

Washington State Convention Center Addition Project

Seattle Design Commission
Meeting #11 - Public Benefits
11-16-2017



AGENDA

Public Benefits Update

- Public Benefits Overview & Vision
- SDC Feedback & Responses

WSCC Addition Artworks

- WSCC Addition Art Vision
- Public Benefits Artworks
- Urban Design Merit Artworks

Public Benefits Review

- Proposed Street Vacations Review
- Co-Development Update
- On-Site vs. Off-Site Public Benefits
- Overview of Code/Mitigation/Costs
- Project Vision & Components

WSCC ADDITION



Community Connections

The Addition will be a hub, connecting diverse neighborhoods.

Our vision for the public benefits is to improve the pedestrian experience and create community connections to and from this hub for the people who live and work here, as well as visitors who come to experience Seattle.

PUBLIC BENEFITS COMPONENTS

Community Connections

Physical Public Benefits

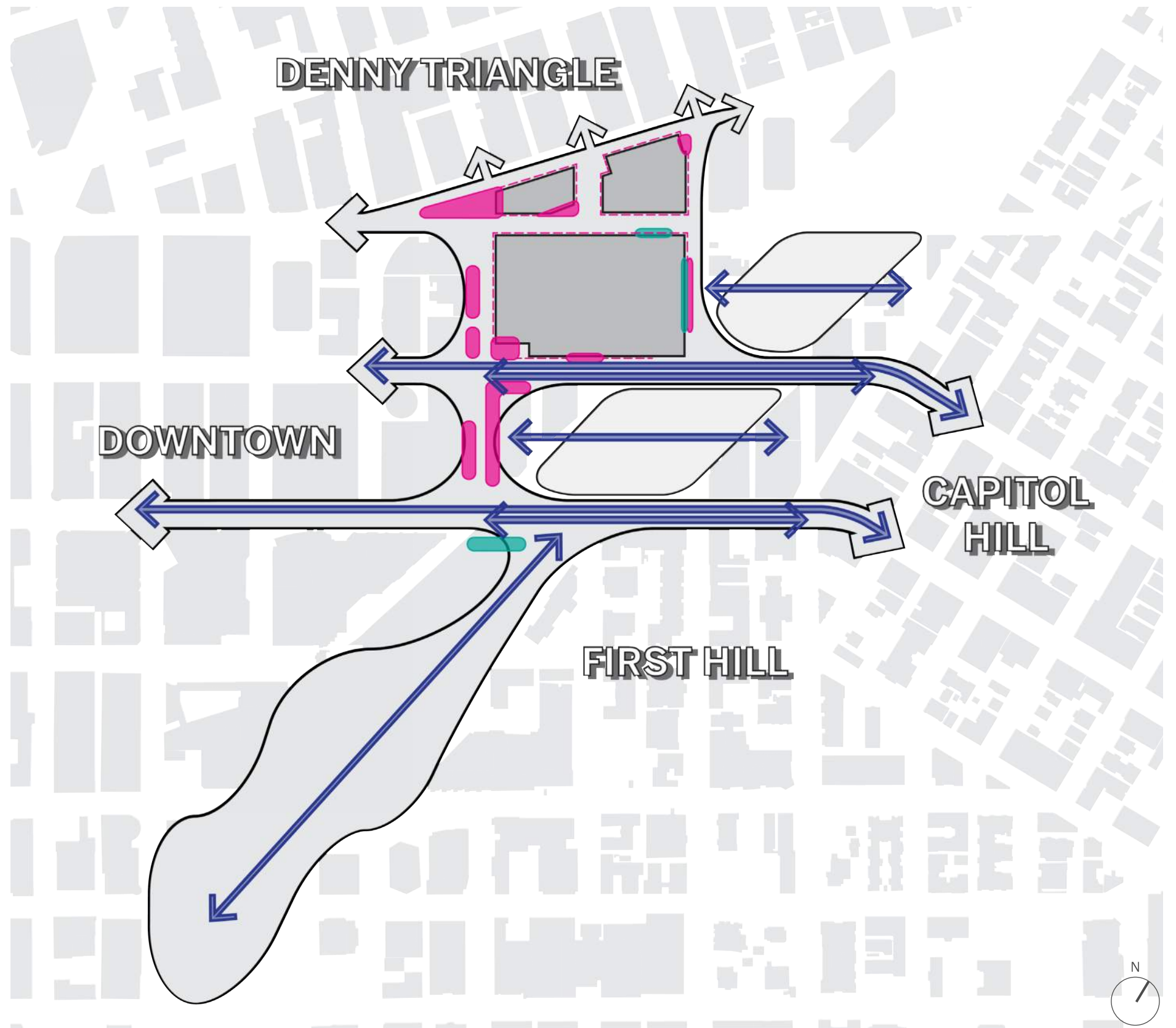
- Public Open Spaces & R.O.W. Improvements
- Historic Building Lighting
- Additional Improvements Beyond Code

Public Benefit Art

Funding Neighborhood Improvements

- Pike Pine Renaissance: Act 1 Funding
- Bicycle Master Plan Funding
- Lid I-5 Study Funding
- Freeway Park Association / Seattle Parks and Recreation Funding

Affordable Housing Funding

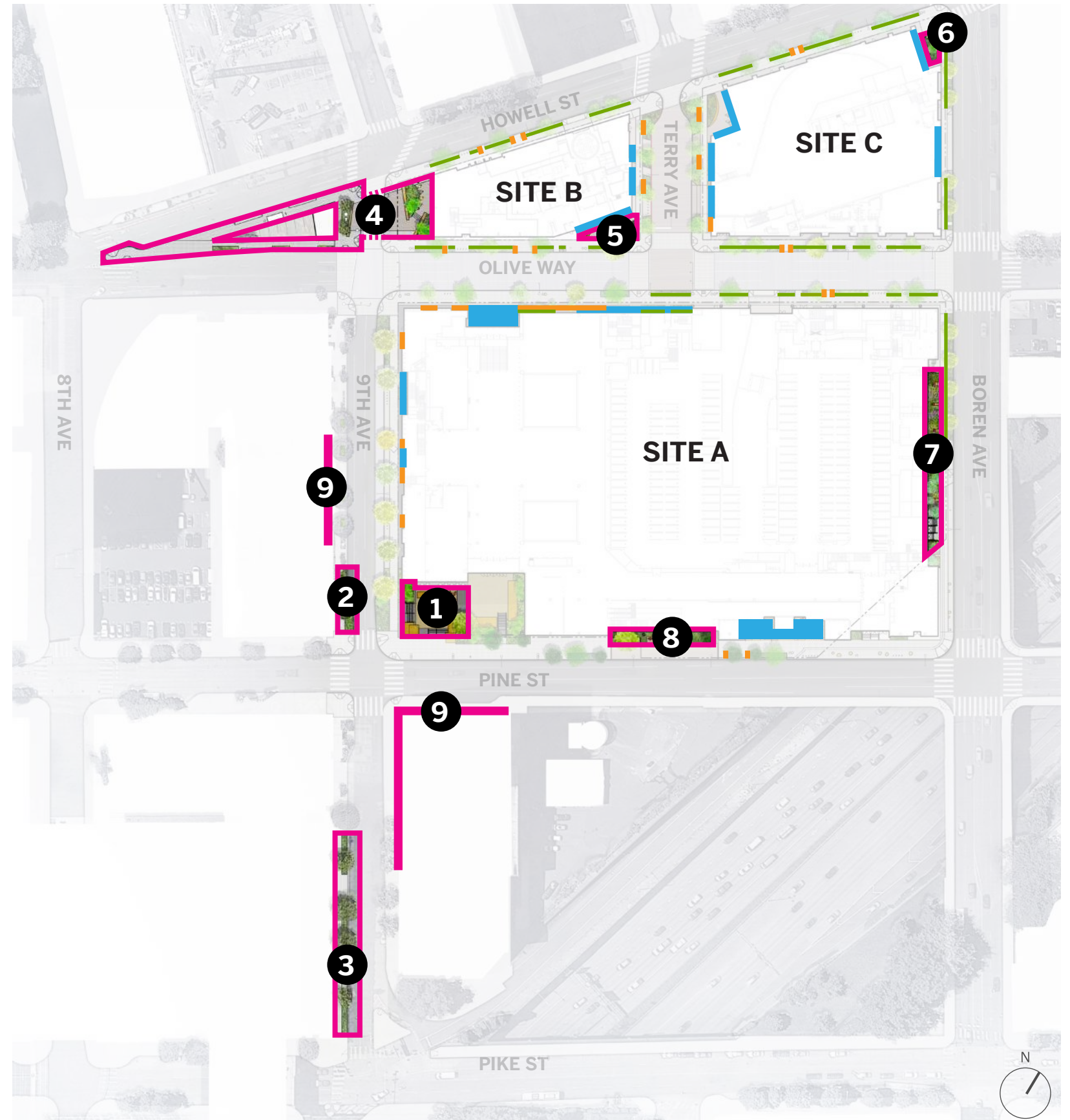


PHYSICAL PUBLIC BENEFITS

- 1** 9th & Pine Plaza
- 2** 9th Ave R.O.W. at Pine St
- 3** 9th Ave R.O.W. at Pike St
- 4** Flatiron Plaza and Olive Triangle R.O.W.
- 5** Terry Ave Green Street Plaza
- 6** Denny Triangle Corner Plaza
- 7** Boren Ave Garden
- 8** Pine St Sun Garden
- 9** Historic Building Lighting

Additional Improvements Beyond Code

-  Overhead Weather Protection
-  Seating
-  Planting



SDC FEEDBACK

SDC #10 - November 2, 2017

Public Open Spaces & R.O.W. Improvements

Off-site planting maintenance: Clarify long-term maintenance strategy for planting improvements

Terry Ave Green Street Plaza: Consider relocation or reorientation of retail entry door

Denny Triangle Corner Plaza: Consider acknowledging John T. Williams in this location

Boren Ave Garden: Clarify tree locations; elaborate on how plant selections will tolerate weather/light

Pine St Sun Garden: Consider alternate fixed seating; consider boosting platform-to-planting ratio

Funding Neighborhood Improvements

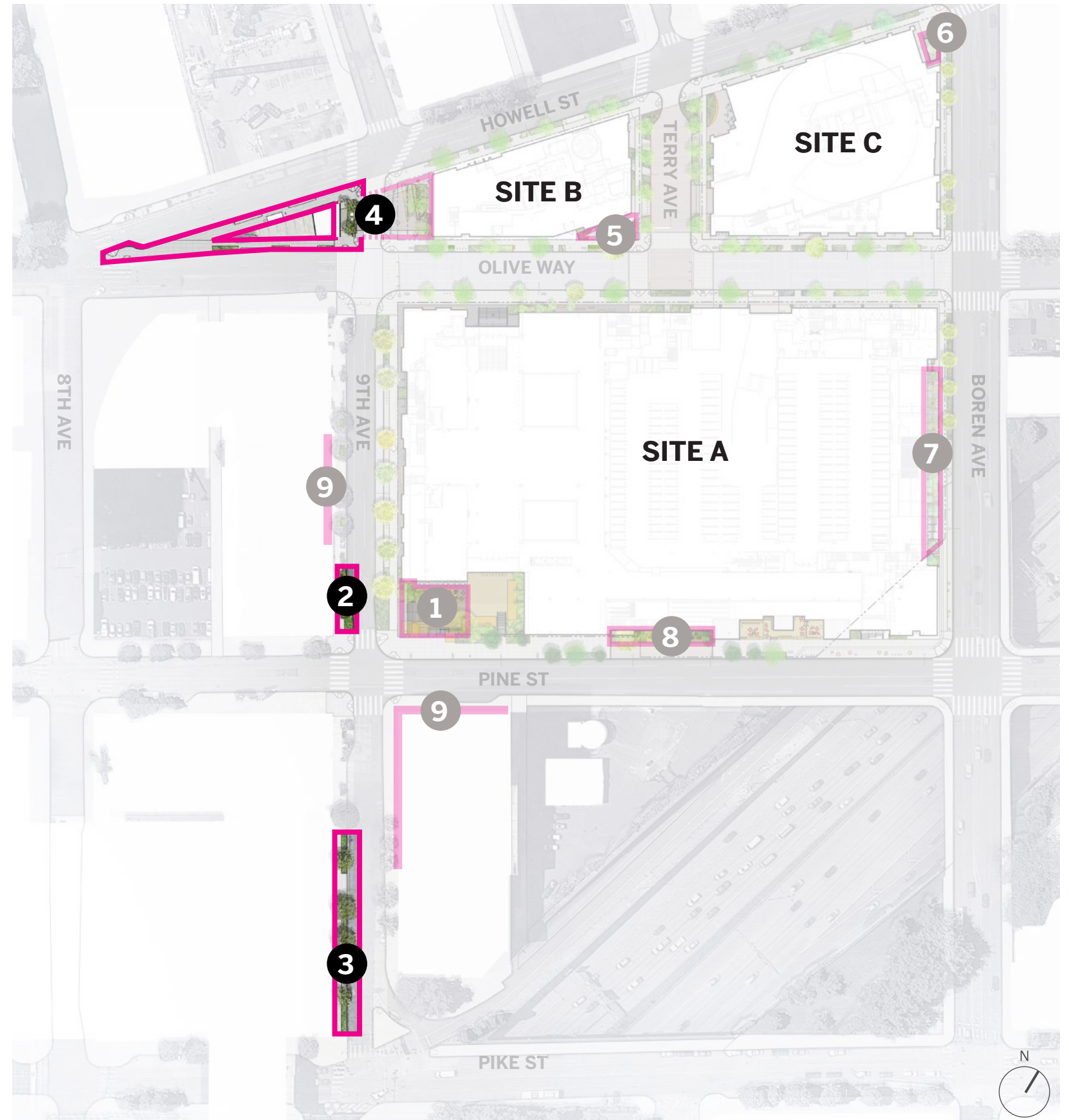
Pike Pine Renaissance - Act 1: Clarify how funds would be reallocated in the event of unsuccessful LID funding

Lid I-5 feasibility study: Clarify physical scope boundaries of the study

Freeway Park: Clarify how funds are allocated between SPR and non-SPR property

OFF-SITE PLANTING MAINTENANCE

- 1 9th & Pine Plaza
- 2 9th Ave R.O.W. at Pine St
- 3 9th Ave R.O.W. at Pike St
- 4 Olive Triangle R.O.W. and Flatiron Plaza
- 5 Terry Ave Green Street Plaza
- 6 Denny Triangle Corner Plaza
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- 9 Historic Building Lighting



OFF-SITE PLANTING MAINTENANCE

SDC 11/2/17 Feedback

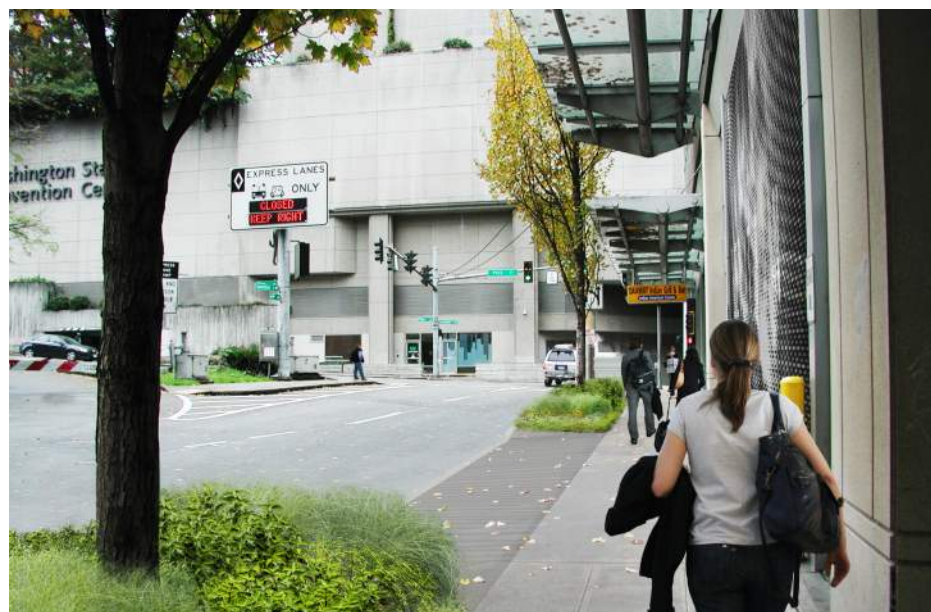
Clarify long-term maintenance strategy for planting improvements

Project Commitment to Long-term Maintenance

The WSCC will be responsible for maintaining all public benefit improvements. The public benefit improvements in the Olive Triangle and other ROW locations will be included in the Property Use and Development Agreement (PUDA) that gets executed and recorded. The PUDA will include a section on maintenance.



