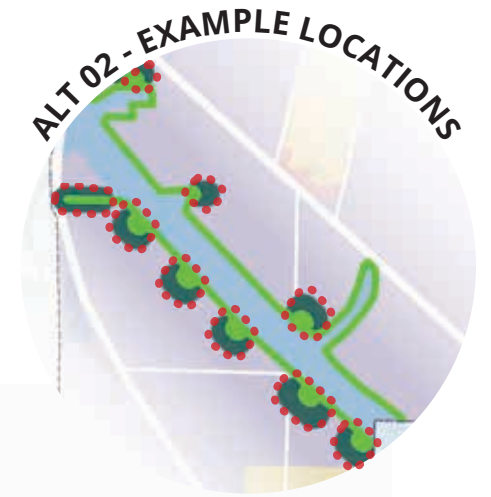
EXAMPLE 02-A: NODE OF PUBLIC USE - CENTRAL BERM

PROS

- + public space & river access
- + adds needed mudflat habitat

CONS

- requires parcel acquisition
- compatibility of public access & neighboring industry



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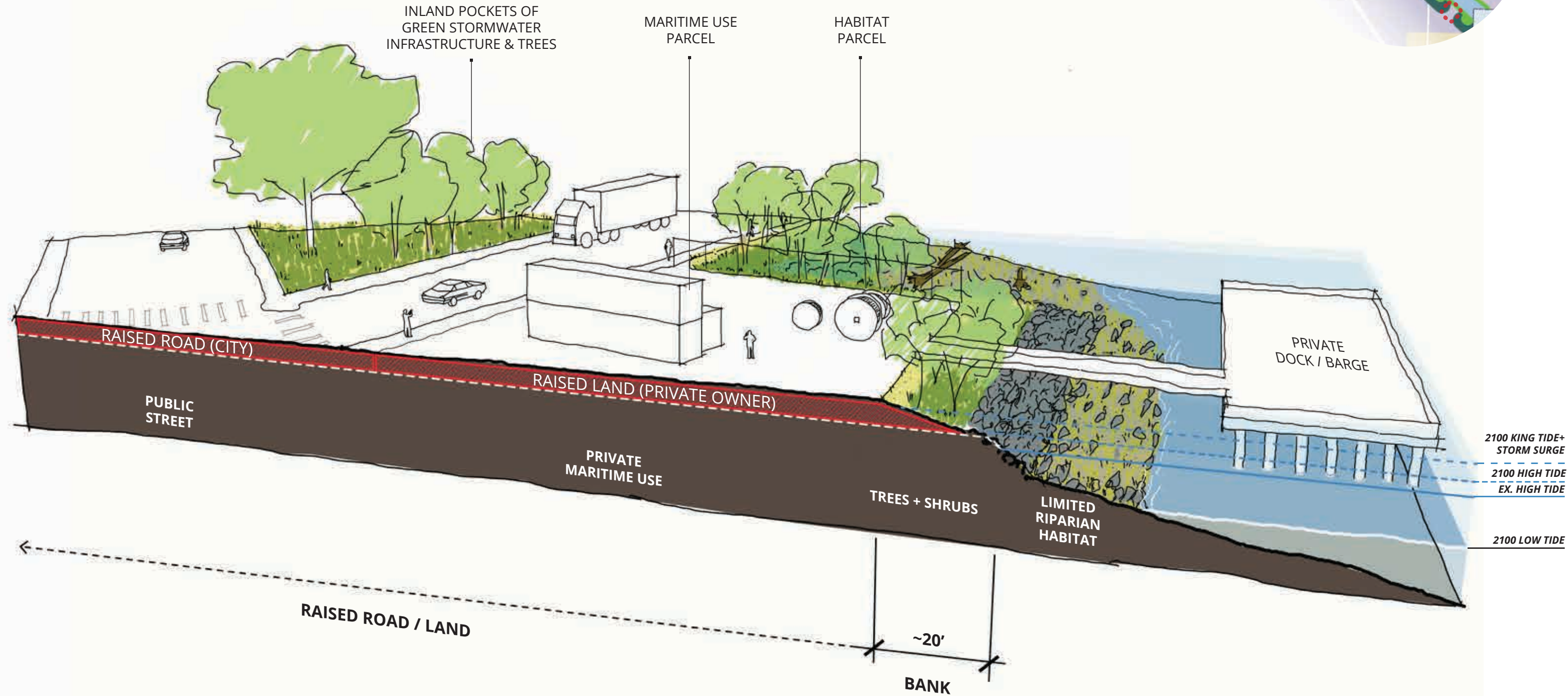
EXAMPLE 02-B: NODE OF MARITIME USE - RAISED ROAD / LAND

PROS

- + potential to preserve small parcels with high maritime value
- + adds habitat in most flood-prone areas

CONS

- likely impacts near river from rising groundwater
- high cost/complexity for property owner



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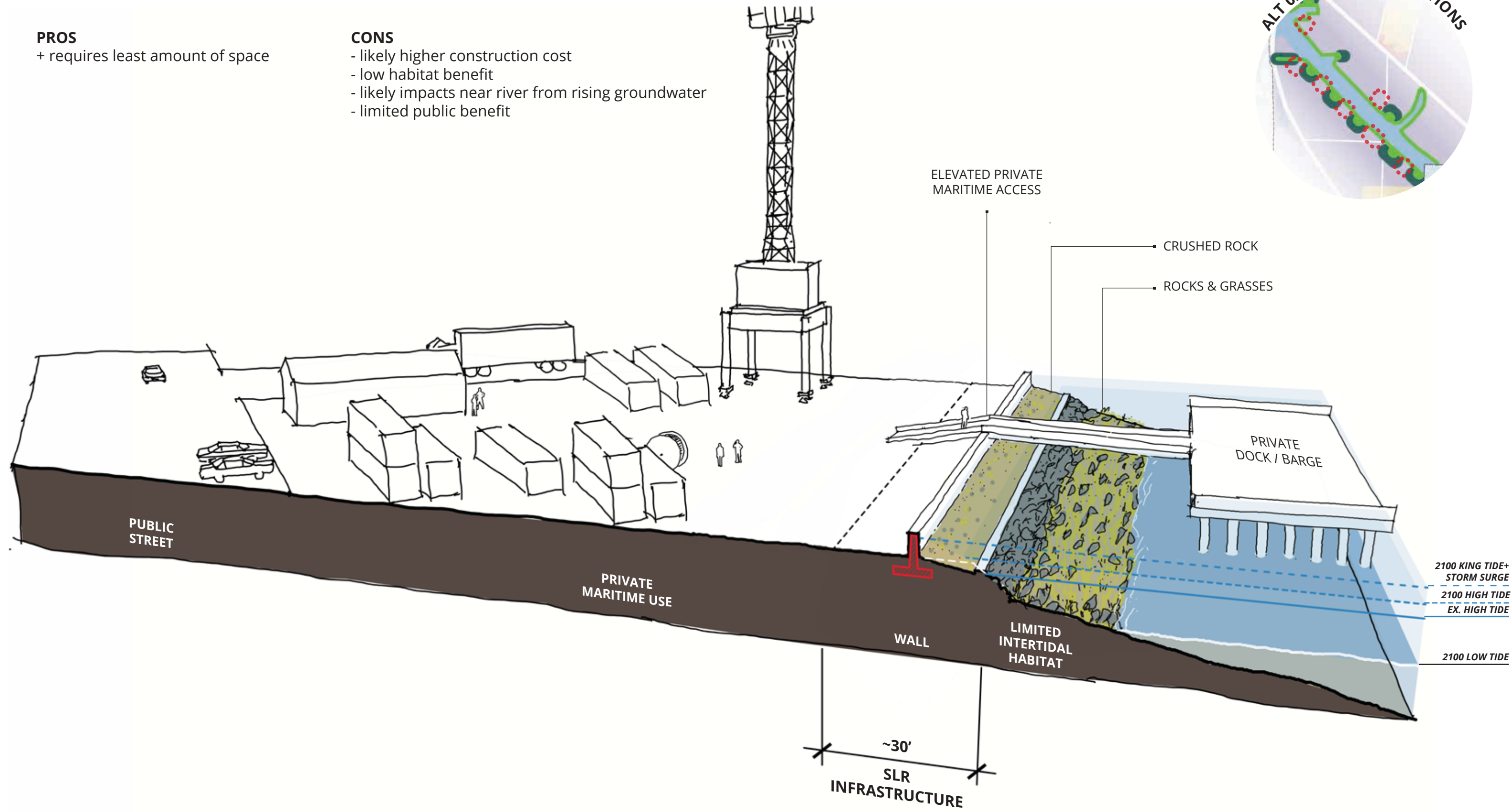
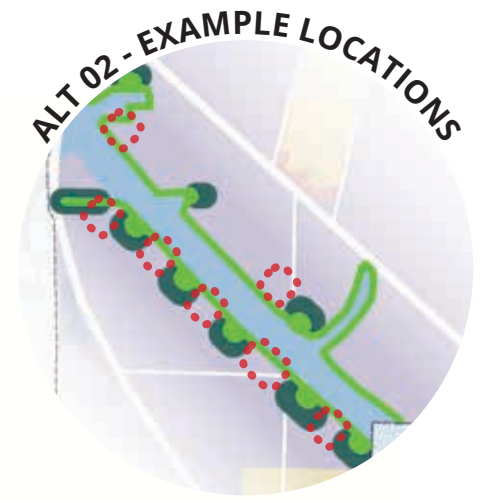
EXAMPLE 02-C: NODE OF MARITIME USE - NARROW WALL

PROS

+ requires least amount of space

CONS

- likely higher construction cost
- low habitat benefit
- likely impacts near river from rising groundwater
- limited public benefit



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**ALT 01:
FOCUSED**

Focuses industrial & maritime uses and other multiple benefit elements in distinct areas.