Olive Triangle R.O.W. improvements



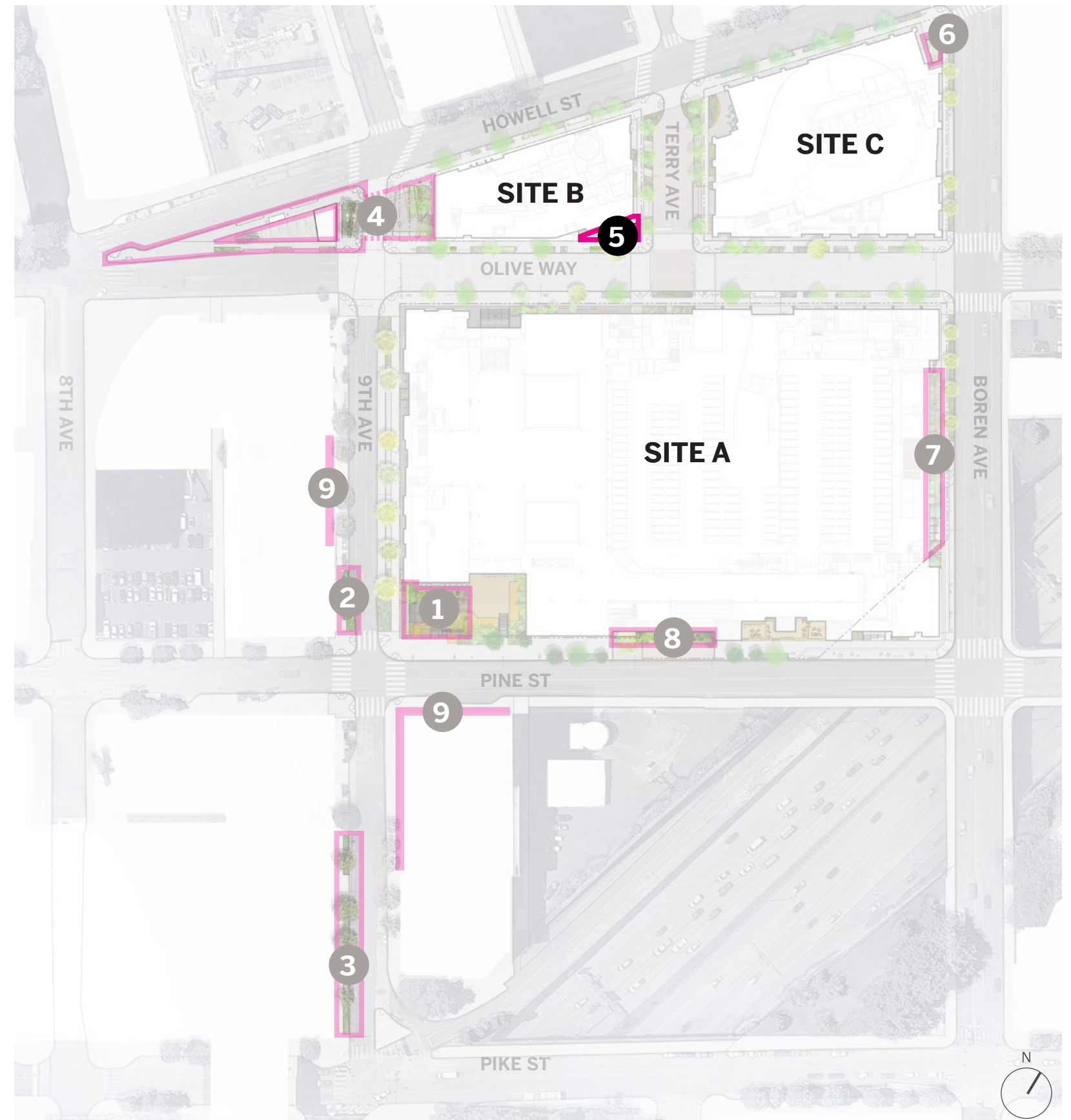
9th Ave R.O.W. improvements at Pike St



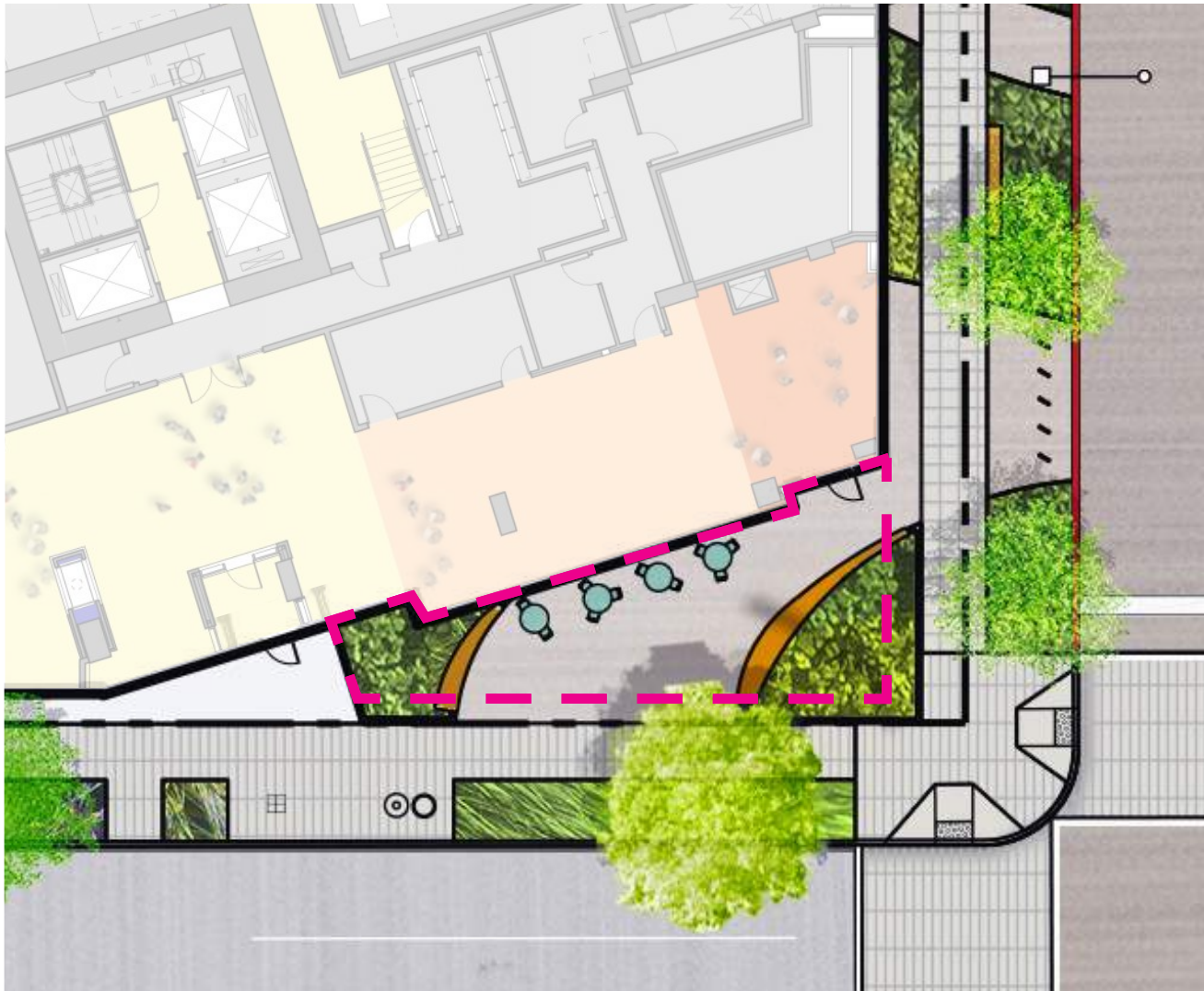
9th Ave R.O.W. improvements at Pine St

TERRY AVE PLAZA: DOOR CONFIGURATION

- 1 9th & Pine Plaza
- 2 9th Ave R.O.W. at Pine St
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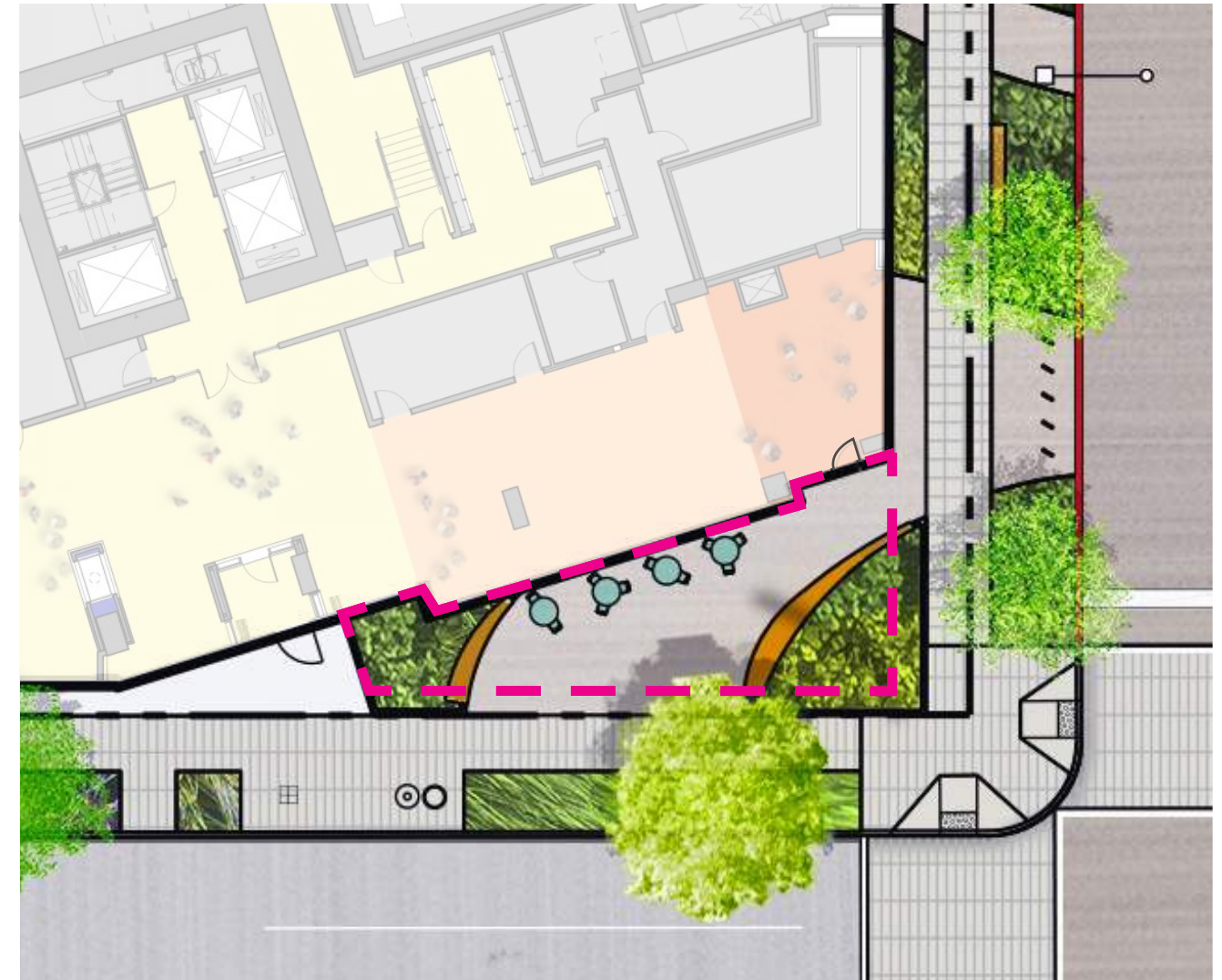
TERRY AVE PLAZA: DOOR CONFIGURATION



SDC 11/2/17 Feedback

Consider relocation or reorientation of retail entry door

 Voluntary setback area proposed as Public Benefit

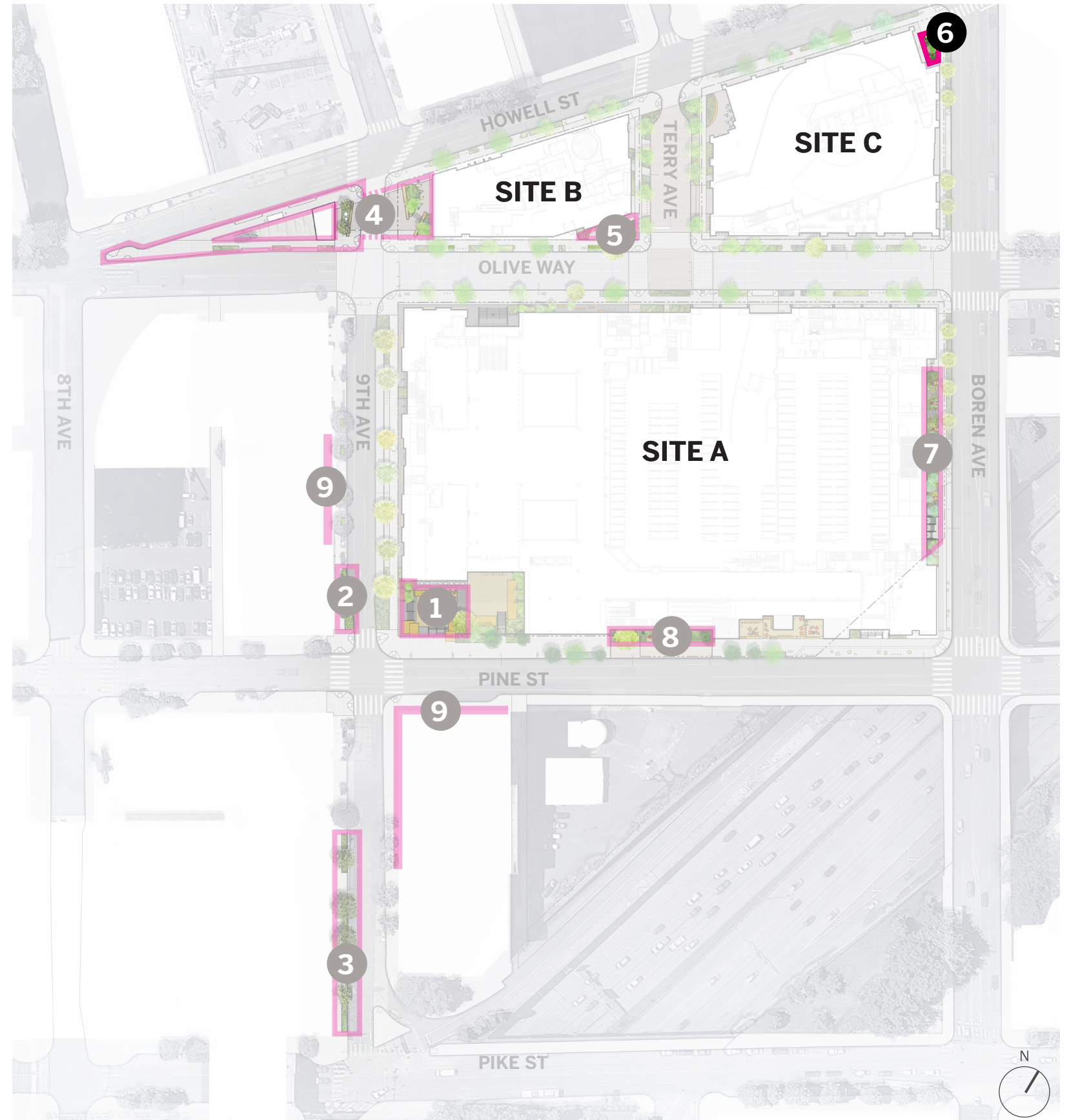


Current Plan & Design Response:

Retail entry door swings into building to improve plaza circulation

DENNY TRIANGLE CORNER PLAZA

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DENNY TRIANGLE CORNER PLAZA

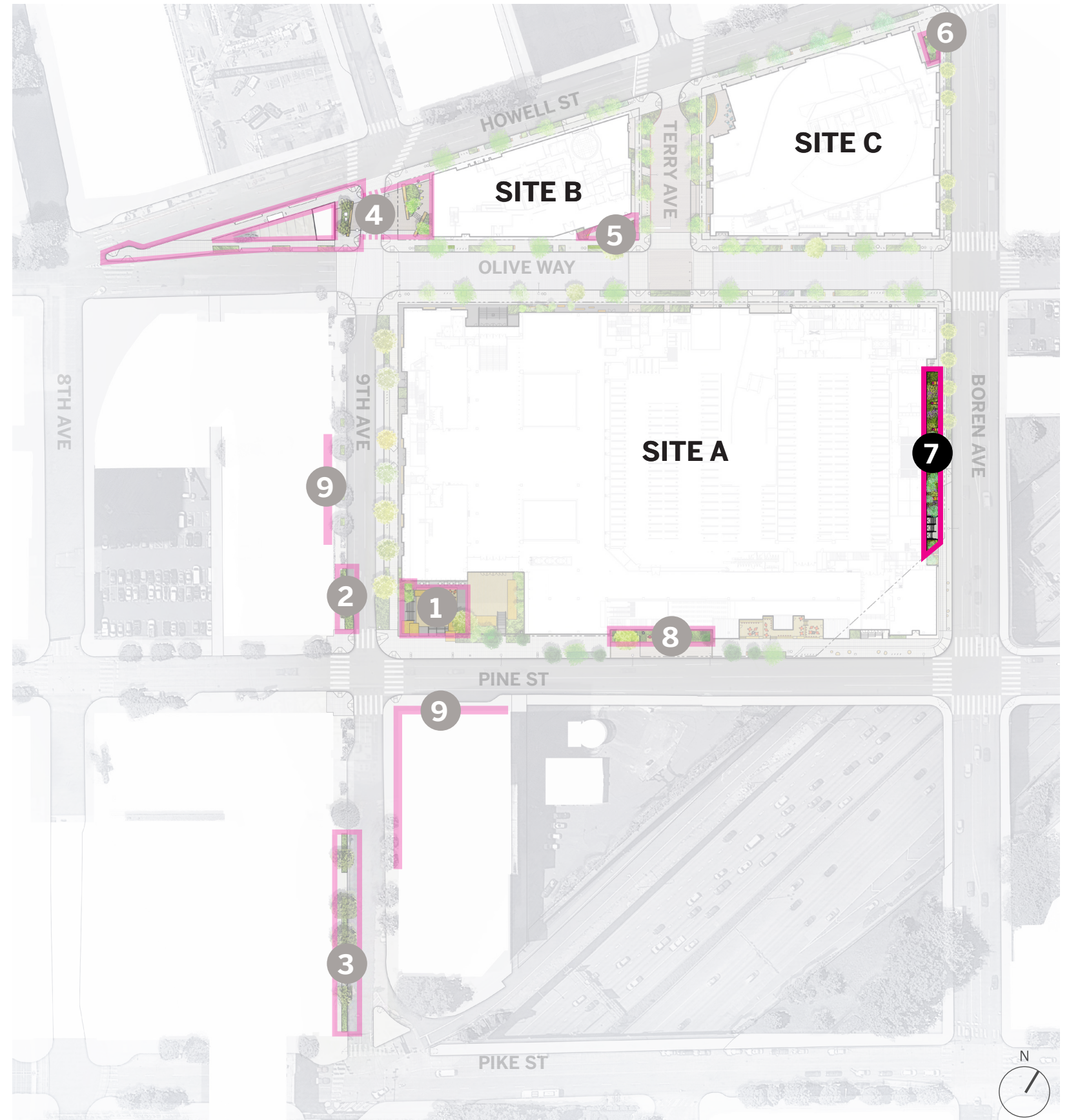
SDC 11/2/17 Feedback

Consider acknowledging John T. Williams in this location



BOREN AVE GARDEN - TREES & PLANTING

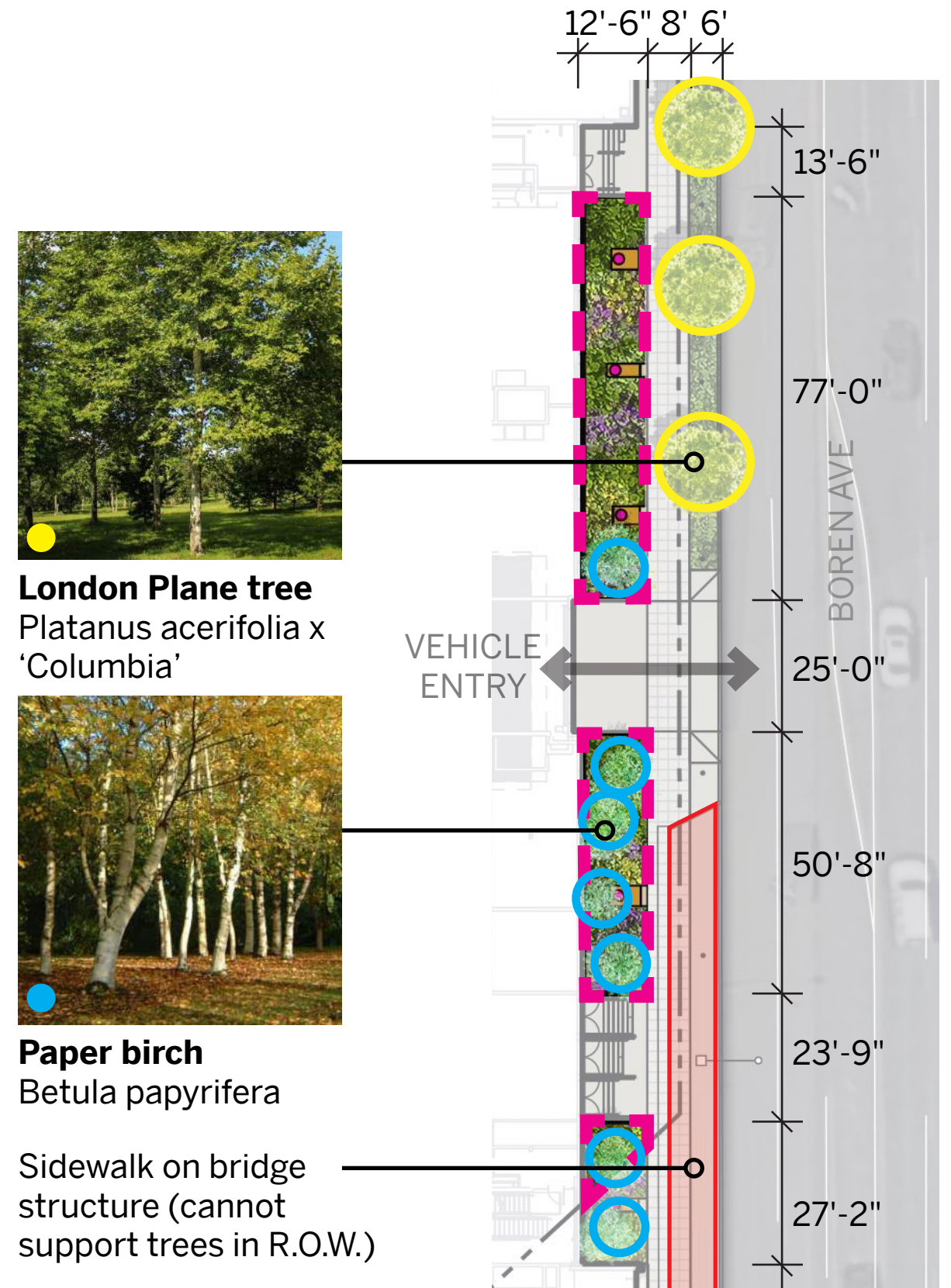
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BOREN AVENUE GARDEN - TREE LOCATIONS

SDC 11/2/17 Feedback

Clarify Boren Ave tree locations



BOREN AVENUE GARDEN - PLANTING

SDC 11/2/17 Feedback

Elaborate on how Boren Avenue Garden plant selections will tolerate weather/light



Salal
Gaultheria shallon



Dwarf Oregon grape
Mahonia nervosa



Western swordfern
Polystichum munitum



Blonde Ambition blue grama grass
Bouteloua gracilis 'Blonde Ambition'



Gold dew tufted hair grass
Deschampsia cespitosa 'Goldtau'



Sonoma Coast Yarrow
Achillea millefolium 'Sonoma Coast'