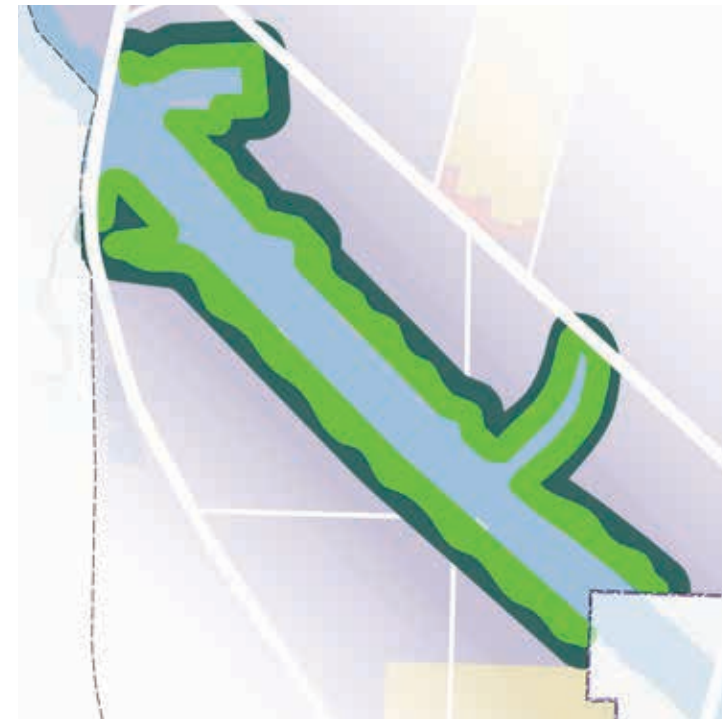
**ALT 02:
NODES**

Strategically locates nodes of industrial & maritime activity, and habitat/other investments along shoreline.



**ALT 03:
CONTINUITY**

Invests in a continuous living shoreline, improving the environment and community access, while establishing maritime access at strategic locations.

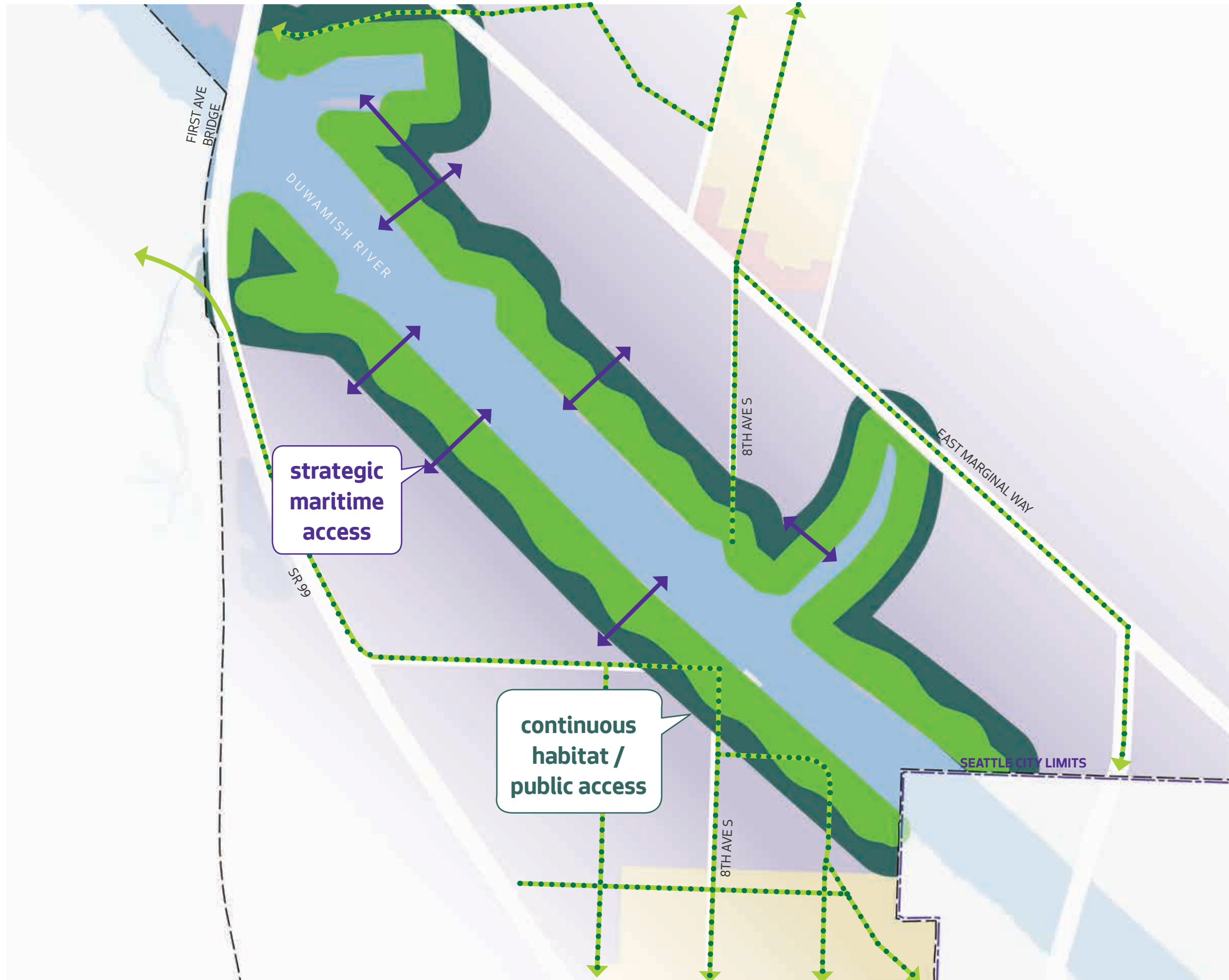


existing residential zones
existing industrial zones

-  **potential multiple benefit areas**
-  **potential habitat / floodable open space**

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ALT 03 - CONTINUITY



LEGEND

- SHORELINE USES:**
- INDUSTRIAL / MARITIME
 - MULTIPLE BENEFIT AREAS
 - HABITAT / FLOODABLE OPEN SPACE
- IMPROVED COMMUNITY CONNECTION
- MARITIME ACCESS
- [-] STUDY AREA

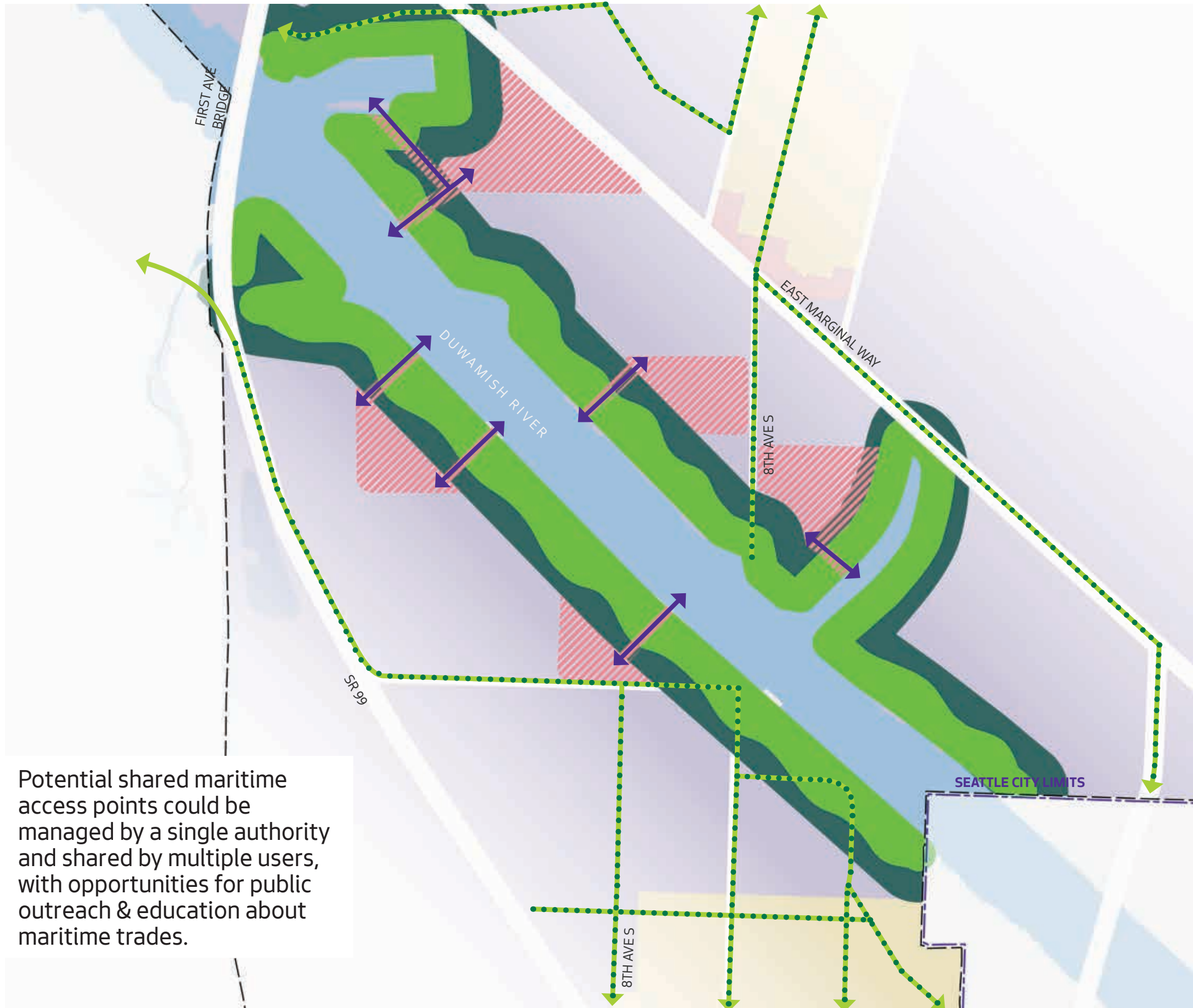
CONTINUITY:

Create a continuous living shoreline to increase connection to a healthy river and strategically focus industrial maritime access.





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INLAND IDEA: SHARED MARITIME ACCESS



LEGEND

- PROPOSED:**
-  INLAND IDEA: SHARED MARITIME ACCESS
 -  IMPROVED COMMUNITY CONNECTION

Potential shared maritime access points could be managed by a single authority and shared by multiple users, with opportunities for public outreach & education about maritime trades.