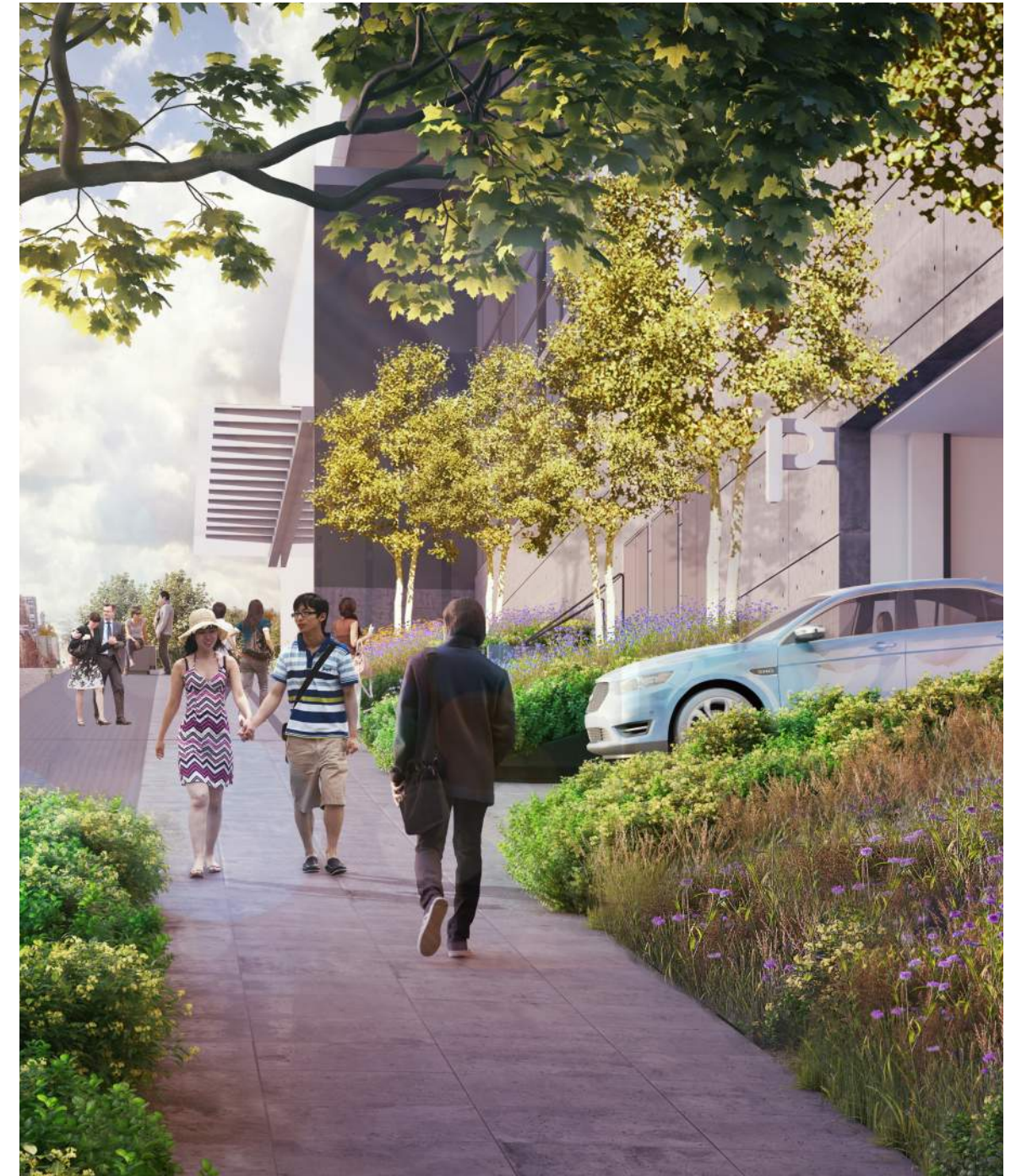
Smooth beggartick
Bidens laevis



Wayne Roderick daisy
Erigeron glaucus

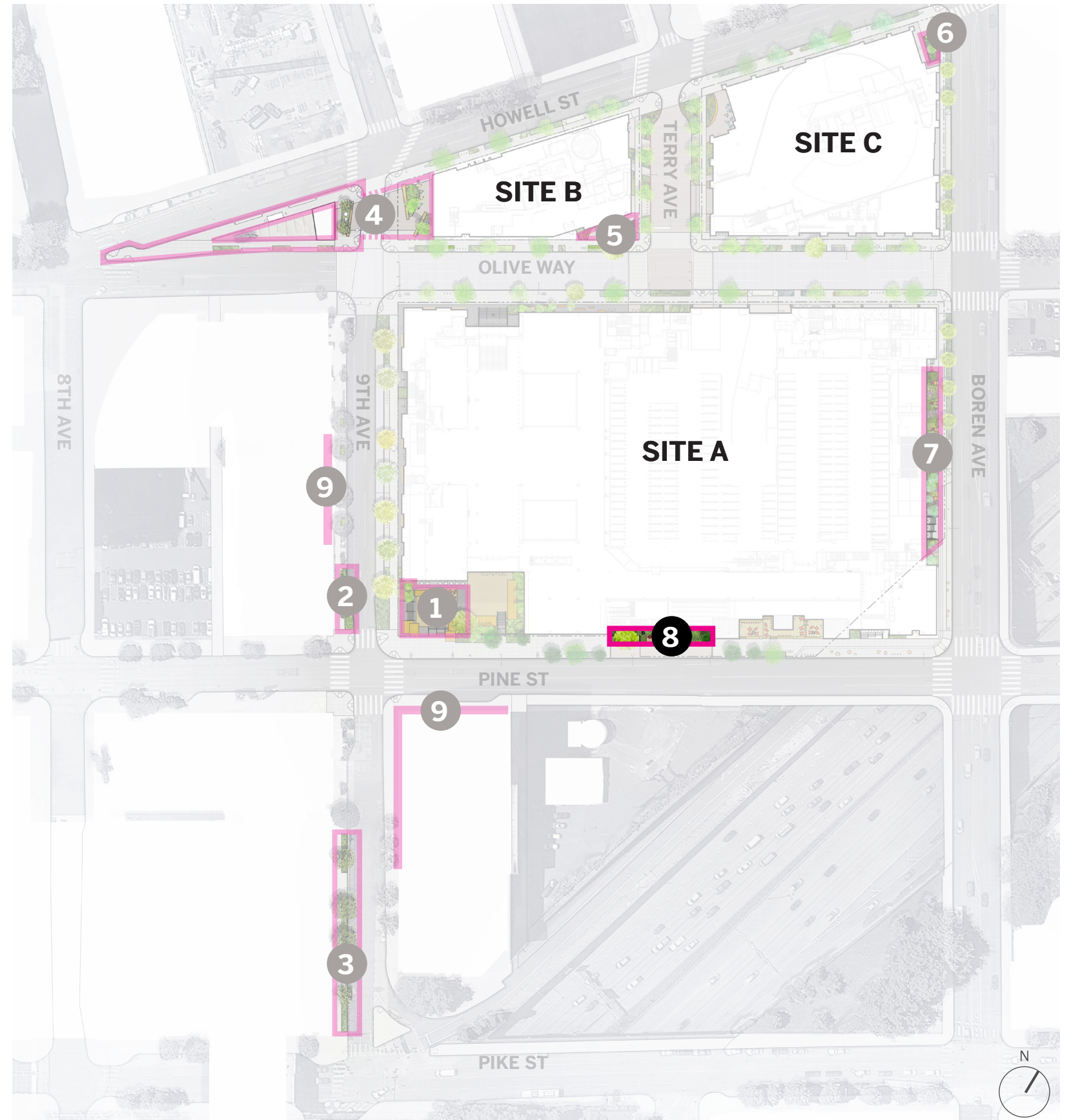


Purple Cedros Island verbena
Verbena lilacina 'De la Mina'



PINE ST SUN GARDEN - SEATING PLATFORM

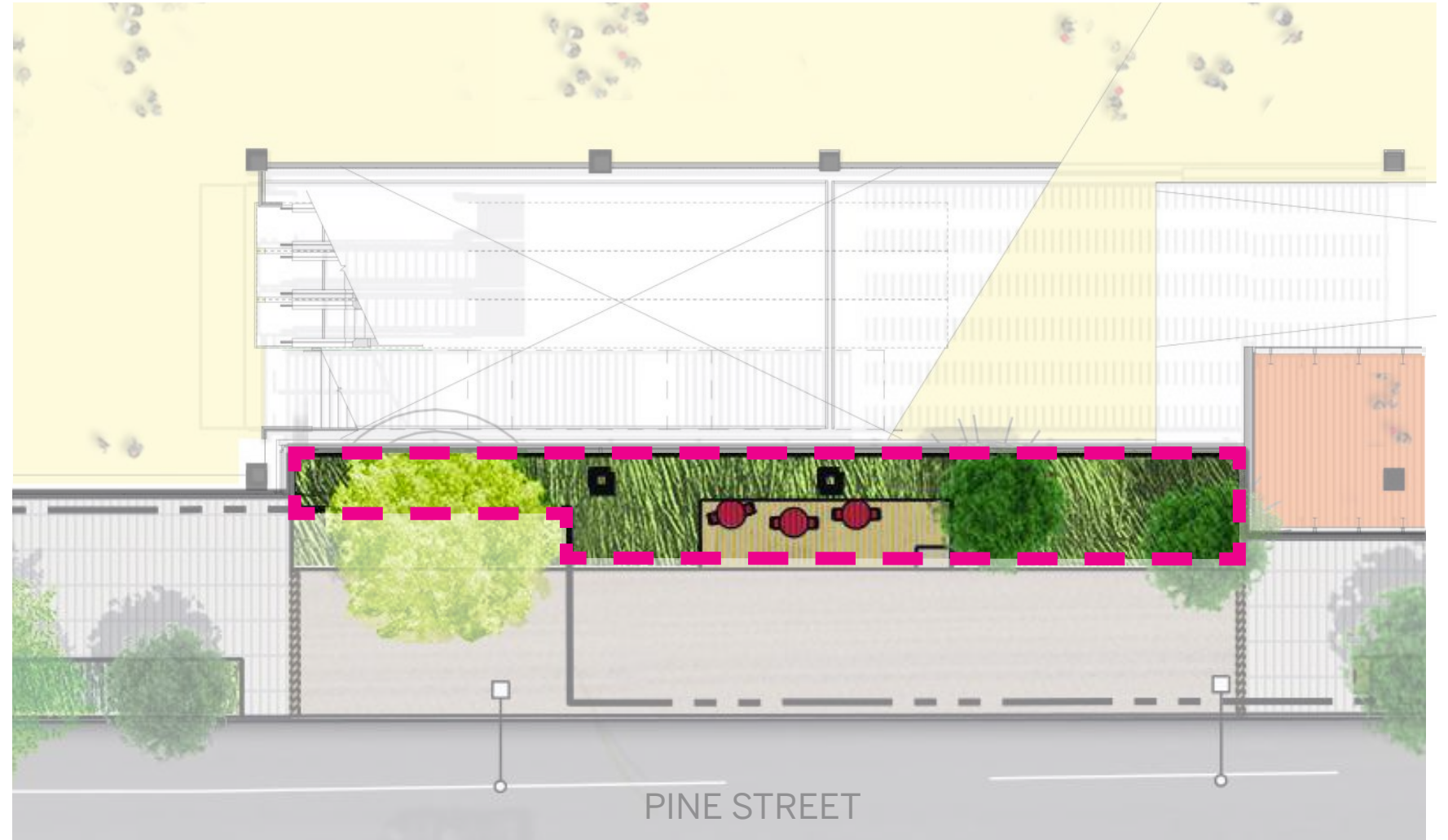
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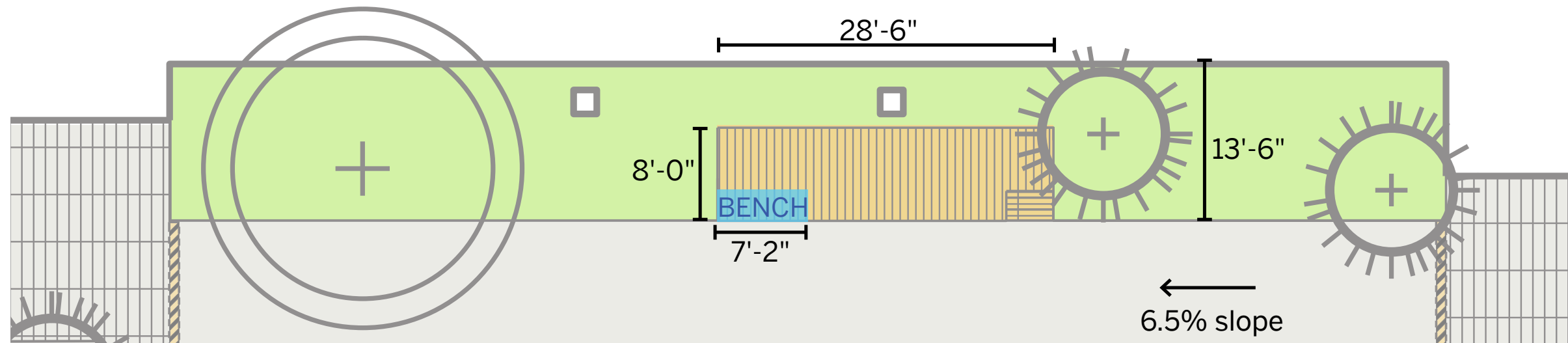
PINE ST SUN GARDEN - SEATING PLATFORM

11/2/17 SDC Feedback & Design

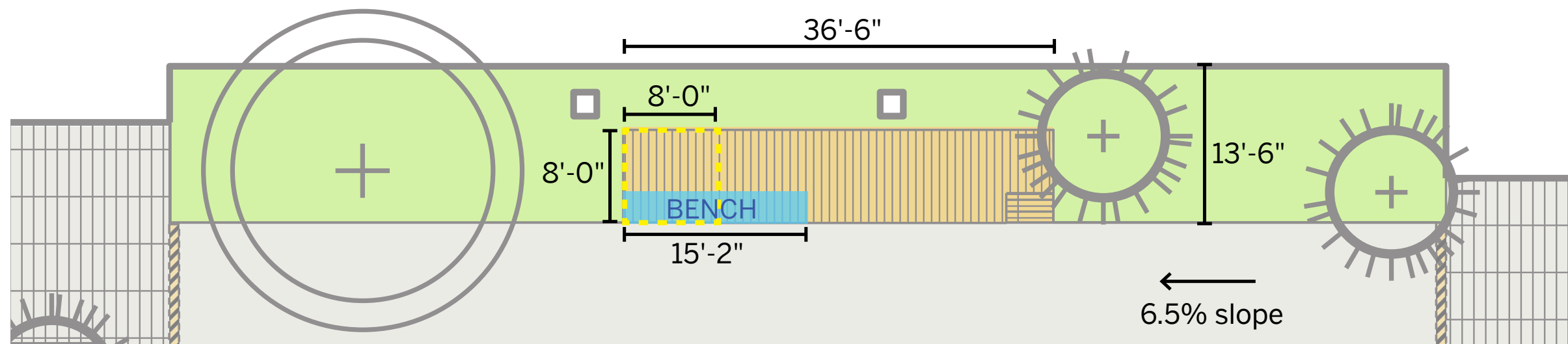
Consider alternate fixed seating; consider boosting platform-to-planting ratio



PINE ST SUN GARDEN - SEATING PLATFORM



11/2/17 Plan

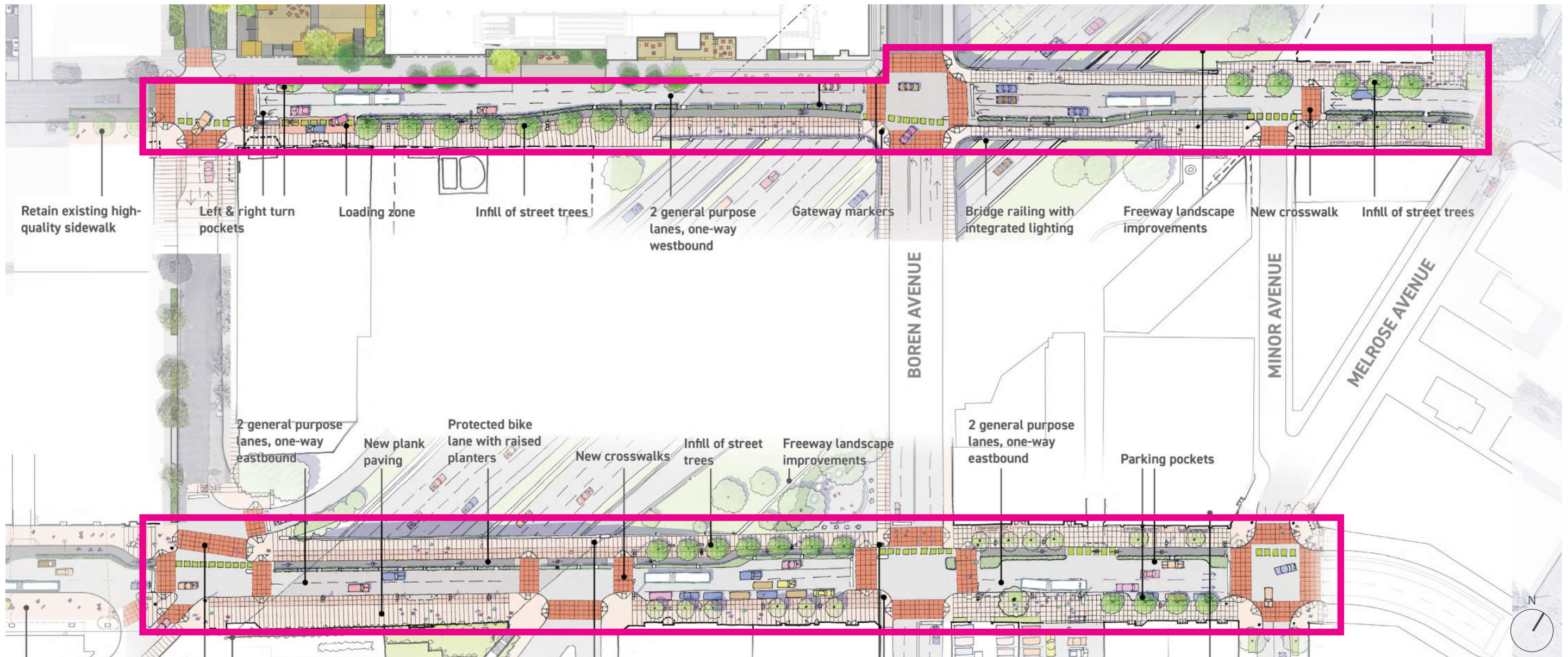


Current Plan & Design Response:

Extended the platform 8' to the west, resulting in an additional 64 SF of platform space, room for one additional table, and an additional 8' of bench height (14" to 24") seating along the edge of the platform

PIKE PINE RENAISSANCE: ACT 1 FUNDING

Presented to the Seattle Design Commission on October 19, 2017



Imagery Courtesy Pike Pine Renaissance Act 1

SDC 11/2/17 Feedback

Clarify how funds would be reallocated in the event of unsuccessful Waterfront LID funding

Project Commitment to Pike Pine Funding

If Waterfront LID funding unsuccessful, WSCC to maintain funding to Office of the Waterfront to proceed with improvements between 9th Avenue and Melrose Avenue.