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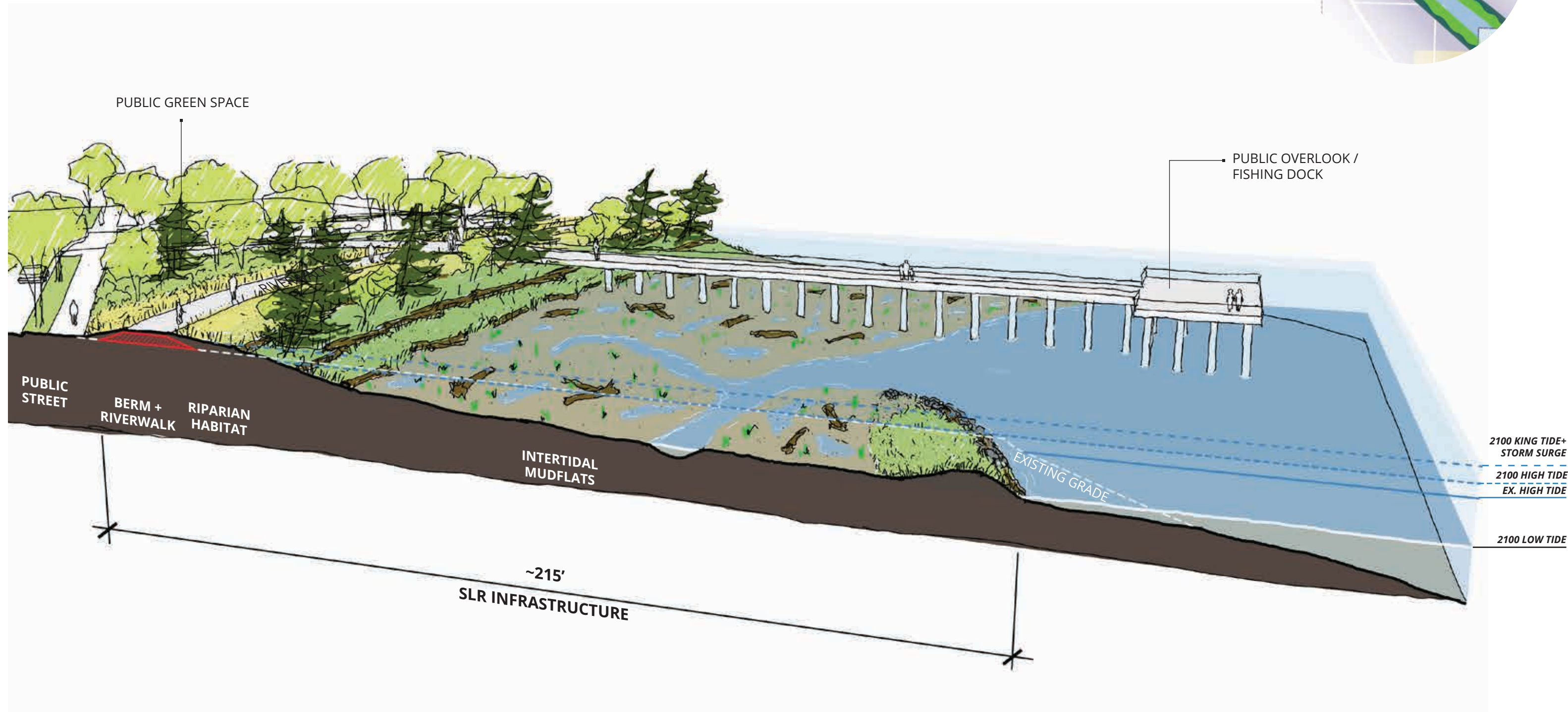
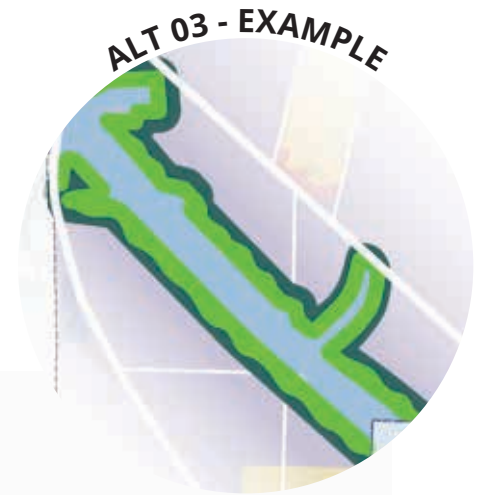
EXAMPLE 03-A: CONTINUOUS PUBLIC ACCESS - SET-BACK BERM

PROS

- + adds critical mudflat habitat
- + continuous public river access

CONS

- less space for community use
- cost/complexity of large land acquisition

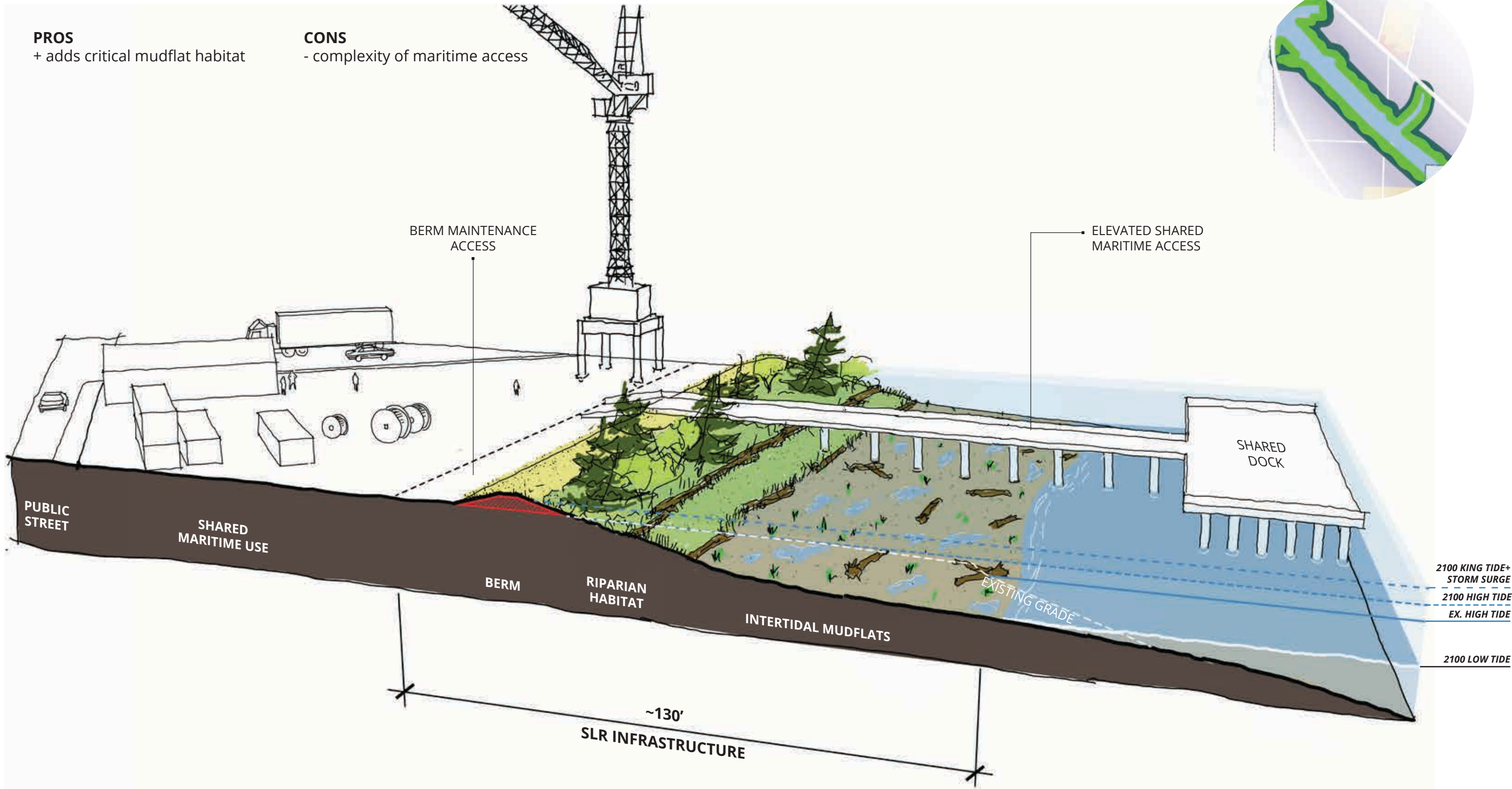
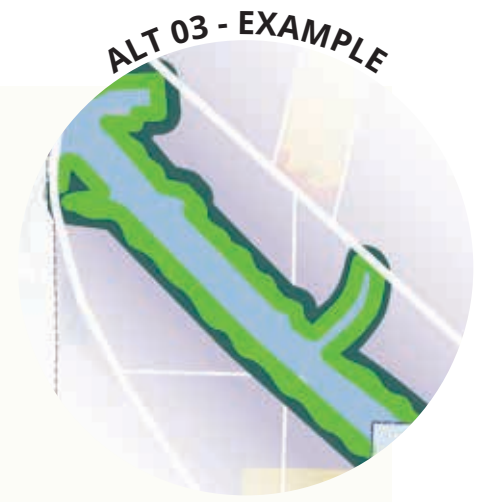


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EXAMPLE 03-B: STRATEGIC MARITIME USE - SET-BACK BERM

PROS
+ adds critical mudflat habitat

CONS
- complexity of maritime access



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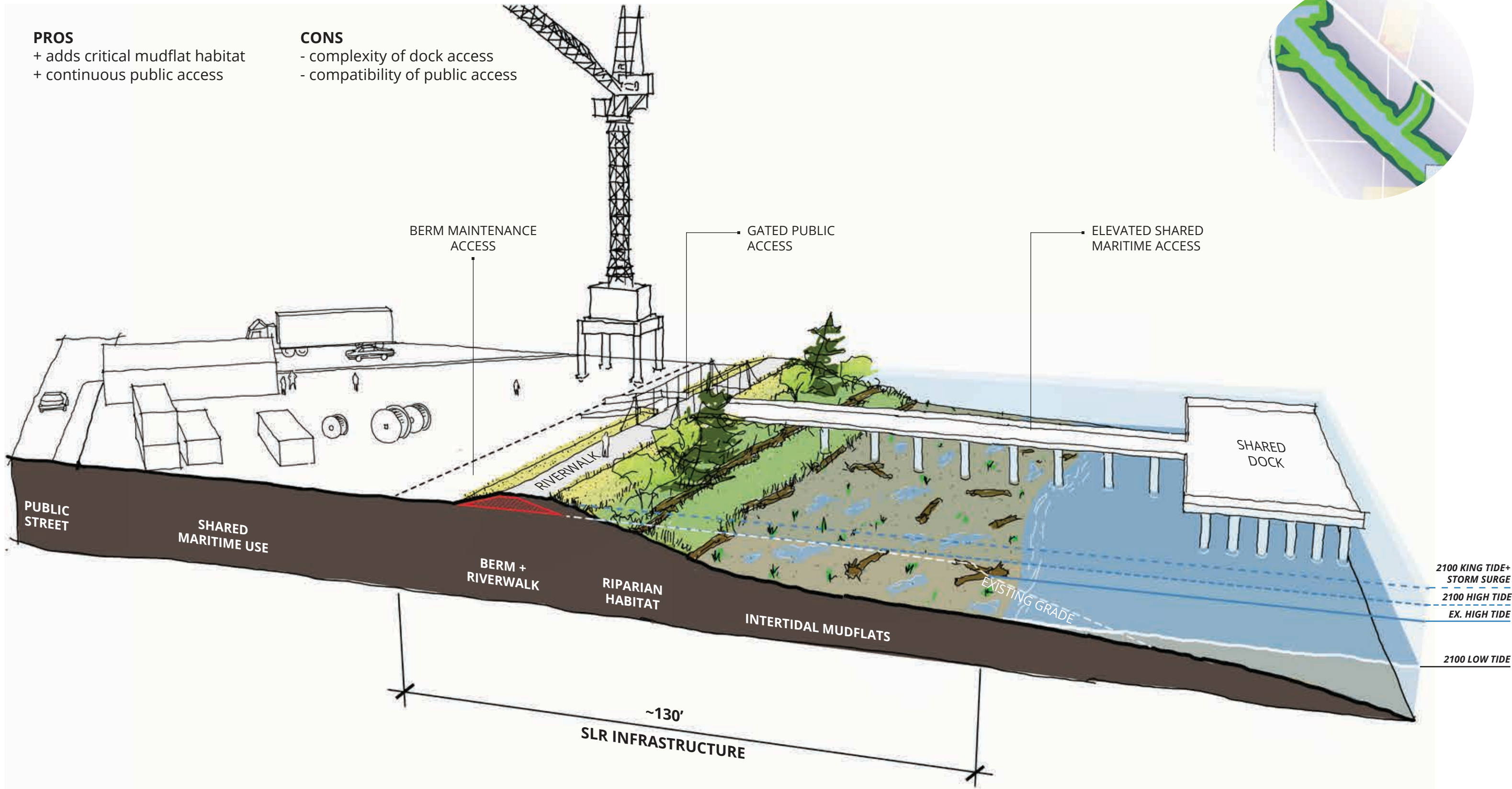
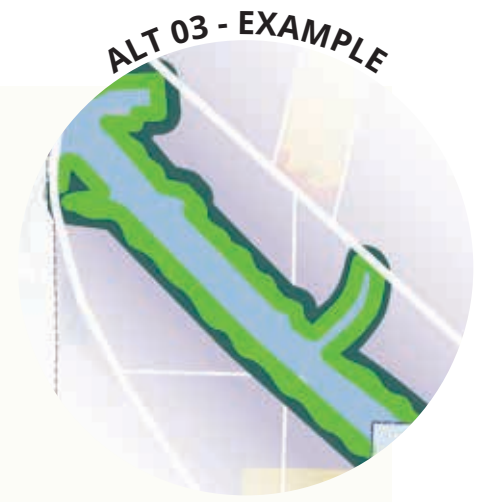
EXAMPLE 03-C: STRATEGIC MARITIME USE + PUBLIC ACCESS - SET-BACK BERM

PROS

- + adds critical mudflat habitat
- + continuous public access

CONS

- complexity of dock access
- compatibility of public access

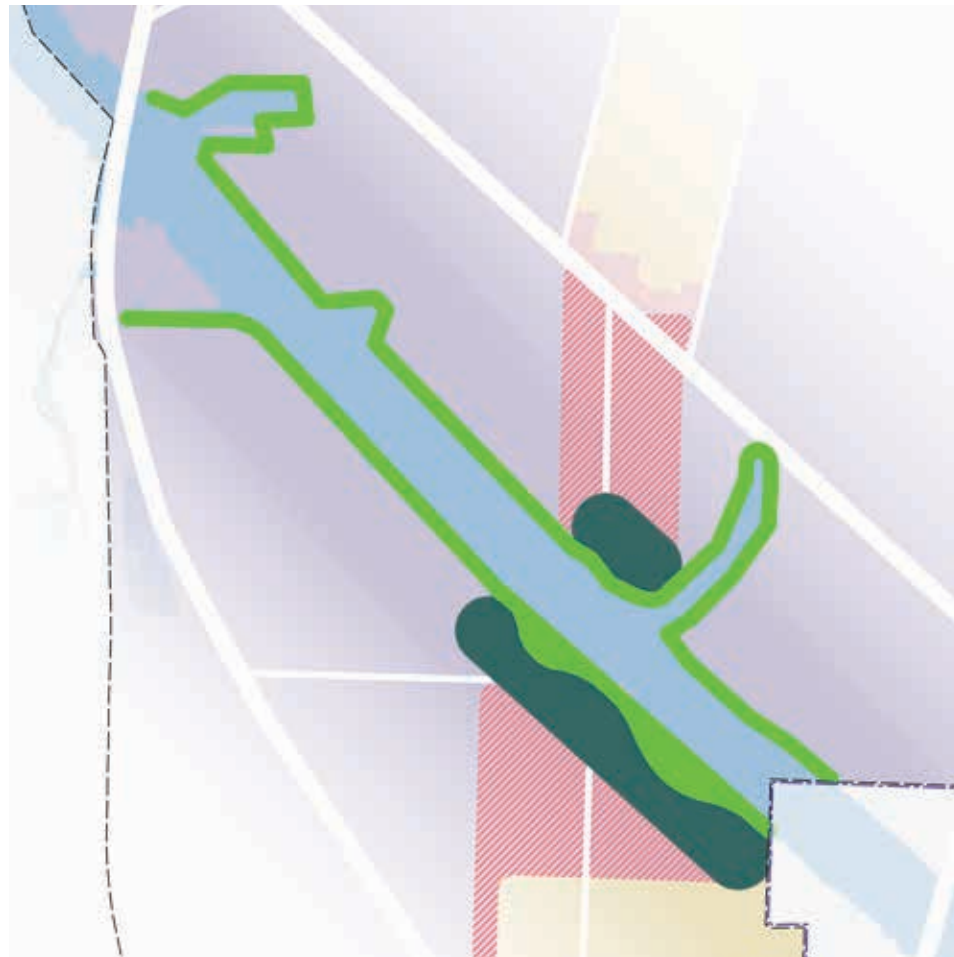


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DRAFT ALTERNATIVES

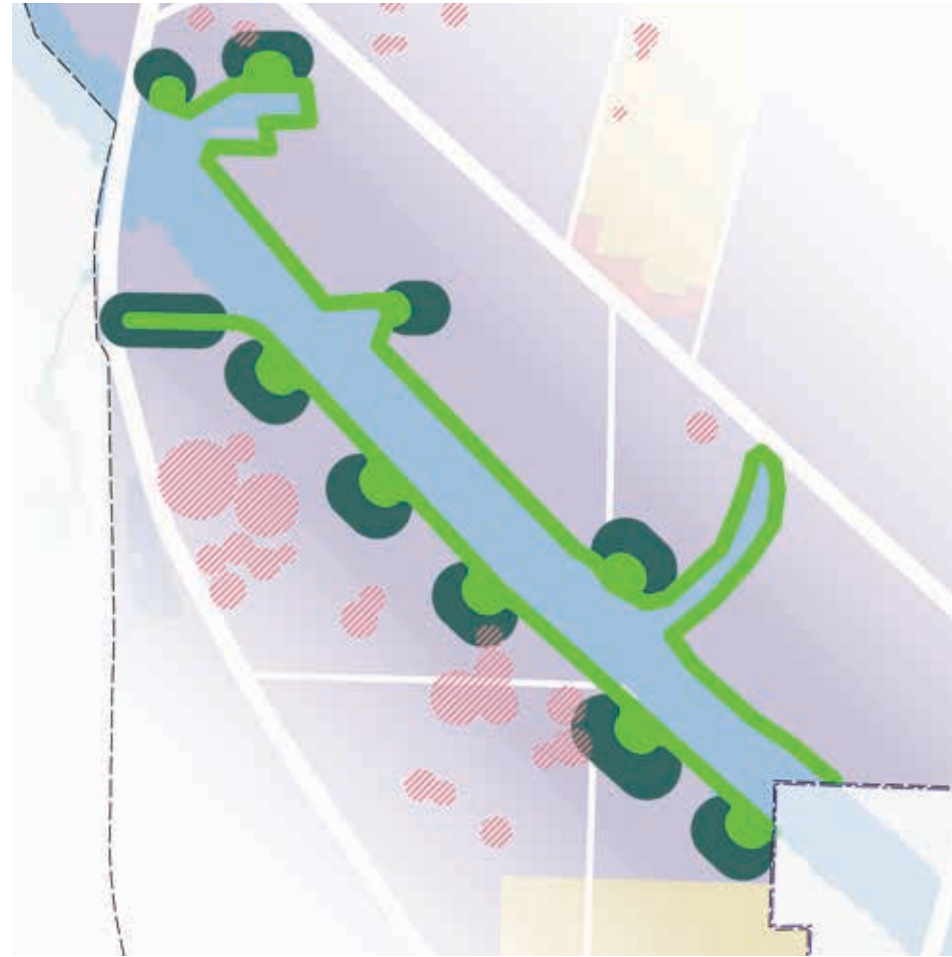
ALT 01: FOCUSED

Focuses industrial & maritime uses and other multiple benefit elements in distinct areas.