LID I-5 STUDY FUNDING

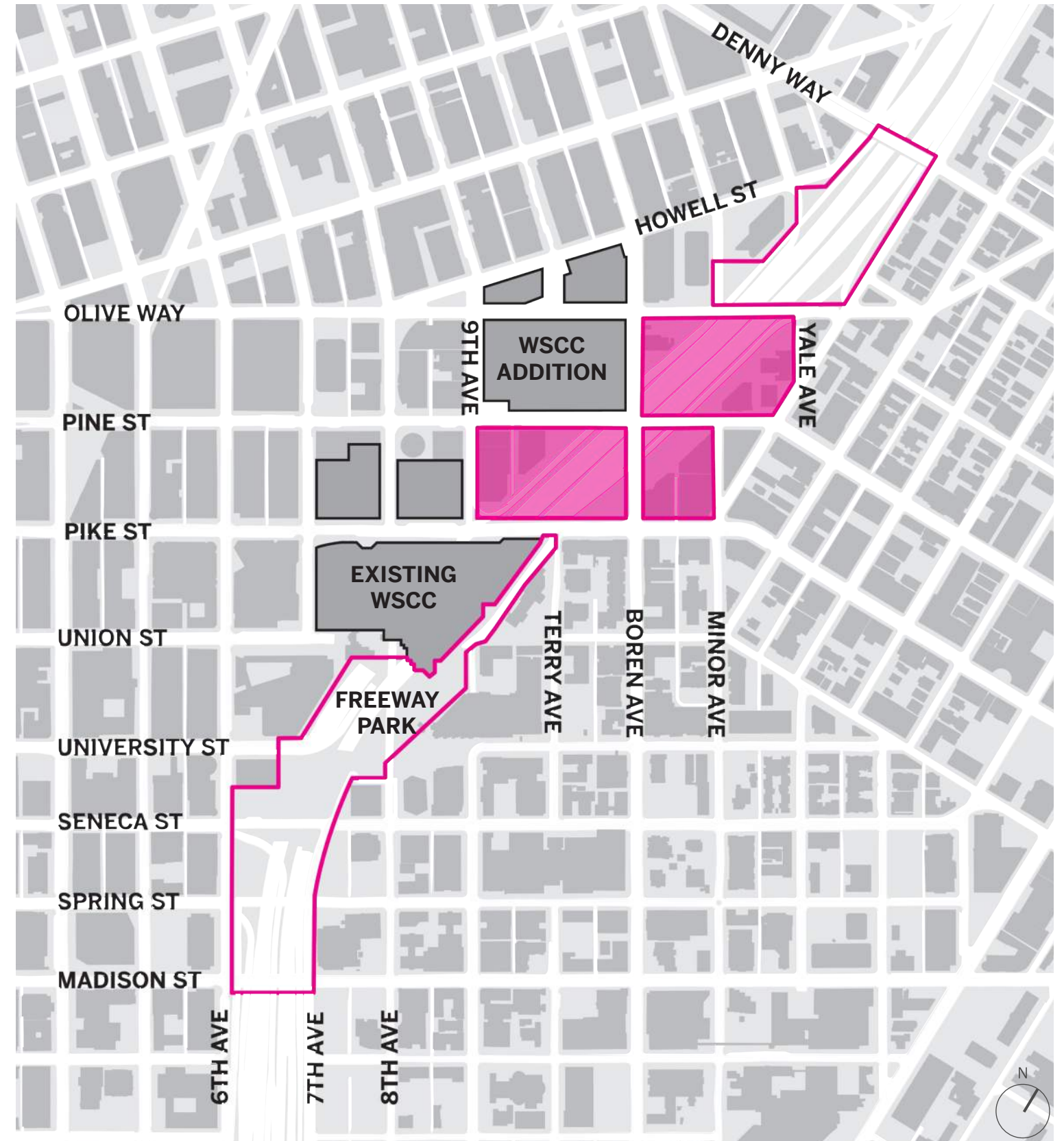
SDC 11/2/17 Feedback

Clarify physical scope boundaries of the study

Lid I-5 Study Scope

The core study area adjacent to the WSCC Addition development site is defined by Olive Way to the north, Pike Street to the south, Yale and Minor Avenues to the east, and Boren and Ninth Avenues to the west. The study shall also include segments within the WSCC's area of influence between Denny Way and Madison Street.

- Core Study Area
- Additional Study Area



FREEWAY PARK IMPROVEMENTS FUNDING

Presented to the Seattle Design Commission on October 5, 2017

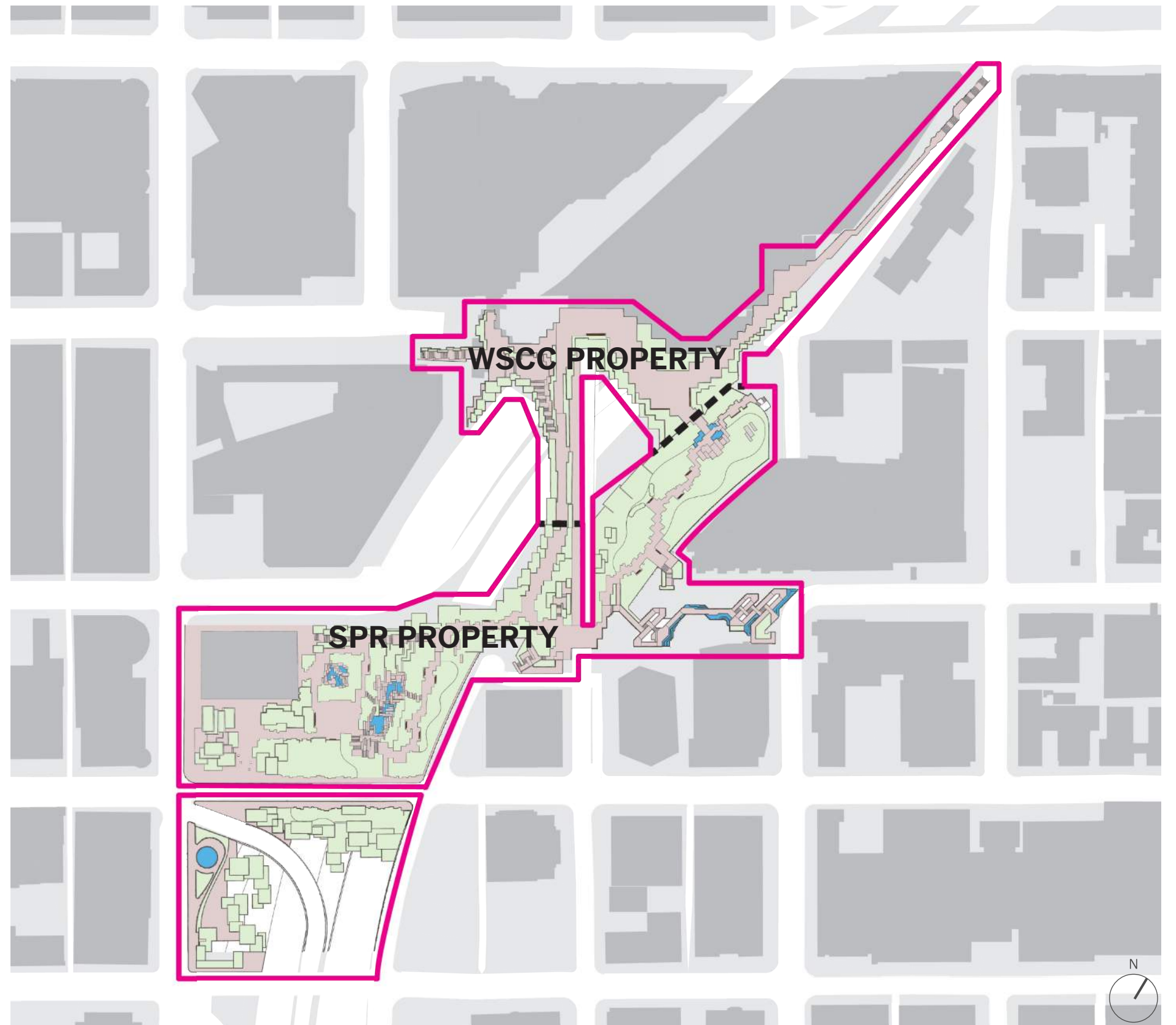
SDC 11/2/17 Feedback

Clarify how funds are allocated between SPR and non-SPR property

Seattle Parks & Recreation Funding

For most users of the park, there is no delineation for what is owned by SPR. The Freeway Park Proposal developed by the Freeway Park Association (FPA) and SPR creates a vision for the entire Freeway Park experience.

With that in mind, Seattle Parks & Recreation will receive all Freeway Park public benefits funding (\$10MM) to implement the consistent vision of the project without regard of property ownership.



PROPOSED WSCC PUBLIC BENEFIT FUNDING

PROJECT	AGENCY	AMOUNT	TIMING	IMPLEMENTATION	SDC REVIEW
AFFORDABLE HOUSING	Office of Housing	\$15MM	Structural building permit	By Office of Housing	No
PIKE PINE RENAISSANCE: ACT 1	Office of the Waterfront	\$10MM	Increments: from shoring building permit to June 2019 or Certificate of Occupancy	By Office of the Waterfront	Yes
BICYCLE MASTER PLAN	Seattle Department of Transportation	\$10MM	Increments: from shoring building permit to June 2019 or Certificate of Occupancy	By Seattle Department of Transportation	Yes
LID I-5 STUDY	Office of Planning and Community Development	\$1.5MM	Structural building permit	By Office of Planning and Community Development	Yes
FREEWAY PARK IMPROVEMENTS	Seattle Parks & Recreation	\$10MM	Increments: from structural building permit to June 2019 or Certificate of Occupancy	By Seattle Parks & Recreation	Yes

WSCC ADDITION ART FRAMEWORK

WSCC ART ADVISORS

Today

- Art Advisors have provided input into the vision and processes but don't feel sufficiently engaged in/knowledgeable about the project.
- Participation in the WSCC Addition Art Plan is a more significant time commitment than the Art Advisor role to date.

Winter 2017

- Reconstitute Art Advisor group with new charter, new members to provide public art experience, diversity and additional resources.
- Existing Art Advisors invited to join Addition team.

Winter 2018

- Art Advisor group reconstituted and engaged in Addition project
- Art Vision and processes confirmed

Spring 2018

- Public art calls/Urban Design Merit processes begin
- UDM artist selected; artworks begin development

Summer 2018

- Public Benefit Art concepts and artists selected; artworks are developed

Fall 2018

- Artworks finalized for approval

SDC ENGAGEMENT IN UPCOMING PROCESS

- SDC commissioner invited to join Art Advisors
- SDC commissioner(s) invited to join Public Benefit Artwork selection panels
- Review by SDC of public benefit and UDM artists and art concepts
- Second review by SDC of public benefit and UDM artworks prior to WSCC final approvals

OUTREACH & KEY TAKEAWAYS

WSCC Art Advisors (Meetings July 27, November 7, ongoing communications)

- Input into art vision
- Detailed input into processes for public benefits artworks call – composition of selection panels; continuity between panels; geography of call; assistance with outreach
- Relationships between UDM and public benefits artworks
- Specific comments/coaching regarding public benefits artworks – siting, maintenance, lighting
- Use of community resources

WSCC Board Art Committee (Meetings July 24, October 12, plus other communications)

- Input into and enthusiastic support for art vision
- Input into and support of processes for artist selections
- Specific comments/coaching regarding public benefits artworks

4Culture PAAC (Meeting July 20)

- Process for creating CPS artworks presentation, content generation, location
- Public call for creation of content

Public Call Partner (Proposal in process)

- Discussions under way with 4Culture regarding managing the Public Benefit Artwork processes. Additional discussions with Artist Trust.

WSCC Addition Art Vision

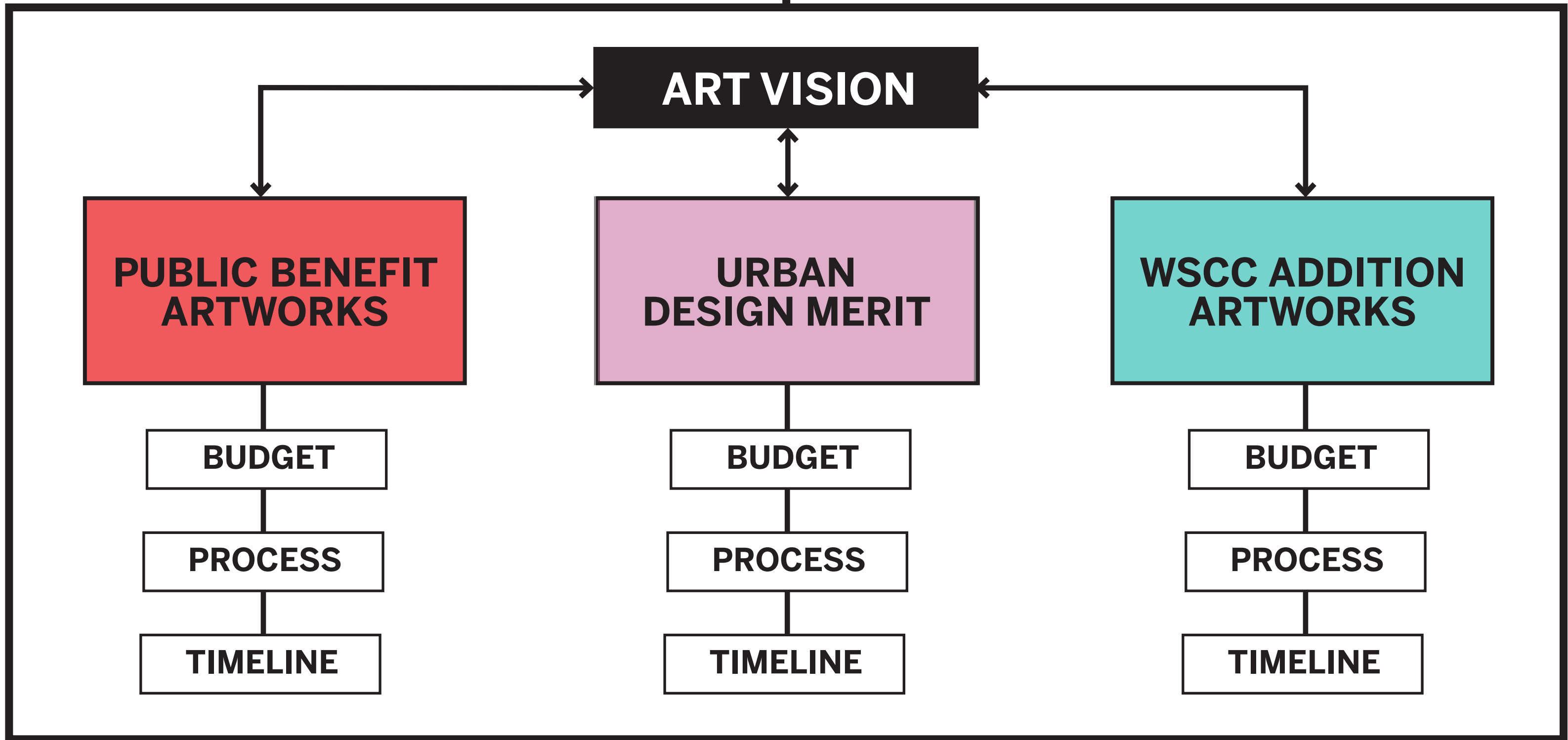
Drawing inspiration from the Pacific Northwest's diverse cultures and communities, the WSCC Addition art program will play a crucial role in creating a connective core in Seattle's downtown landscape.

Artists from the Pacific Northwest will share their interpretations of the character and essence of the region, from its natural beauty and innovative spirit to its shifting urban environments. Instead of a place where people pass through on their way to somewhere else, the Addition will be a dynamic hub where locals and visitors can pause, experience the best of the Northwest, exchange ideas and engage in conversations. The Addition art program will connect communities and neighborhoods and highlight the artistic vitality of this region.

SDC ART WORKSHOPS RESULTS

- Clarified WSCC Addition Art Vision, working with WSCC Art Advisors
- Explain proposal to meet SDC policy on public art for vacations with a Framework Plan
- Engaged WSCC Art Advisors, WSCC Board Art Committee, 4Culture on proposed art plans
- Engaging WSCC Art Advisors on an ongoing basis
- Outlined a clear process, timeline, and budget for Public Benefit Art, Urban Design Merit, and WSCC Addition Artworks
- Revised goals and scope of all three Public Benefit Artworks
- Expanded the timeline of the Urban Design Merit artworks collaborations
- Provided insight to WSCC Addition Artworks plans, opportunities and progress
- Clarified CPS Artworks Relocation and CPS Artworks Presentation scope

WSCC ADDITION ART FRAMEWORK



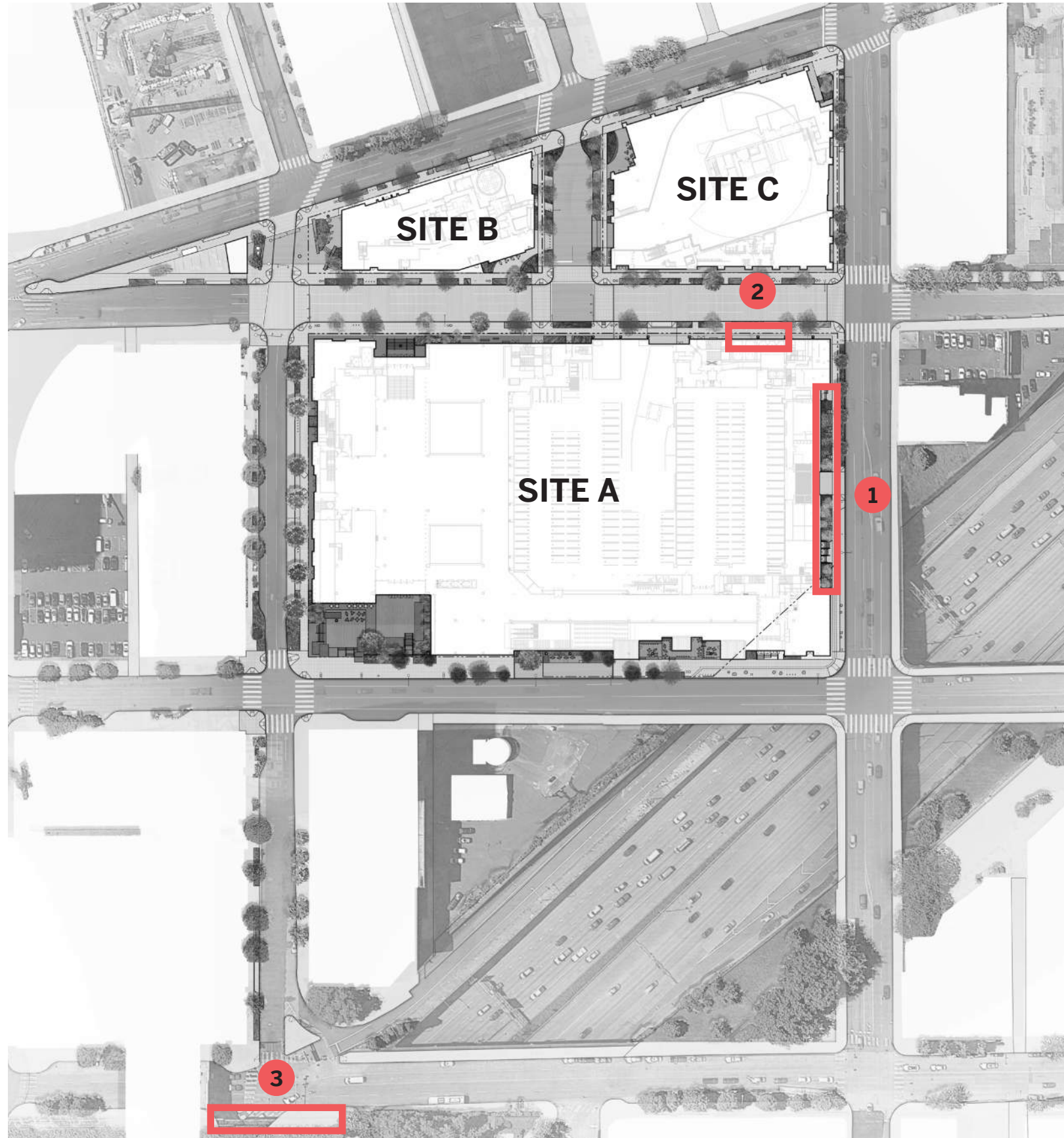
WSCC ADDITION ART FRAMEWORK BUDGETS

*All three categories of artworks fall under the umbrella of the WSCC Addition Art Vision

PUBLIC BENEFIT ARTWORKS	URBAN DESIGN MERIT	WSCC ADDITION ARTWORKS
Artwork Budget: \$1,850,000	Artwork Budget: Included in building construction budget	Artwork Budget: \$4,600,000
<div><div>\$600,000</div><div>Boren Avenue Sculptures</div></div> <div><div>\$1,000,000</div><div>9th Avenue + Pike Street Artwork</div></div> <div><div>\$250,000</div><div>Olive Way Artworks</div></div> <div>Budget includes artist fees, design, fabrication, materials, labor, transportation, insurance, installation, and lighting</div>	<div>Sites A, B, + C Garage Doors</div> <div>Site C Garage Wall Graphics</div> <div>Site C Glass Wall at Truck Ramp</div> <div>Budget includes artist and graphic design fees, design, fabrication, materials, labor, transportation, insurance, installation, and lighting</div>	<div><div>\$4,500,000</div><div>WSCC Addition Artworks</div></div> <div><div>\$100,000</div><div>CPS Art Presentation</div></div> <div>Budget includes artist fees, design, fabrication, materials, labor, transportation, insurance, installation, casework, and lighting</div>
<div>Other Budgets:</div> <div>Honoraria</div> <div>Dedicated Maintenance</div>	<div>Other Budgets:</div> <div>Dedicated Maintenance</div>	<div>Other Budgets:</div> <div>Dedicated Maintenance</div> <div>Operations</div>

PUBLIC BENEFIT ARTWORKS

LOCATIONS - Public Benefit Artworks



1

Boren Avenue Sculptures

2

Olive Way Artwork

3

9th Avenue + Pike Street Artwork

Request for SDC to Accept Public Benefit Art Framework in Lieu of Completed Artworks