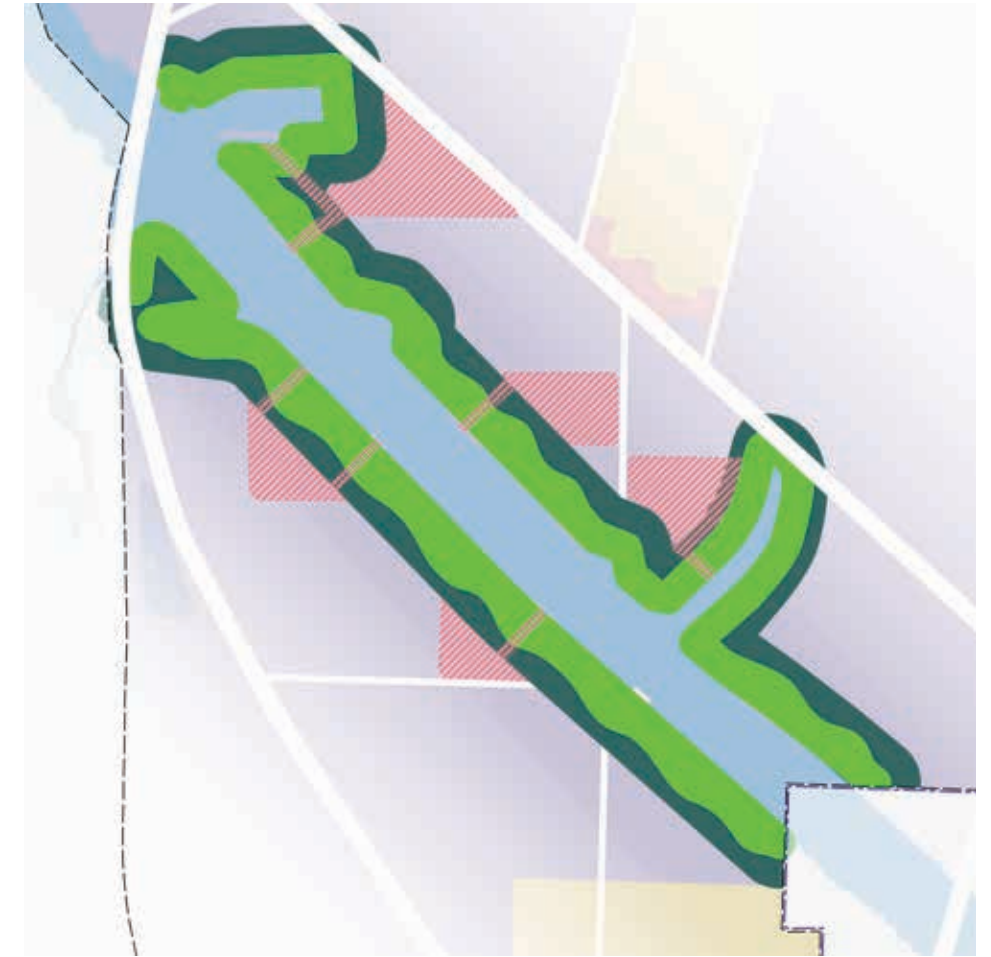
ALT 02: NODES

Strategically locates nodes of industrial & maritime activity and habitat/other multiple benefits along shoreline.



ALT 03: CONTINUITY

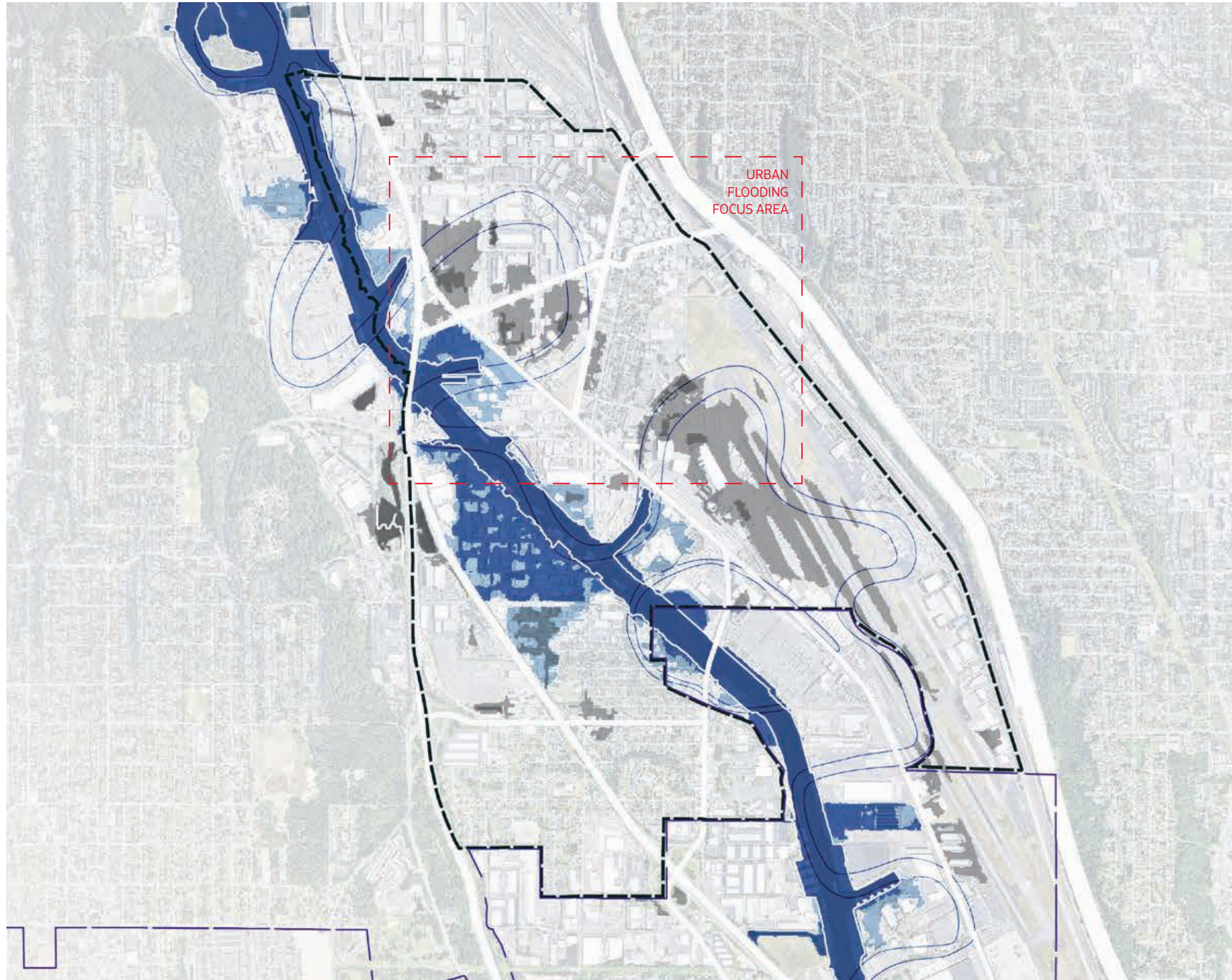
Invests in a continuous living shoreline, improving the environment and community access, while establishing maritime access at strategic locations.



-  potential multiple benefit areas
-  potential habitat / floodable open space
-  inland ideas

- existing residential zones
- existing industrial zones

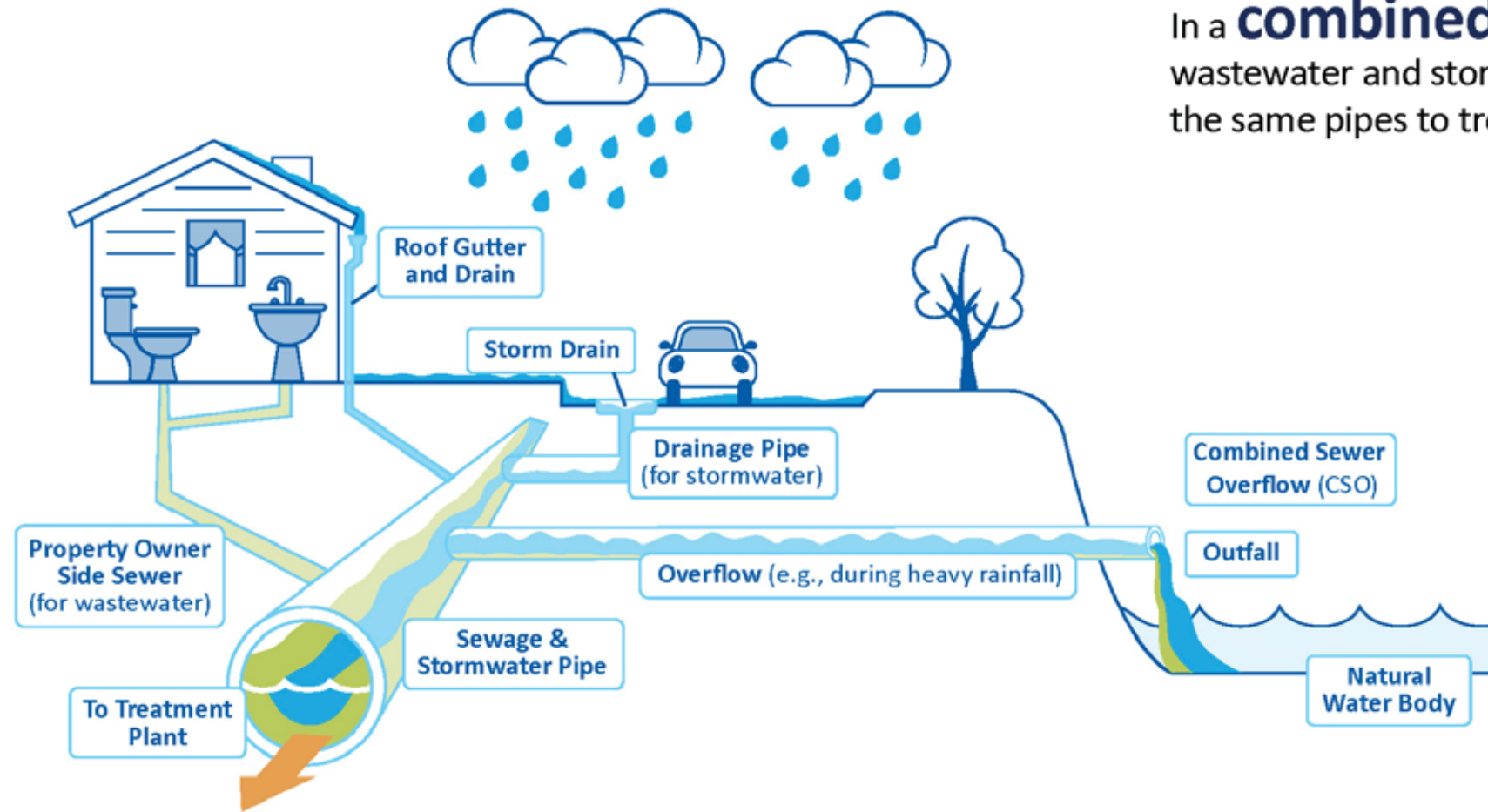
GEORGETOWN: URBAN FLOODING & SLR



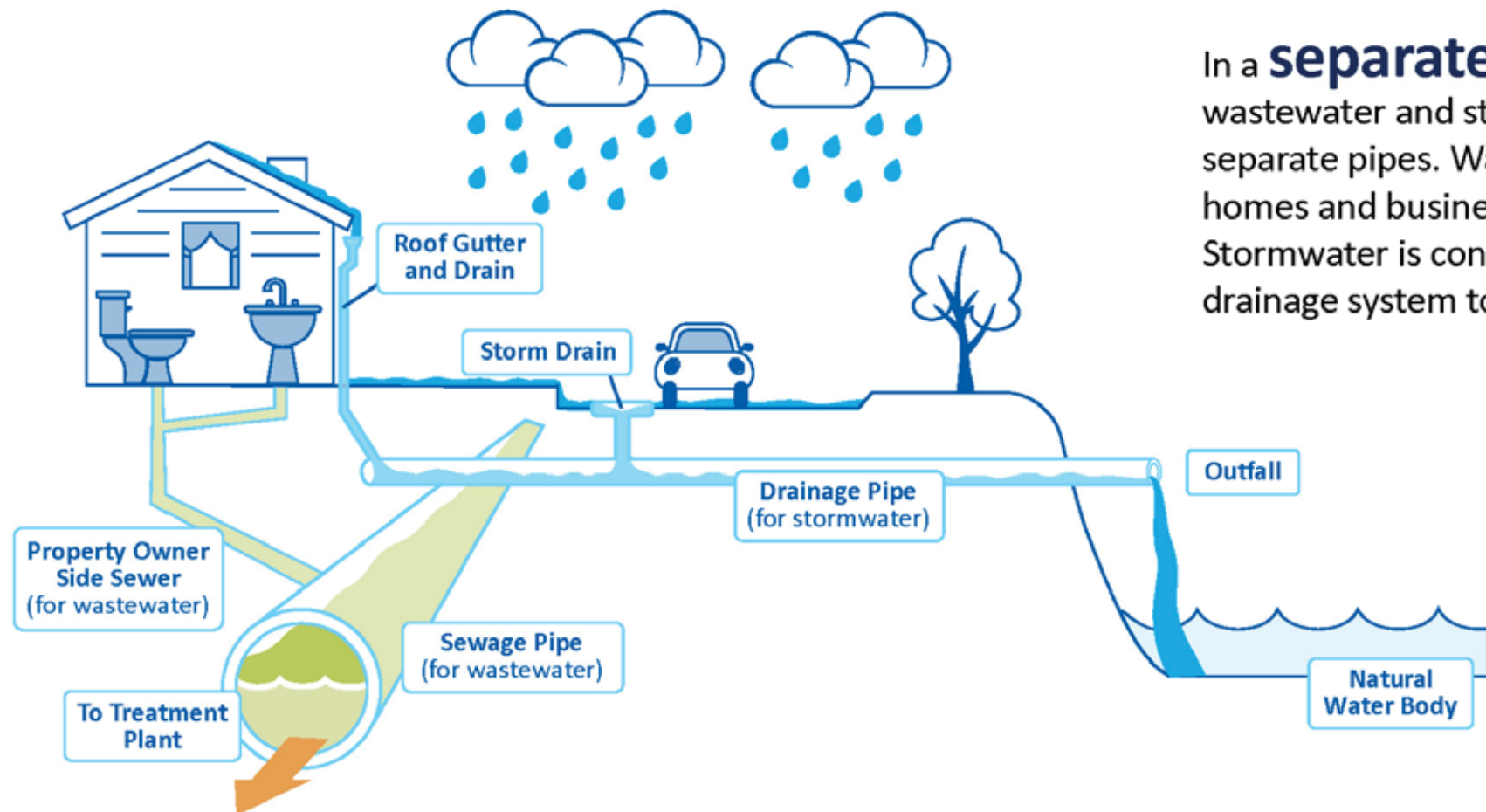
LEGEND

- STUDY AREA BOUNDARY
- - - CITY LIMITS
- 2050: 13' COASTAL FLOOD ELEVATION
- 2050 AT-RISK LOW LYING AREAS
- 2100: 15' COASTAL FLOOD ELEVATION
- 2100 AT-RISK LOW LYING AREAS
- SEATTLE SHORELINE

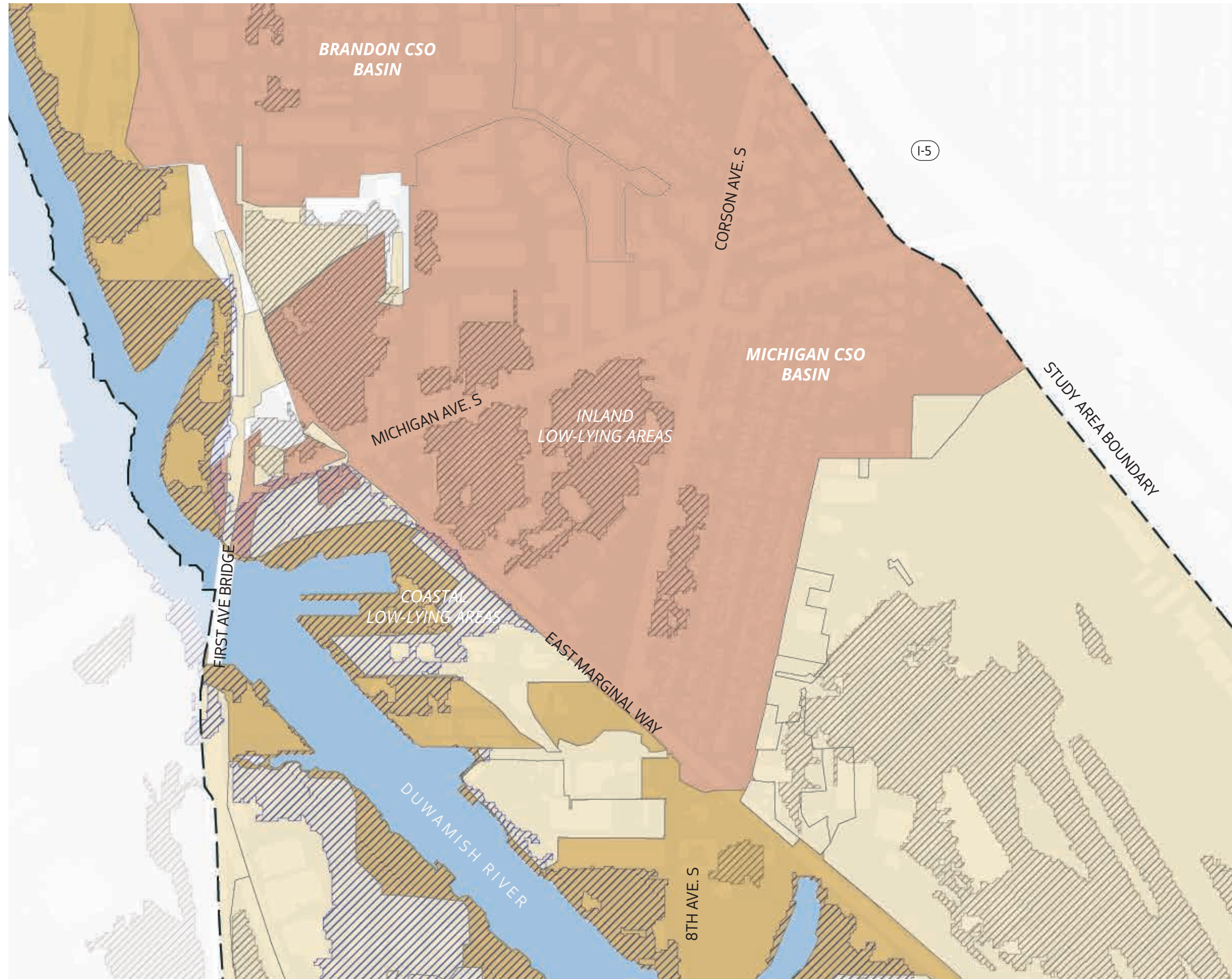
In a **combined sewer system**, wastewater and stormwater travel in the same pipes to treatment plants.



In a **separated sewer system**, wastewater and stormwater travel in separate pipes. Wastewater is conveyed from homes and businesses to treatment plants. Stormwater is conveyed through a separate drainage system to drainage outlets.



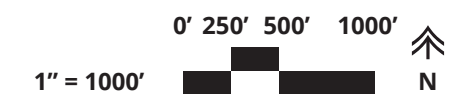
GEORGETOWN: DRAINAGE BASINS & LOW-LYING AREAS