Rationale:

- Desire to execute a robust open call process targeting emerging, mid-career, established and culturally diverse artists to apply

Consistency with SDC policies and desires:

- SDC art policies included in artist calls
- Artist proposals evaluated against SDC policies, among other guiding principles
- Scope, criteria, opportunities related to each artwork revised through SDC Art Workshops feedback
- Processes refined through SDC Art Workshops feedback

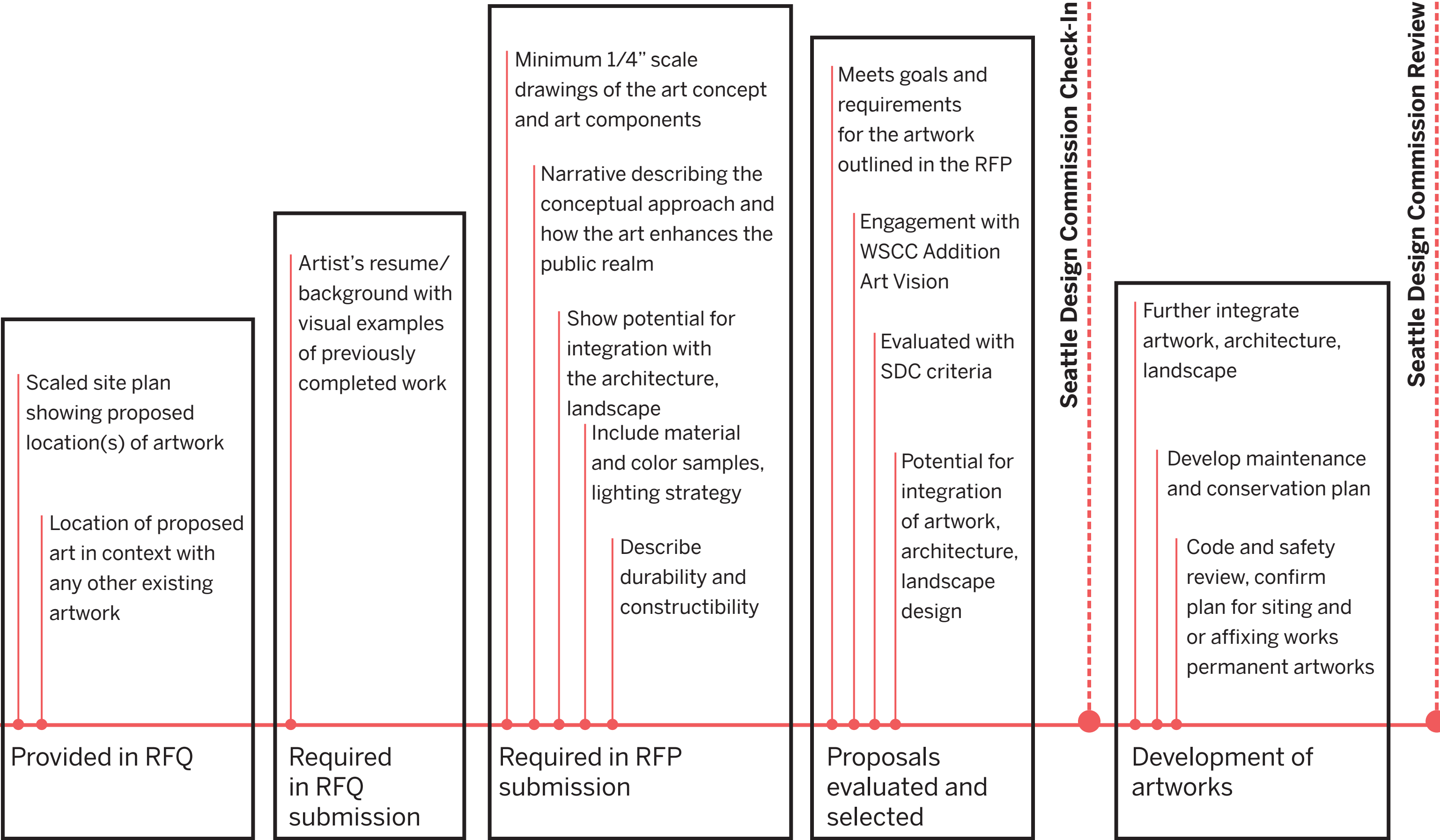
Integrating SDC in key processes/decision points:

- SDC commissioner invited to join Art Advisors
- SDC commissioner(s) invited to join public benefit artwork selection panels
- Review by SDC of public benefit and UDM artists and art concepts
- Second review by SDC of public benefit and UDM artworks prior to WSCC final approvals

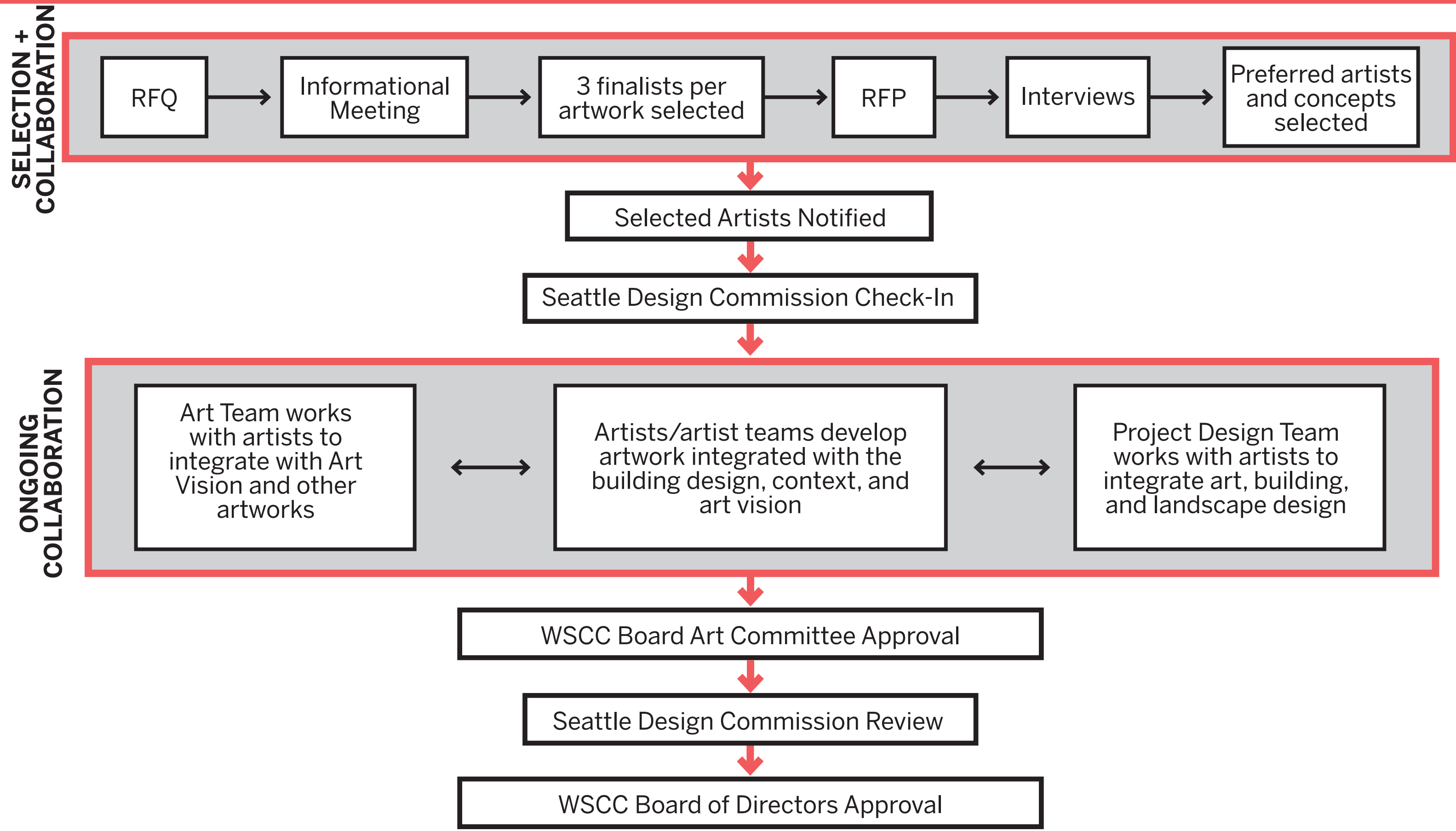
SDC Policy Modification

- SDC can modify the art policy guidelines
- Framework approach used for Arena and 2+U projects

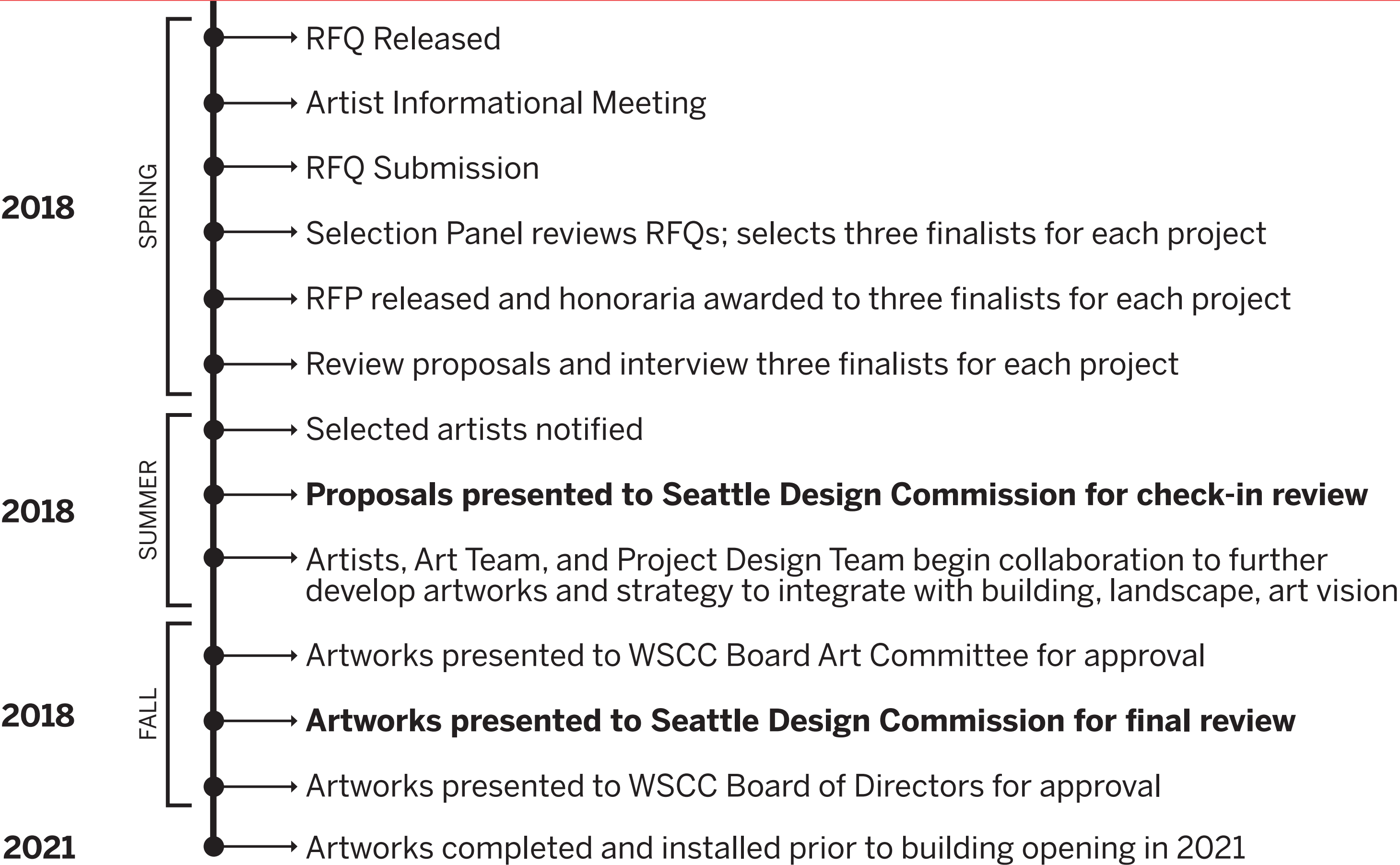
TIMELINE - Satisfying SDC Policies for Public Benefit Art



PROCESS FLOW CHART - Public Benefit Artworks



PROCESS TIMELINE - Public Benefit Artworks



SELECTION PANELS - Public Benefit Artworks

Selection Panels for each artwork will include:

- Project Art Advisor
- Collaborating Artist
- WSCC Art Advisors
- 1 WSCC Board Art Committee member
- 1 Project Architect
- Art professionals from the community
- SDC Member

Project Art Advisor

Margery Aronson, Independent Curator /
Professional Art Advisor

Collaborating Artist

Cathy McClure, Visual Artist

WSCC Art Advisors (Current)

Greg Bell, Senior Curator, Vulcan Inc.
Heather Dwyer, Program Manager, 4Culture
Vicki Halper, Independent Curator
Blake Haygood, Acting Curator & Collections Manager, OAC
Janae Huber, Collections Manager, Arts in Public Spaces, ArtsWA
Jim McDonald, Independent Consultant
Tim Purtill, Owner, Atomic Art Services Inc.
Tracey Wickersham, Director of Cultural Tourism, Visit Seattle

WSCC Board Art Committee

Susana Gonzalez-Murillo, Chair
Nicole Grant
Denise Moriguchi

BOREN AVENUE SCULPTURES SITE



Seating design and lighting
elements to be incorporated into
the garden in coordination with
the selected artist and artwork(s).

BOREN AVENUE SCULPTURES

Opportunities

- Artist/artist team will collaborate with project designers and landscape architects to integrate artworks, seating and lighting elements within the garden.
- Artworks to be located within a 12'6" by 158' setback along Boren Avenue.

Goals

- Change the dynamic of Boren Avenue between Olive Way and Pine Street by integrating an art experience into a vehicular-heavy and steep pedestrian corridor. Invite the public to both seek and discover art integrated into landscaped spaces that spatially mark a unique urban art experience while offering respite within the city.
- Embrace the WSCC Addition Art Vision.

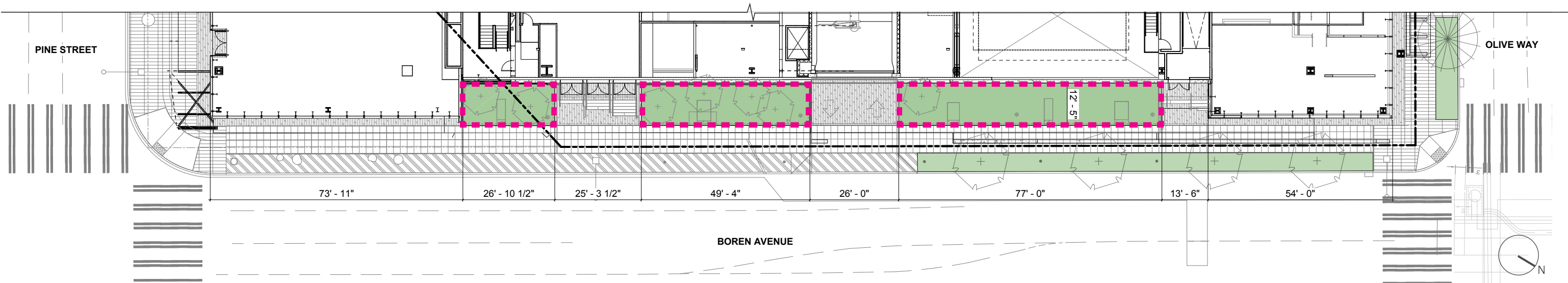
Details

- Artworks should be made of long lasting, low-maintenance materials suitable for the outdoors.
- Artworks may be abstract or representational.
- The scale of the artworks should appeal to those seated by the sculptures, to pedestrians walking by and to drivers on Boren Avenue.
- The selected artist/artist team will work with project managers to ensure that the artworks are engineered in accordance with all relevant regulations and/or codes.

BOREN AVENUE SCULPTURES SITE



BOREN AVENUE ELEVATION



BOREN AVENUE SITE PLAN

OLIVE WAY ARTWORKS SITE



Opportunities

- At the east end of Olive Way, five glass vitrines project from the building façade, each aligned with an interior elevator shaft. The motion of the elevators will be visible running behind these vitrines, and in windows high above, throughout the day and night. Special lighting will be integrated to each elevator cab to express its position and vertical movement within the building.
- This artwork has the opportunity to engage with both the elevator motion within the building, and the activity of the busy Olive Way streetscape.

Goals

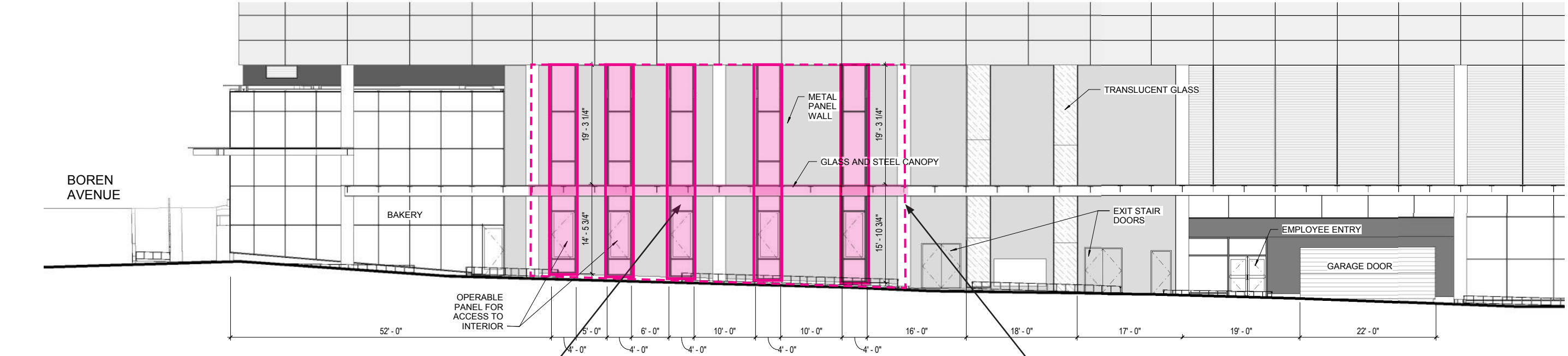
- Integrate art with building function and architecture in a harmonious way to create visual interest in a busy streetscape, activating an area horizontally and vertically, enhancing the pedestrian experience.
- Embrace the WSCC Addition Art Vision.

Details

- The site includes 5 glass vitrines, each of which measures 35' x 4' x 2' 6".
- While the primary artwork location is within the glass vitrines, extension of the artwork expression to the adjacent areas within the highlighted boundary will be considered. Detailing modifications to the canopy will also be considered to accommodate artwork visibility.
- Artworks may be abstract or representational.
- The artworks must be made of any material with high standards of durability suitable for this location and designed to address safety issues.
- The selected artist/artist team will work with project managers to ensure that the artworks are engineered in accordance with all relevant regulations and/or codes.