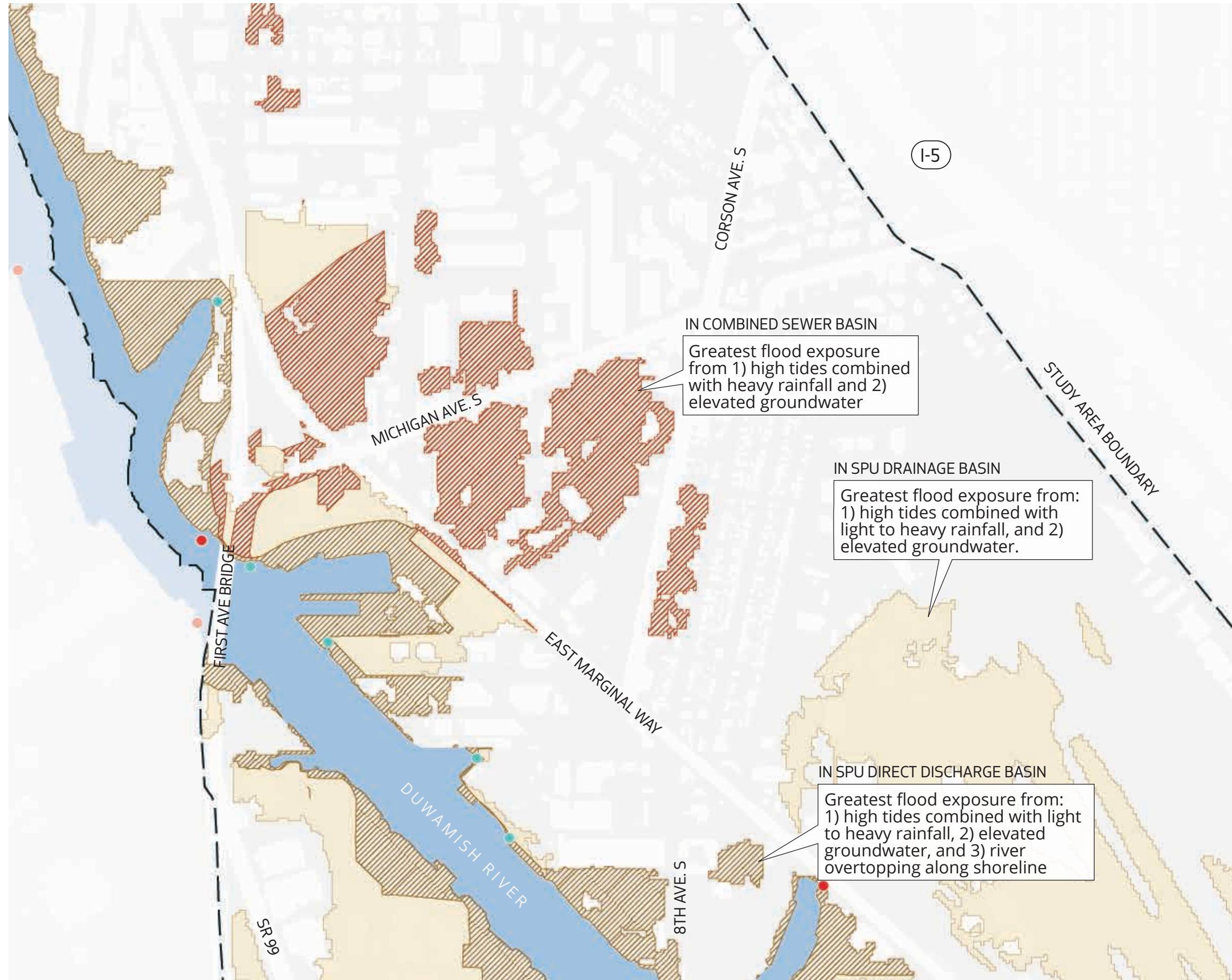
LEGEND

- STUDY AREA BOUNDARY
- DRAINAGE BASINS**
 - KING COUNTY COMBINED SEWER BASIN
 - SPU DIRECT DISCHARGE BASIN (SEPARATED)
 - SPU DRAINAGE BASIN (SEPARATED)
- OUTFALLS**
 - COMBINED SEWER OUTFALL
 - STORMWATER OUTFALL
- LOW-LYING AREAS**
 - COASTAL LOW-LYING AREAS (BELOW 15')
 - INLAND LOW-LYING AREAS (BELOW 15')

Urban flooding in Georgetown occurs in both combined and separated stormwater systems. Low-lying areas are particularly vulnerable to urban flooding.



GEORGETOWN: URBAN FLOODING EXPOSURE



LEGEND

- STUDY AREA BOUNDARY
- LOW-LYING AREAS**
 - IN KING COUNTY COMBINED SEWER BASIN
 - IN SPU DIRECT DISCHARGE BASIN (SEPARATED)
 - IN SPU DRAINAGE BASIN (SEPARATED)
- OUTFALLS**
 - COMBINED SEWER OUTFALL
 - STORMWATER OUTFALL

With SLR, low-lying areas will become increasingly vulnerable to flooding for various reasons depending on what kind of basin they are located in.



GEORGETOWN: HIGH-LEVEL URBAN FLOODING POTENTIAL WITH SLR



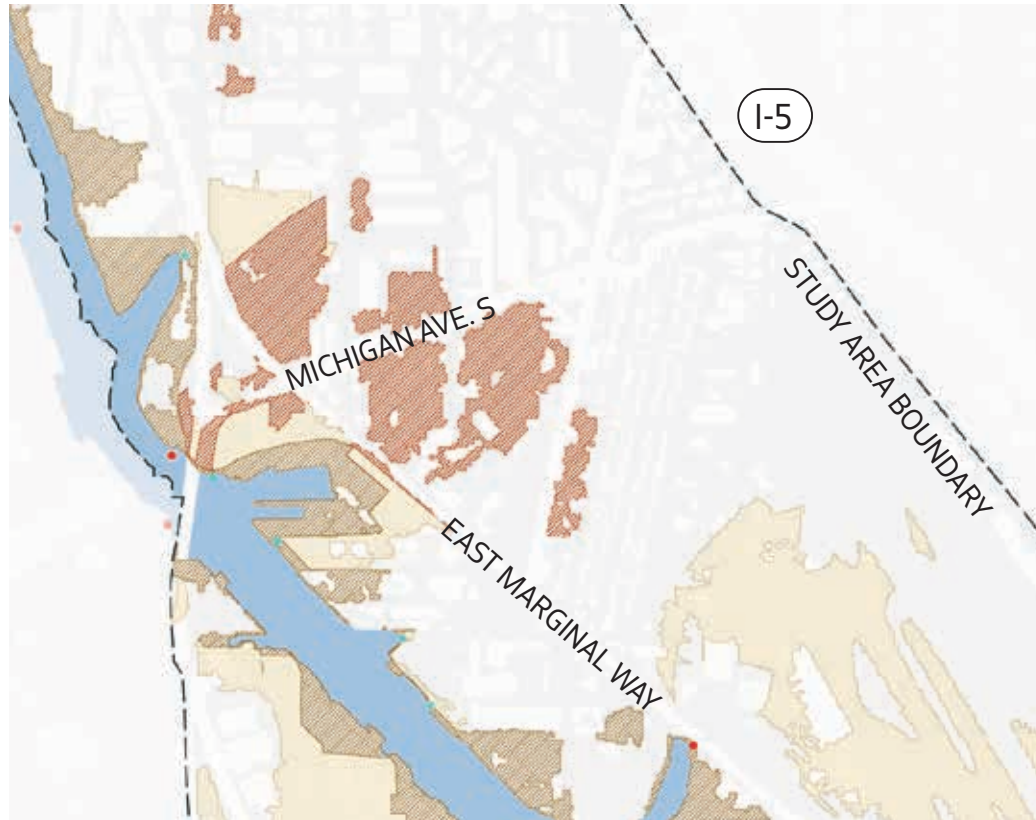
KING COUNTY COMBINED SEWER BASIN

	LIGHT/MODERATE WET WEATHER	HEAVY WET WEATHER
2100 LOW TIDES	Flooding Unlikely	Flooding Unlikely
2100 HIGH TIDES	Flooding Unlikely	POTENTIAL FLOODING



SPU DIRECT DISCHARGE BASIN (SEPARATED)

	LIGHT/MODERATE WET WEATHER	HEAVY WET WEATHER
2100 LOW TIDES	Flooding Unlikely	Flooding Unlikely
2100 HIGH TIDES	POTENTIAL FLOODING	POTENTIAL FLOODING



SPU DRAINAGE BASIN (SEPARATED)

	LIGHT/MODERATE WET WEATHER	HEAVY WET WEATHER
2100 LOW TIDES	Flooding Unlikely	Flooding Unlikely
2100 HIGH TIDES	POTENTIAL FLOODING	POTENTIAL FLOODING

GEORGETOWN: POTENTIAL SOLUTIONS

	LOW-LYING AREAS IN KING COUNTY COMBINED SEWER BASINS	LOW-LYING AREAS IN SPU DIRECT DISCHARGE BASINS	LOW-LYING AREAS IN SPU DRAINAGE BASINS
LEVEE/BERM/FLOOD WALL	●	●	●
RAISED ROADS & BUILDINGS	●	●	●
GREEN STORMWATER INFRASTRUCTURE*	●*	●*	●*
GRAY STORAGE	●	●	●
PUMPING	●	●	●
FLOODABLE OPEN SPACES	●	●	●
BACKFLOW PREVENTERS	●	●	●
SEWER SEPARATION	●	●	●

- **NOT EFFECTIVE** to address flooding in this area
- **EFFECTIVE** to address flooding in this area
- **PARTIALLY EFFECTIVE** to address flooding in this area

* Elevated groundwater may impact feasibility of GSI

POTENTIAL CO-BENEFITS



- PUBLIC ACCESS + VIEWS
- HABITAT + TREE CANOPY
- OPEN SPACE
- CONSTRUCTION + MAINTENANCE JOBS



- HABITAT
- COOLING
- INSTALLATION + MAINTENANCE JOBS



- STORMWATER FLOOD STORAGE
- PUBLIC OPEN SPACE
- RECREATION
- COOLING
- HABITAT + TREE CANOPY



- CONSTRUCTION + MAINTENANCE JOBS
- PROTECTION INSIDE HOMES/BUSINESSES



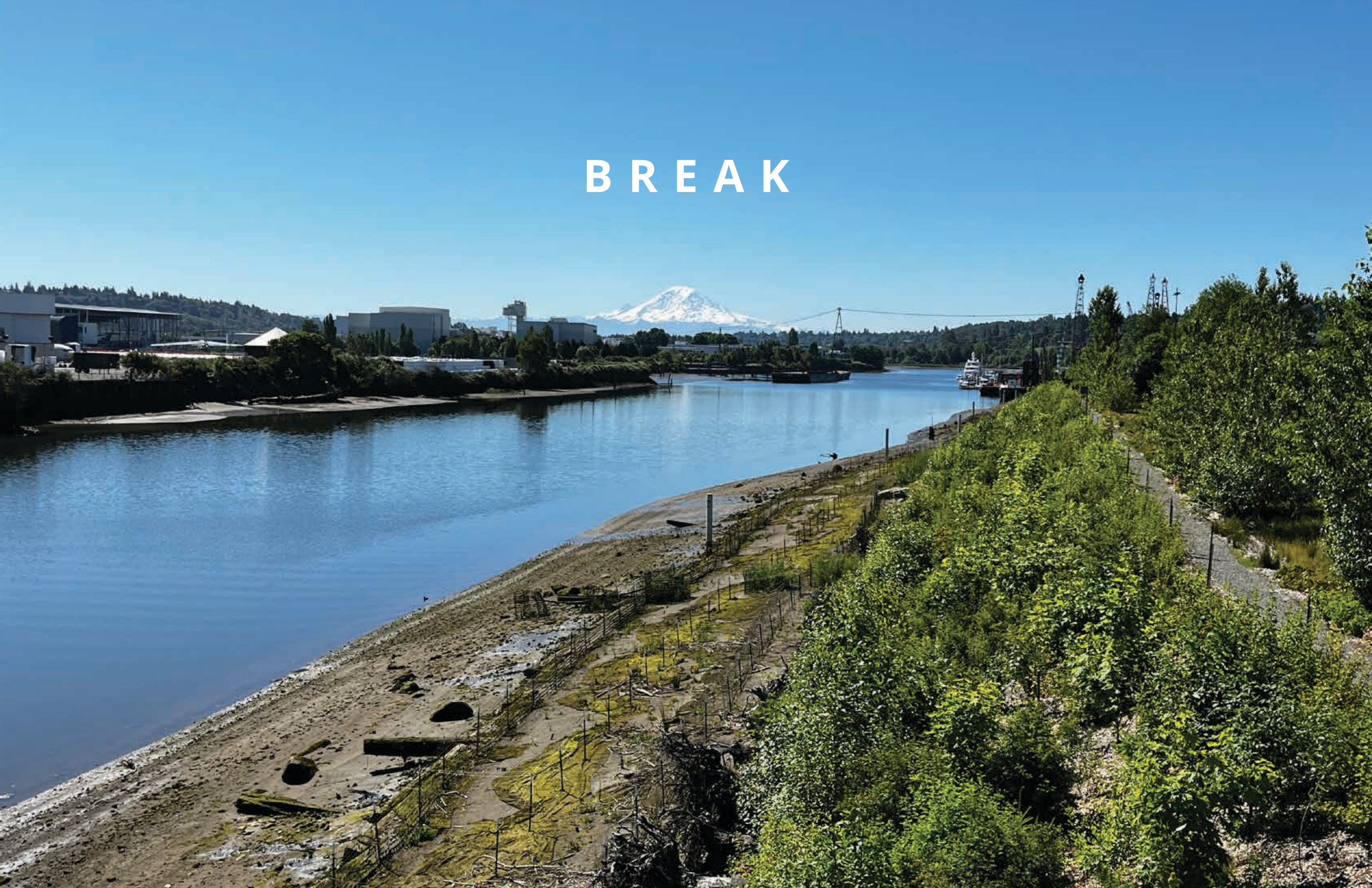
- FABRICATION + CONSTRUCTION JOBS
- TREE PLANTING ALONG ROADS

Briefly share one question or one reflection about the alternatives.

Example communities throughout South Park and Georgetown (listed in no particular order):

- Residents
- Small and micro businesses
- Community groups
- Local tribes
- Industrial/maritime businesses
- Fish and wildlife
- Others?

B R E A K



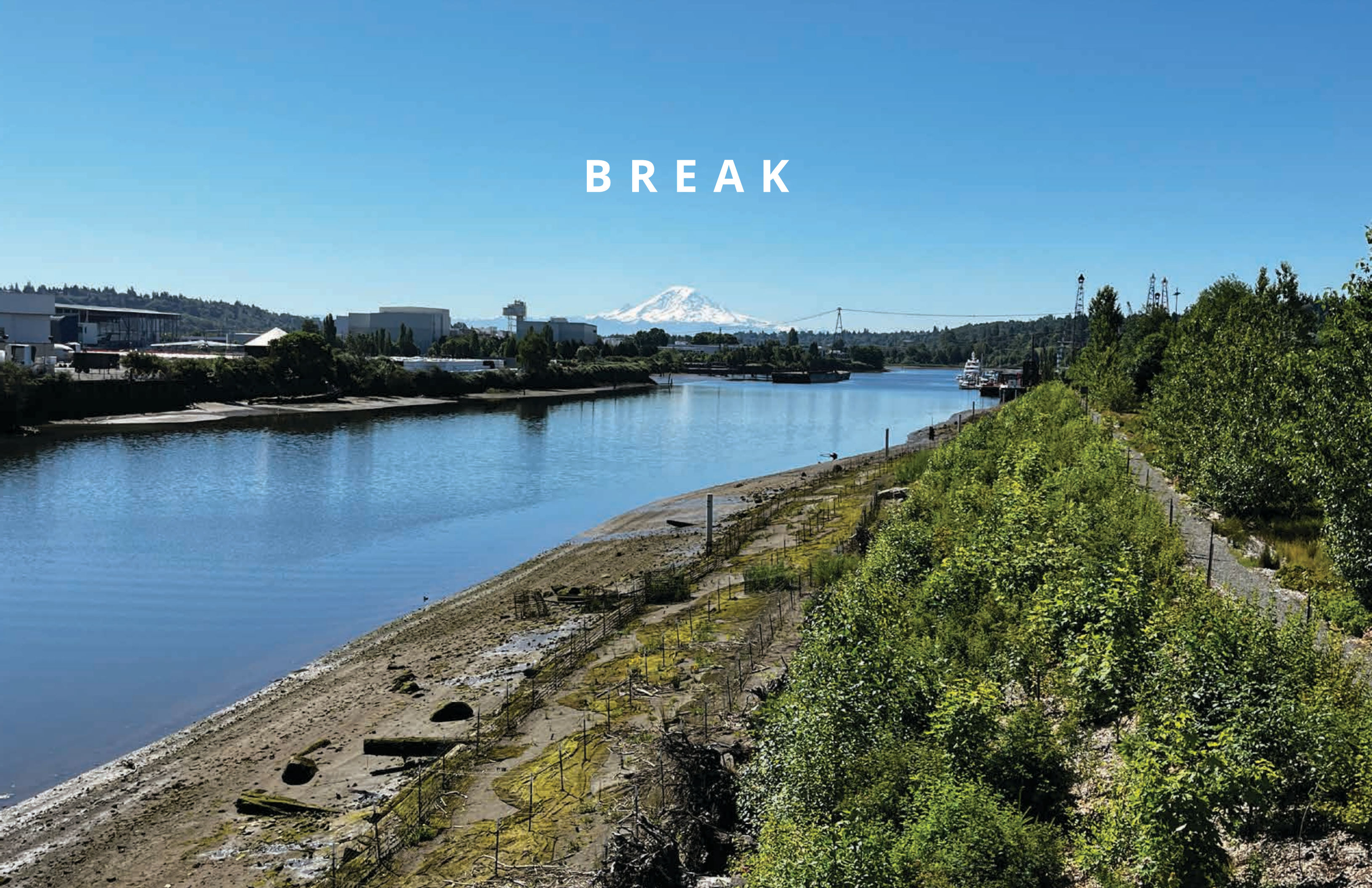
What would make this alternative better?

- How can the benefits better align with our Evaluation Criteria?
- Consider whether these benefits apply to residents (South Park or Georgetown), small businesses and community groups, Local Tribes, and/or maritime or other industrial businesses.

How does this alternative miss the mark on the draft Guiding Principles and evaluation criteria?

- How can we minimize any concerns you have about this alternative?
- Consider whether these concerns apply to residents (South Park or Georgetown), small businesses and community groups, Local Tribes, and/or maritime or other industrial businesses.

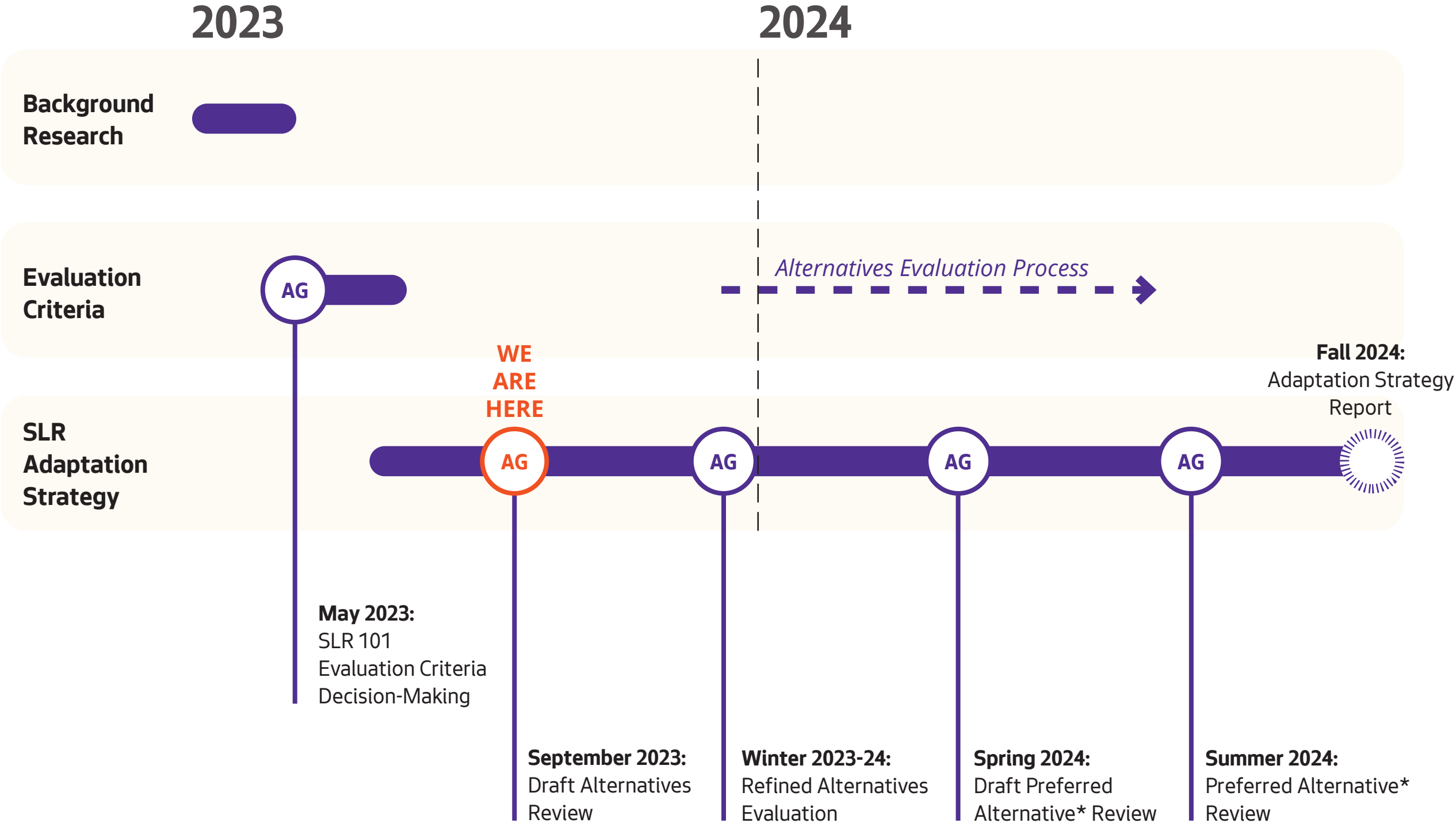
BREAK



SUMMARY + NEXT STEPS



PROJECT TIMELINE



**The "Preferred" Alternative will reflect a shared vision of community and City based on our current understanding. It will be a starting point for continued analysis, reviews, and consultations.*