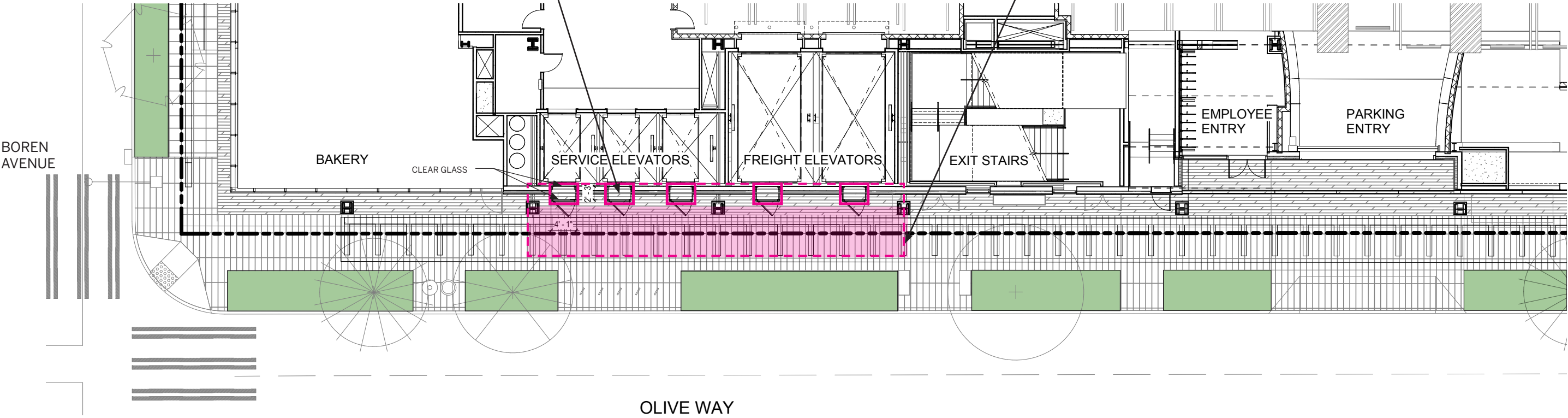
OLIVE WAY ARTWORKS SITE

OLIVE WAY ELEVATION



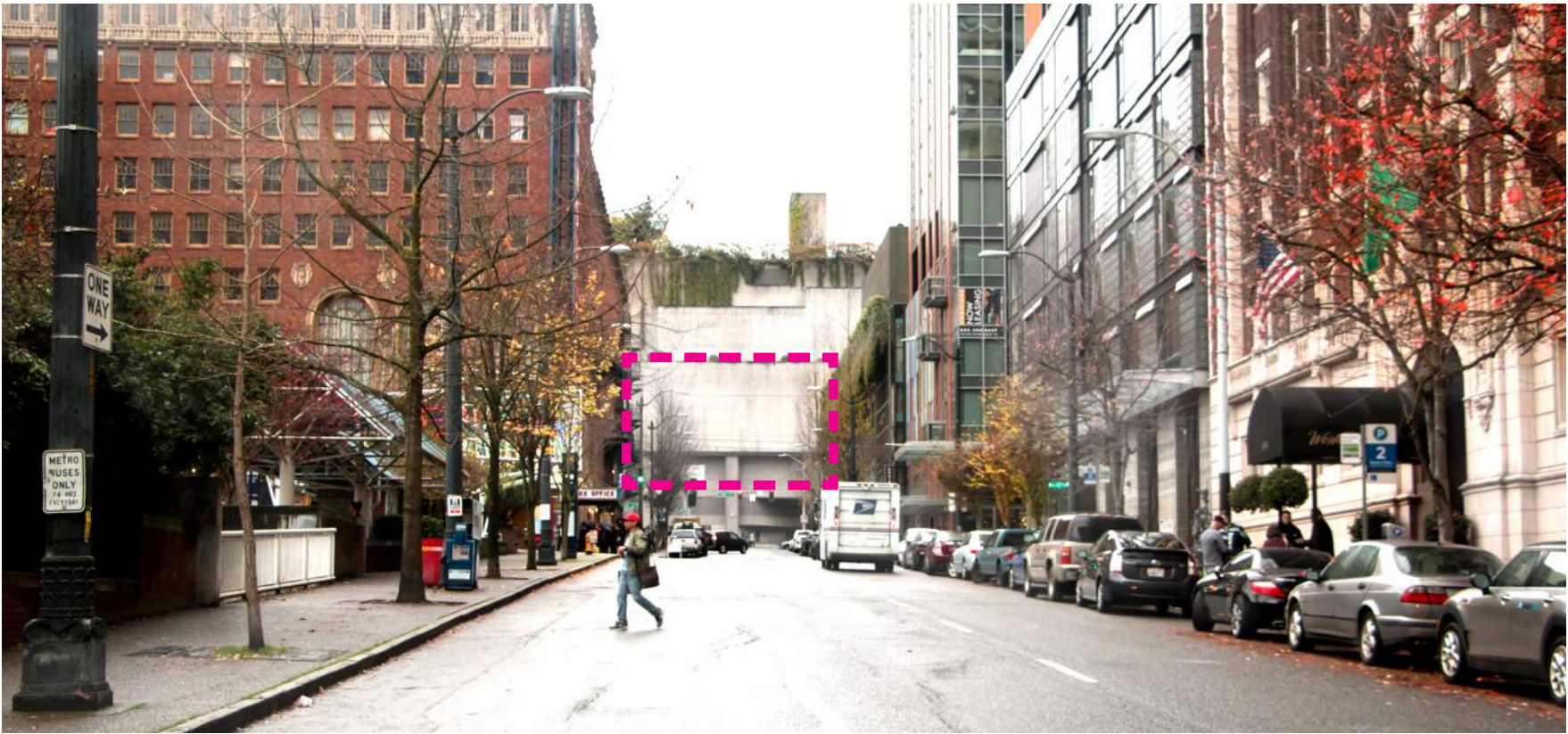
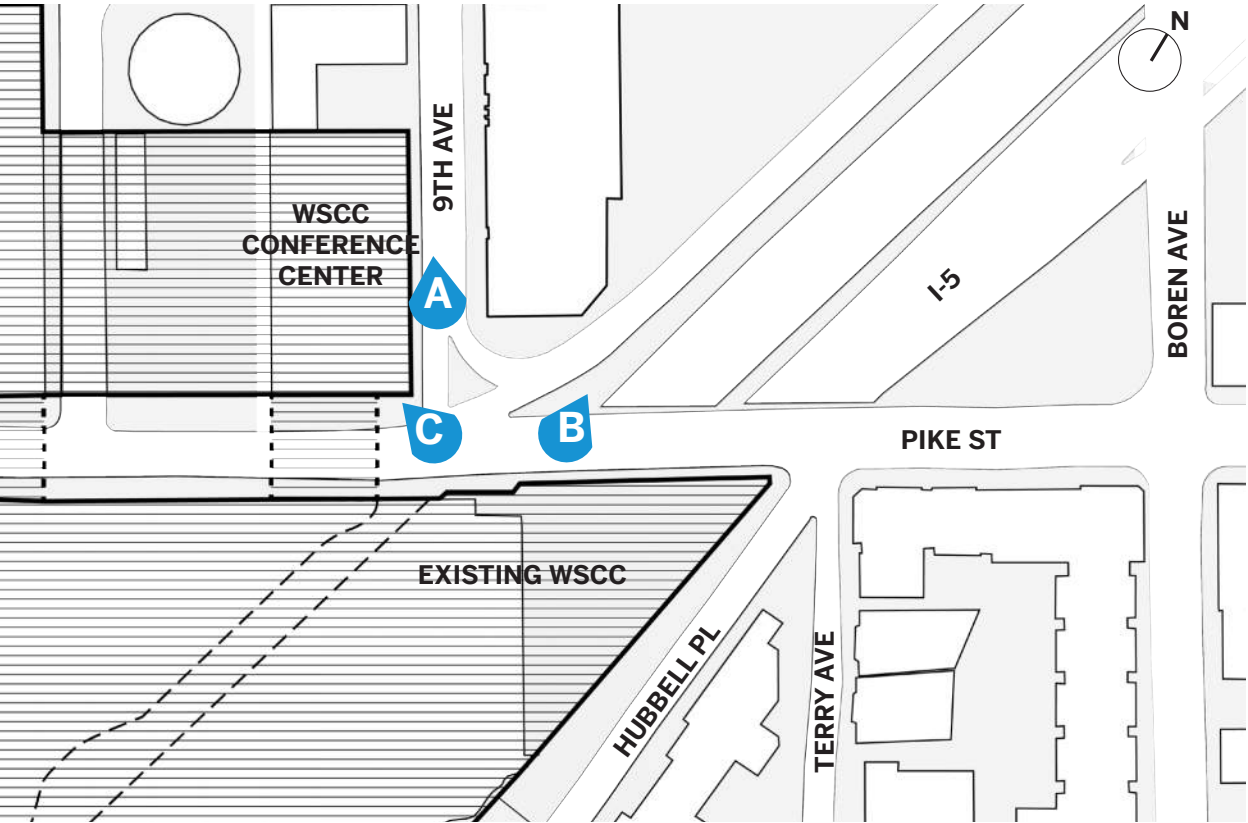
GLASS VITRINES - PRIMARY LOCATION FOR ART

AREA IN WHICH CONCEPT EXTENSION WILL BE CONSIDERED

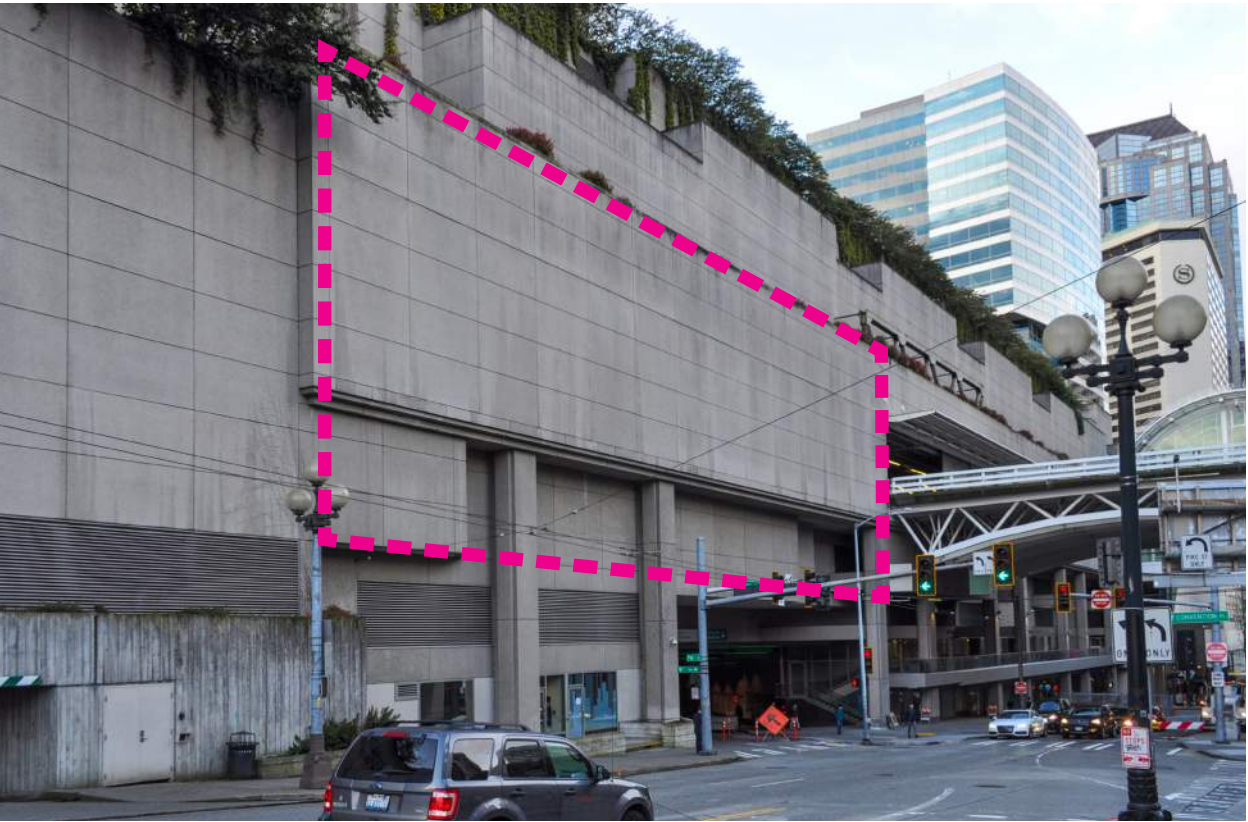


OLIVE WAY SITE PLAN

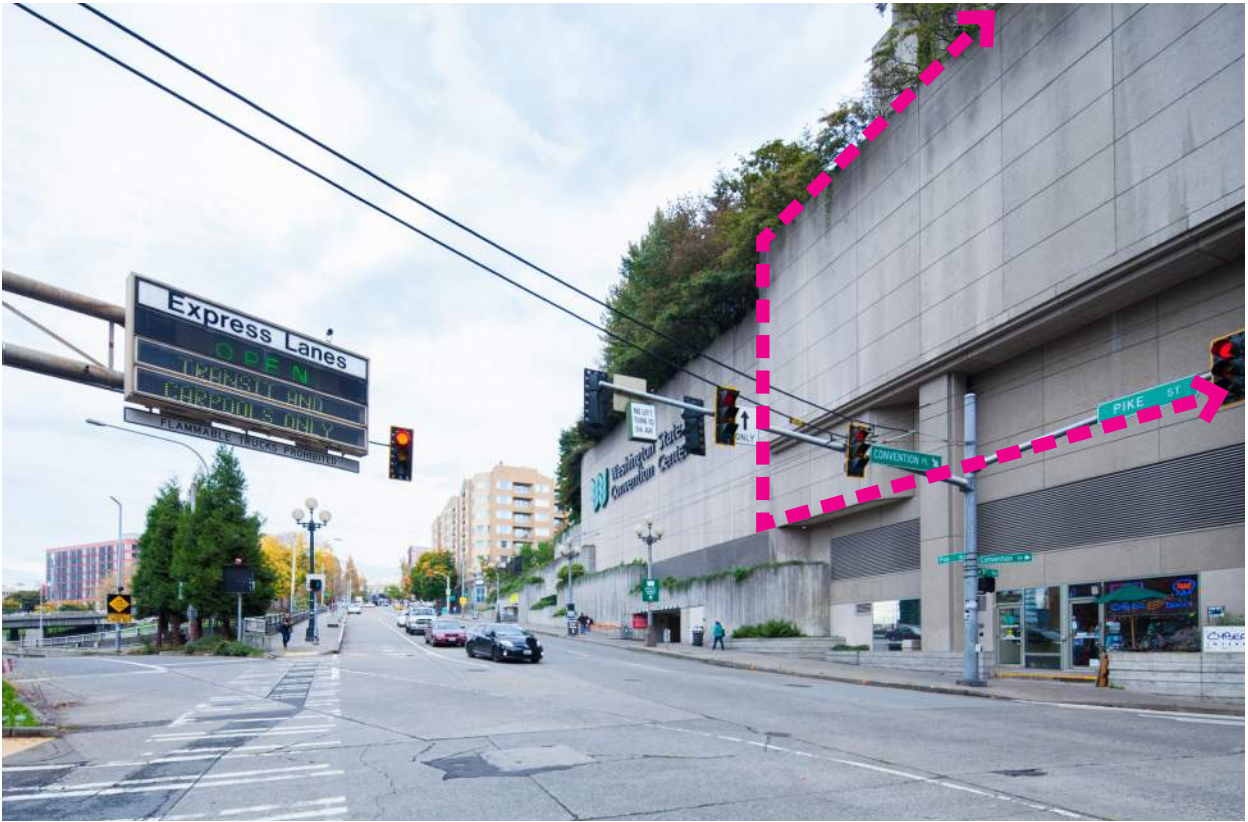
9TH AVENUE + PIKE STREET ARTWORK EXISTING CONDITION



A VIEW FROM NINTH AVENUE

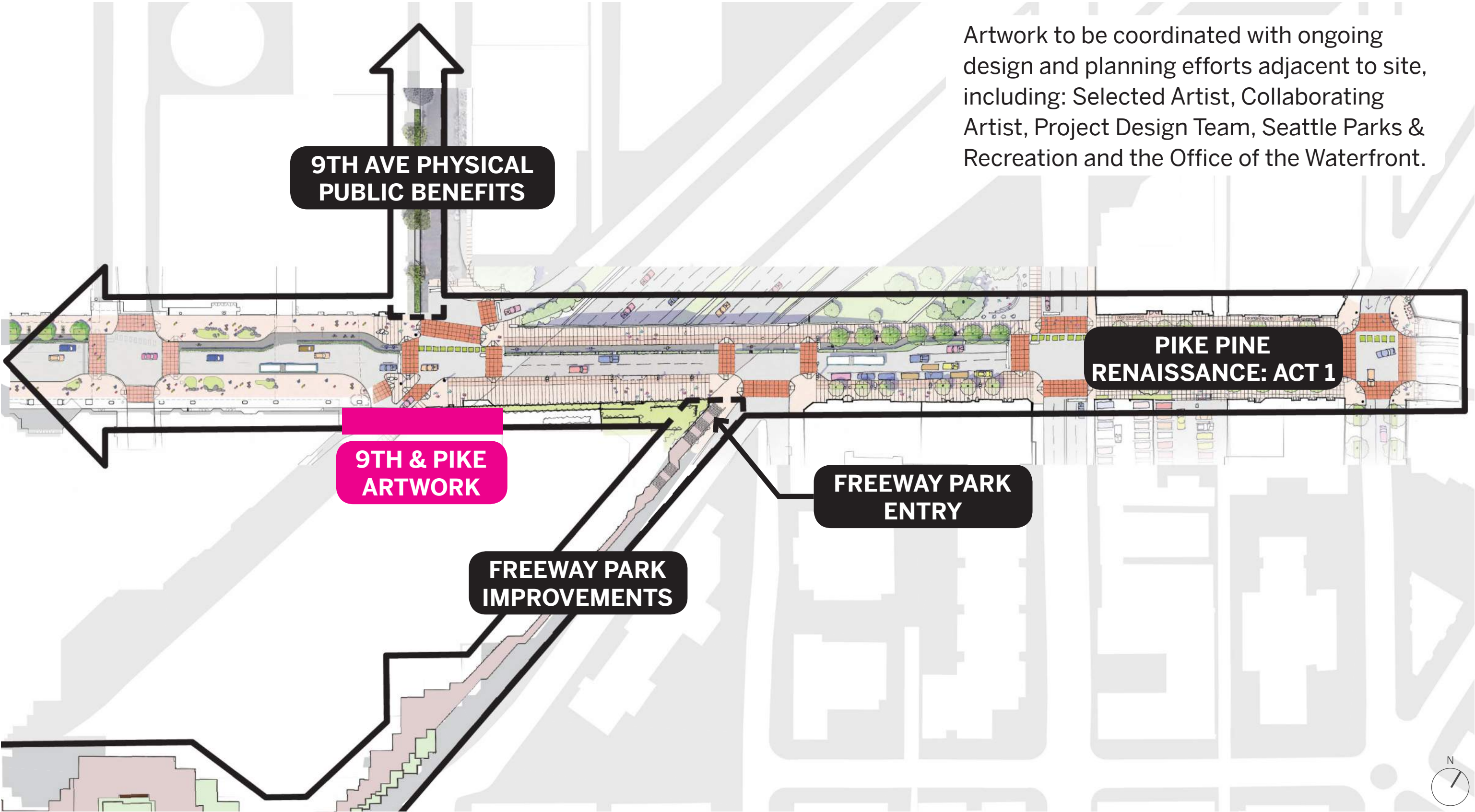


B VIEW FROM PIKE STREET AND NINTH AVENUE



C VIEW FROM PIKE STREET AND NINTH AVENUE

9TH AVENUE + PIKE STREET ARTWORK CONTEXT



9TH AVENUE + PIKE STREET ARTWORK

Opportunities

- At the intersection of Pike Street and Ninth Avenue, the artwork site is a 70' tall x 140' wide wall of the existing Washington State Convention Center.
- An opportunity exists to create a high-impact artwork that will improve the existing site.
- Artwork may be three-dimensional within the property lines.
- If an artist chooses to design inside or outside of the specified dimensions, concepts will be considered.

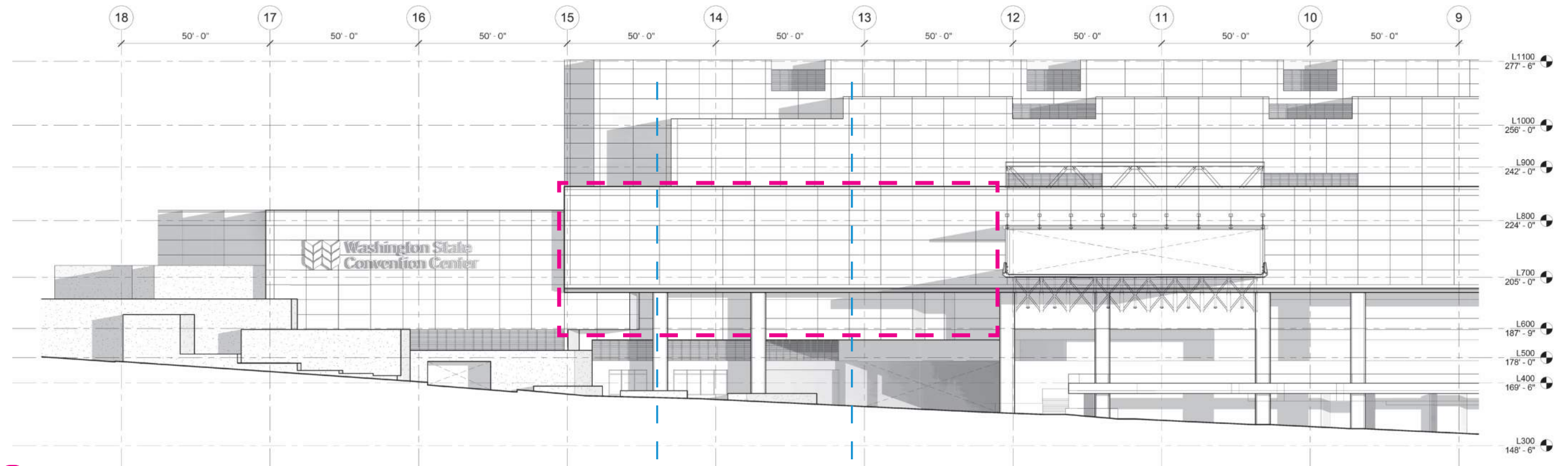
Goals

- Mark and celebrate the beginning of the Ninth Avenue Green Street with an exciting art experience. Potential to visually connect with Freeway Park and park entry.
- Spatially create an urban “room” with a significant art statement, enhancing the pedestrian experience, and meeting the objective of Pike Pine Renaissance: Act 1.
- Embrace the WSCC Addition Art Vision.

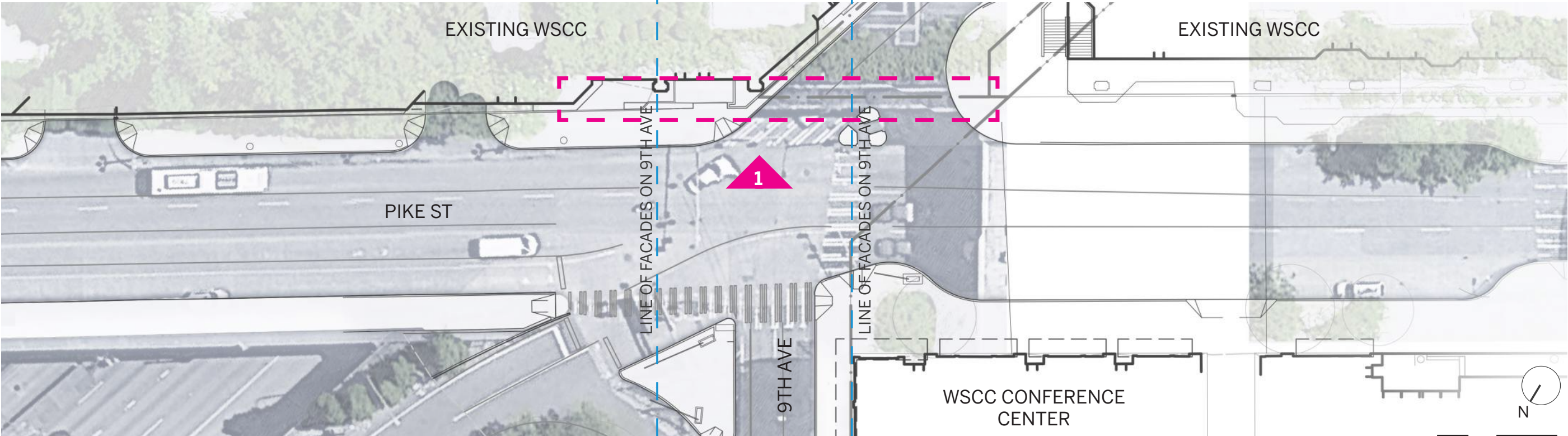
Details

- The site for the artwork is approximately 70' tall x 140' wide. If an artist chooses to design inside or outside of these dimensions, concepts will be considered.
- Artwork may be abstract or representational.
- Artwork may be three-dimensional within the property lines and designed to cast shadows.
- Artwork must include an integrated lighting concept.
- Artwork must be made of long-lasting, low-maintenance materials suitable for the outdoors.
- Artwork will be coordinated with adjacent Public Benefit projects and designers--with ZGF on the Pike Pine Renaissance: Act 1 plan, and with Site Workshop on Freeway Park planning.
- The selected artist/artist team will work with project managers to ensure that artworks are engineered in accordance with relevant regulations and/or codes.

9TH AVENUE + PIKE STREET ARTWORK SITE



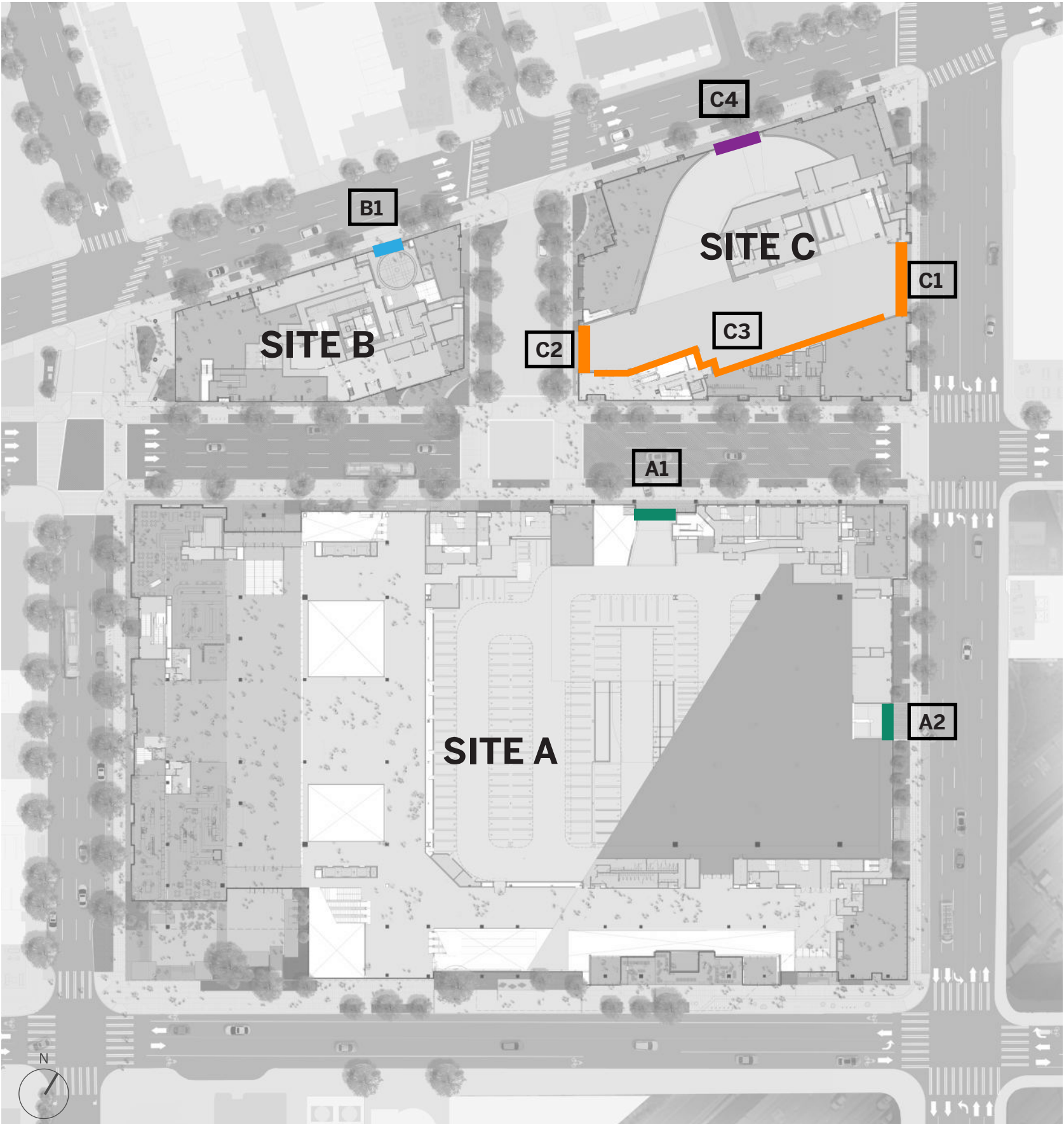
1 WSCC NORTH ELEVATION



2 SITE PLAN

URBAN DESIGN MERIT

BOREN AVE / OLIVE WAY / TERRY AVE / HOWELL ST GRAPHIC DOORS AND WALLS



Three artists/artist teams will be invited to collaborate on perforated garage door designs and loading dock wall

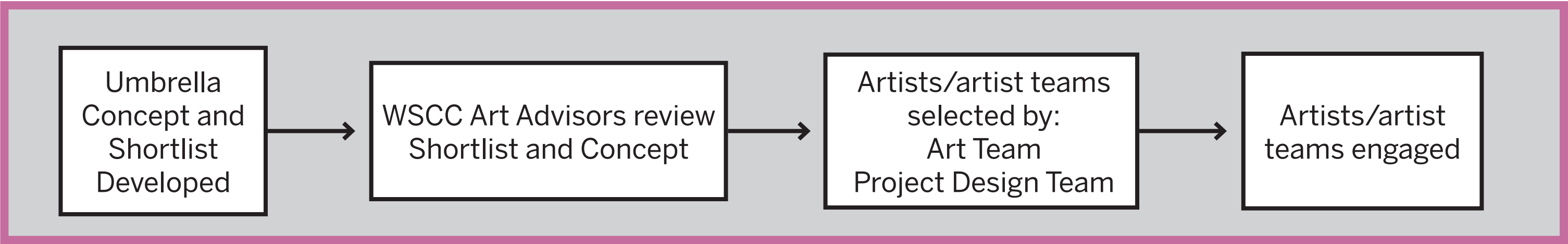
Artist 1	A1	Olive Way WSCC Garage Vertical lift door
	A2	Boren Avenue WSCC Garage Vertical lift door
Artist 2	B1	Howell Street Residential Loading Dock Four-panel folding door
Artist 3	C1	Boren Avenue Loading Dock Entry Three-panel sliding door
	C2	Terry Avenue Loading Dock Exit Vertical bi-folding door
	C3	Site C Loading Dock interior wall

Glass wall to be completed with a fourth artist/artist team + project team collaboration

Artist 4	C4	Howell Street WSCC Loading Dock Glass Wall Custom painted or etched glass
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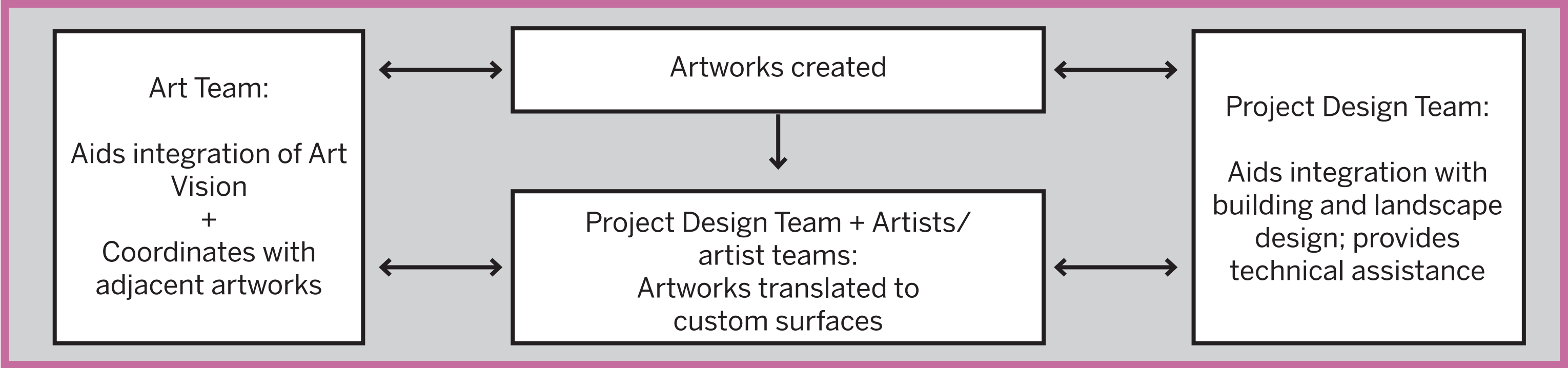
PROCESS FLOW CHART - Urban Design Merit

SELECTION +
COLLABORATION



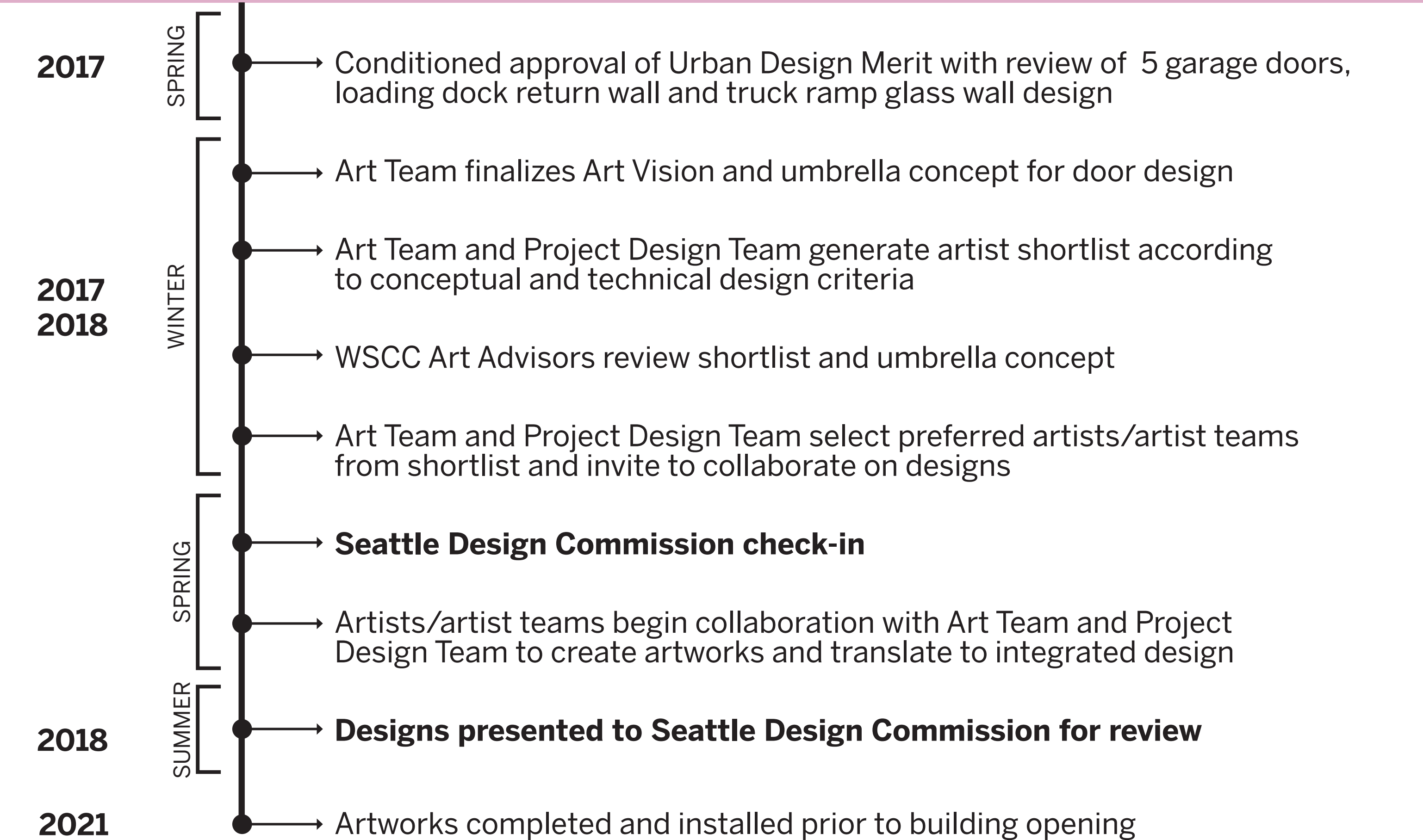
Seattle Design Commission Check-In

ONGOING COLLABORATION



Seattle Design Commission Final Review

PROCESS TIMELINE - Urban Design Merit



BOREN AVENUE / OLIVE WAY / TERRY AVENUE / HOWELL STREET GARAGE DOORS

Scale: **5 doors, 1 graphic wall, 1 glass wall**

Time Range: **Permanent**

Medium: **Perforated metal panels, painted wall, painted or etched glass**

Public Access: **Visible at sidewalks and streets**

Opportunities

- Potential to create a meaningful series of artworks responding to the site, city, and the region.
- Artists/artist teams’ designs will respond to and artistically interpret Seattle’s diverse neighborhoods.
- Artwork may include interpretive text

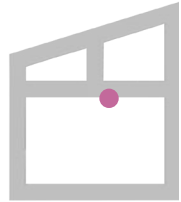
Goals

- Improve the pedestrian experience by creating textural and graphic surfaces that can be interpreted at various distances.
- At loading dock interior wall, create a graphic with visual interest integrated with the adjacent garage doors, but does not encourage the public to enter the dock.
- Embrace the WSCC Addition Art Vision.

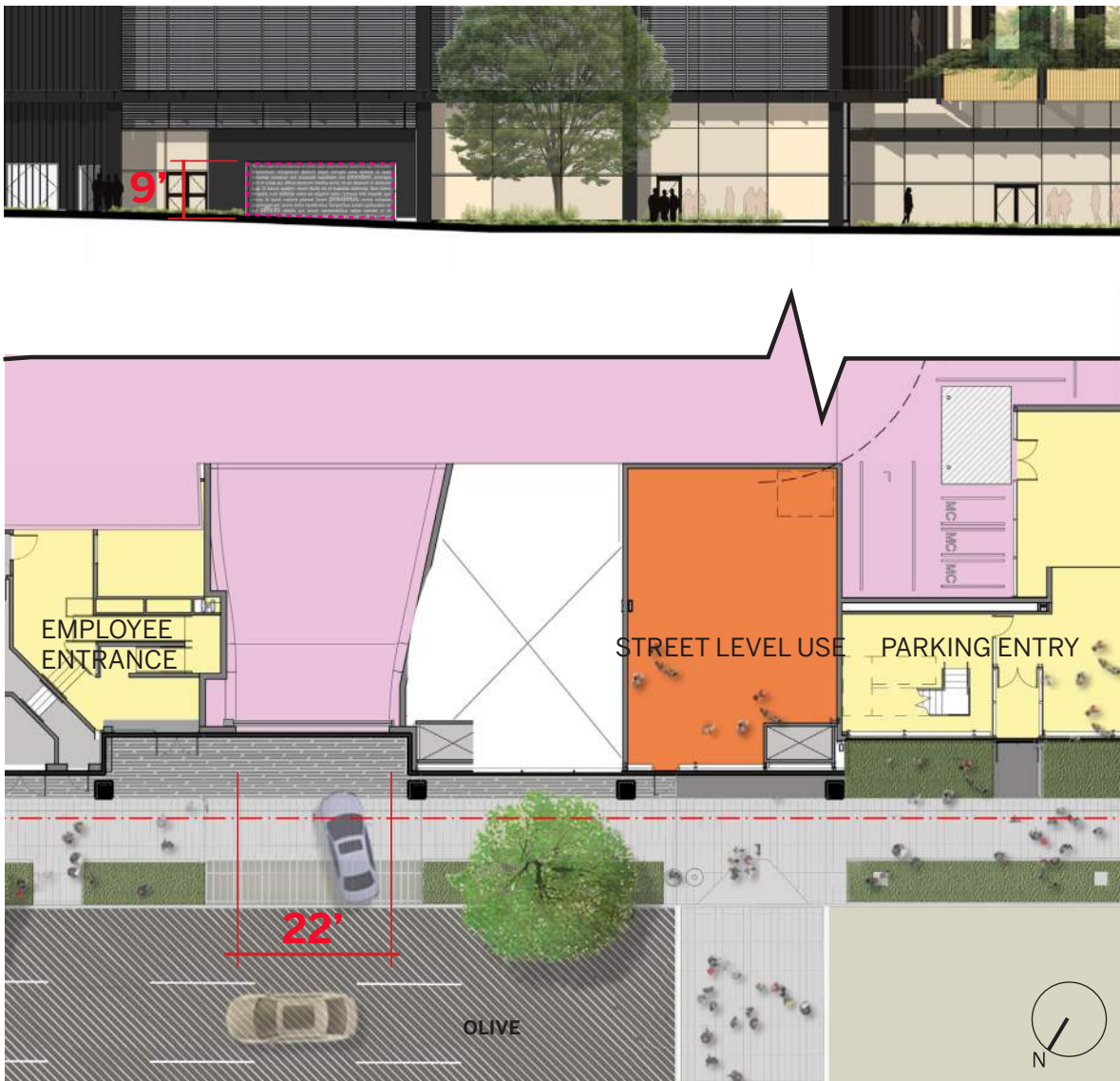
Details

- Four models of metal panel doors have been specified to achieve operational and mechanical building requirements at each entry. Each door allows for a custom perforation while achieving all security, airflow and performance requirements.
- Artworks will have constraints related to fabrication and technical requirements. Each artwork will be translated to a custom perforation pattern with the Project Design Team.
- Glass wall treatment may utilize paint, applied graphic, texture, or etching on the glass surface.
- Artists/artist teams must engage in a collaborative process with members of the Project Design Team to produce works that satisfy and conform with the Art Vision.
- Artist/artist teams must respond to adjacent artworks.
- Scales of artwork must integrate with the architecture.
- The Project Design Team will ensure that artworks are engineered in accordance with relevant regulations and codes.

OLIVE WAY GARAGE DOOR



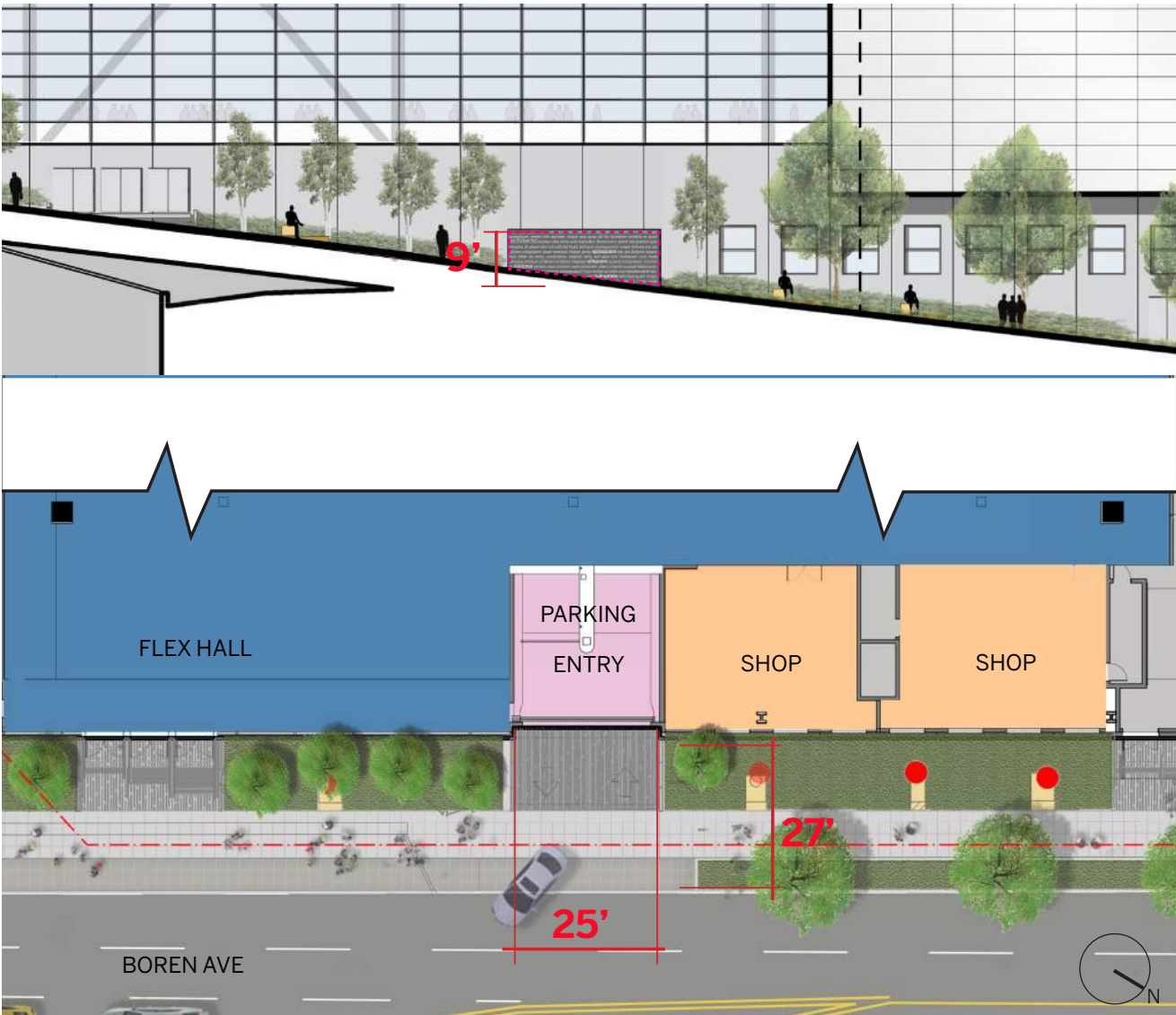
A1 Parking Access on Olive Way



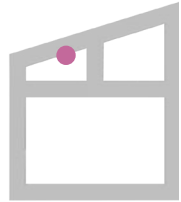
BOREN AVENUE GARAGE DOOR



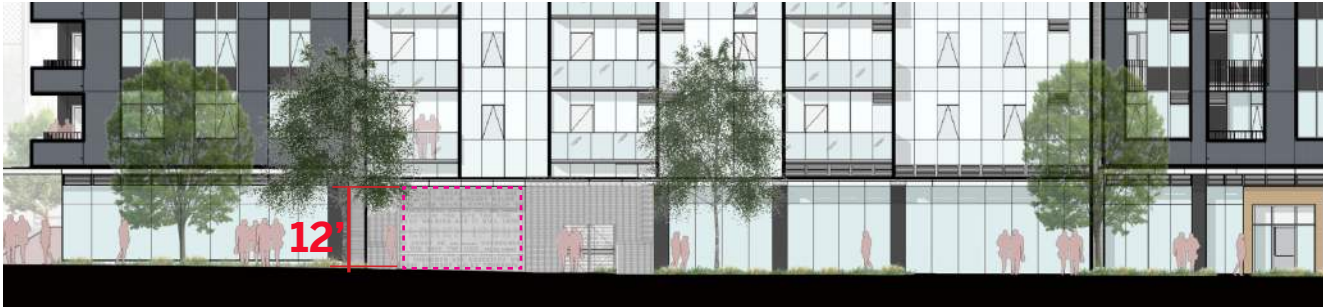
A2 Parking Access on Boren Avenue



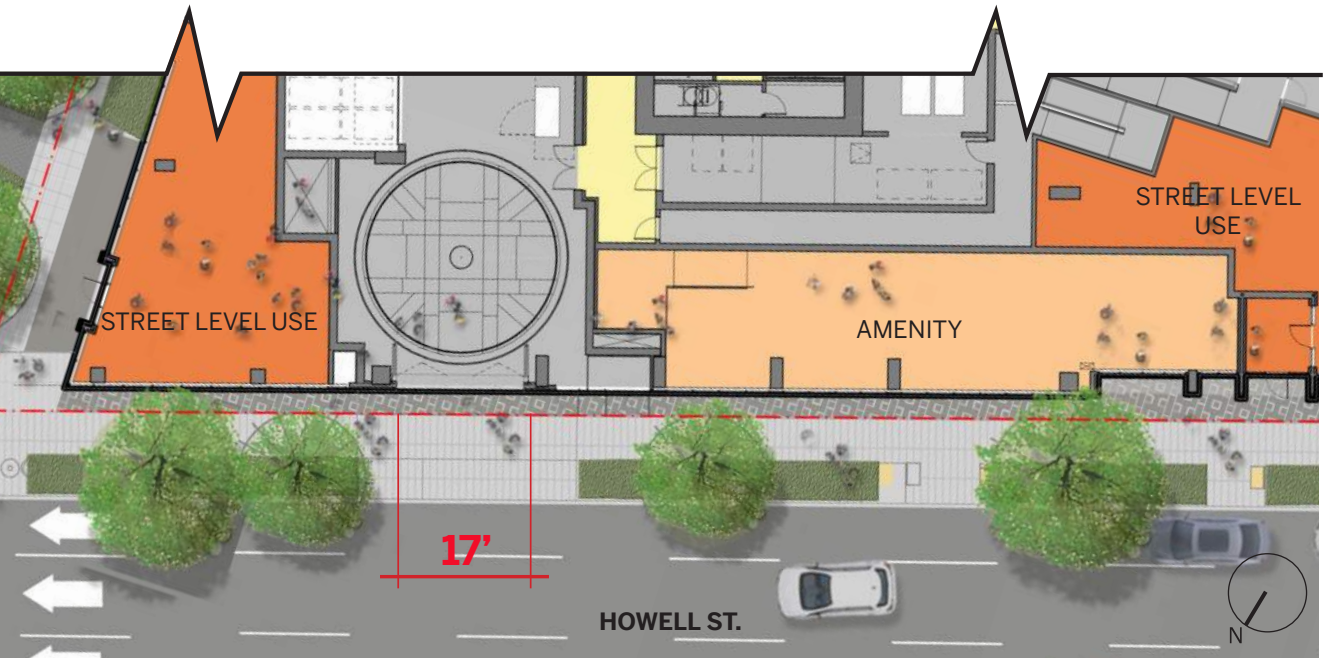
HOWELL STREET LOADING DOCK DOOR



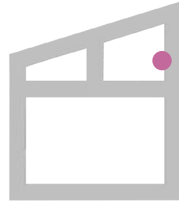
B1 Residential Loading Dock on Howell Street



*GARAGE DOOR IS MOST FREQUENTLY IN CLOSED POSITION

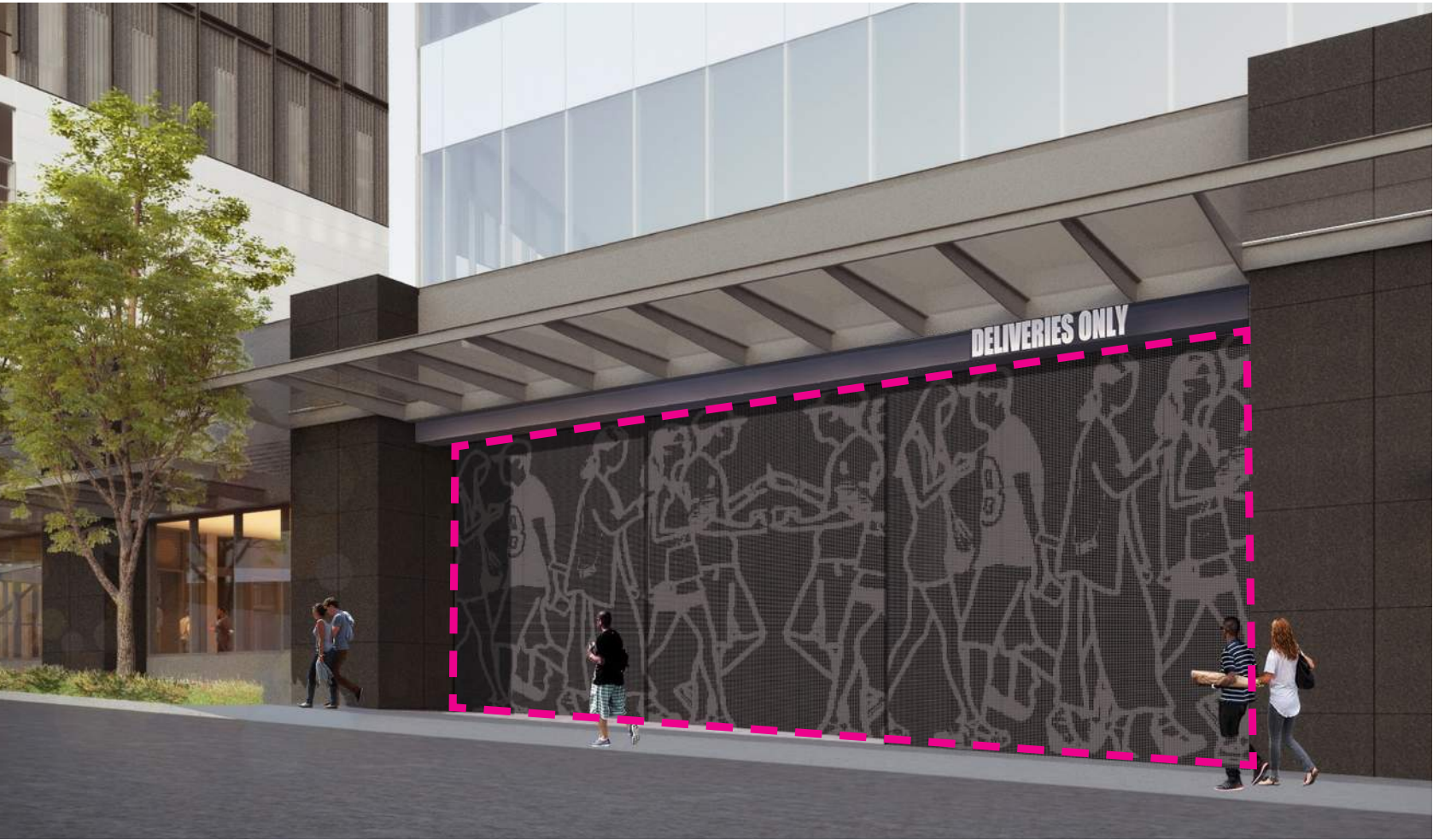
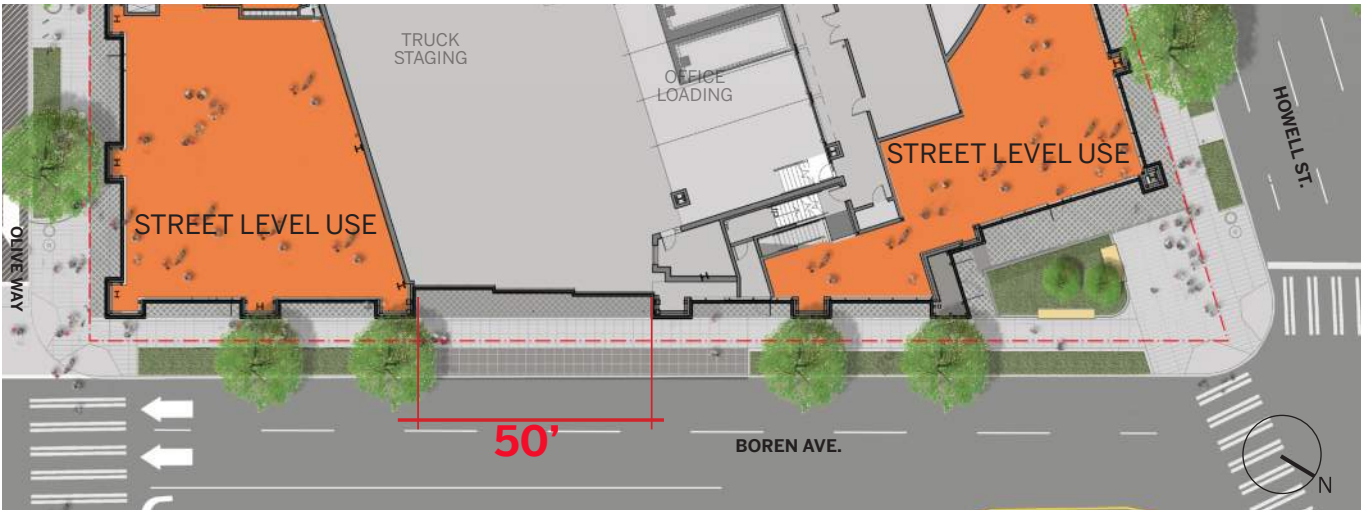
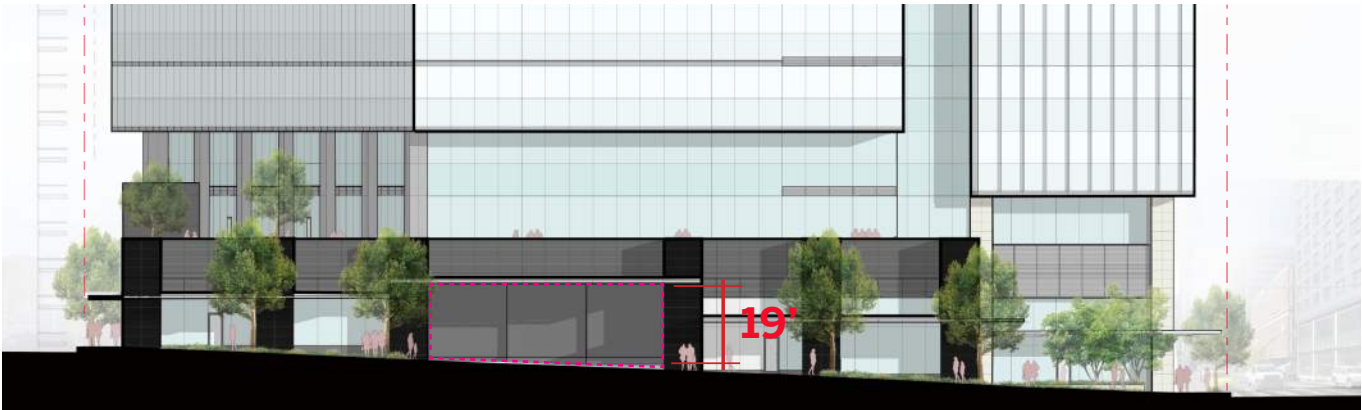


BOREN AVENUE LOADING DOCK DOOR



C1

Truck Ingress Door on Boren Avenue



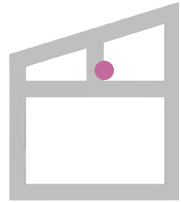
BOREN AVENUE LOADING DOCK DOOR

C1 3 Door Opening Positions

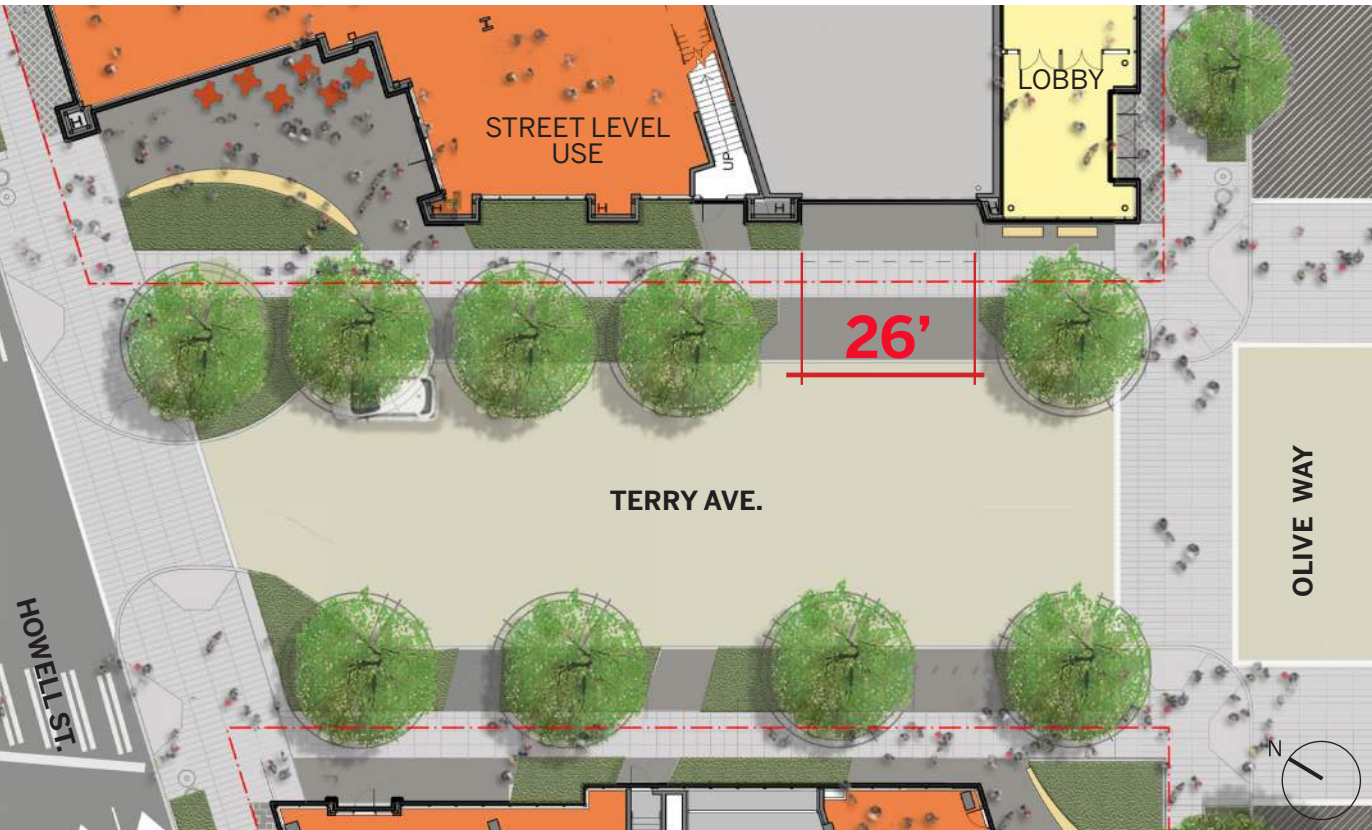
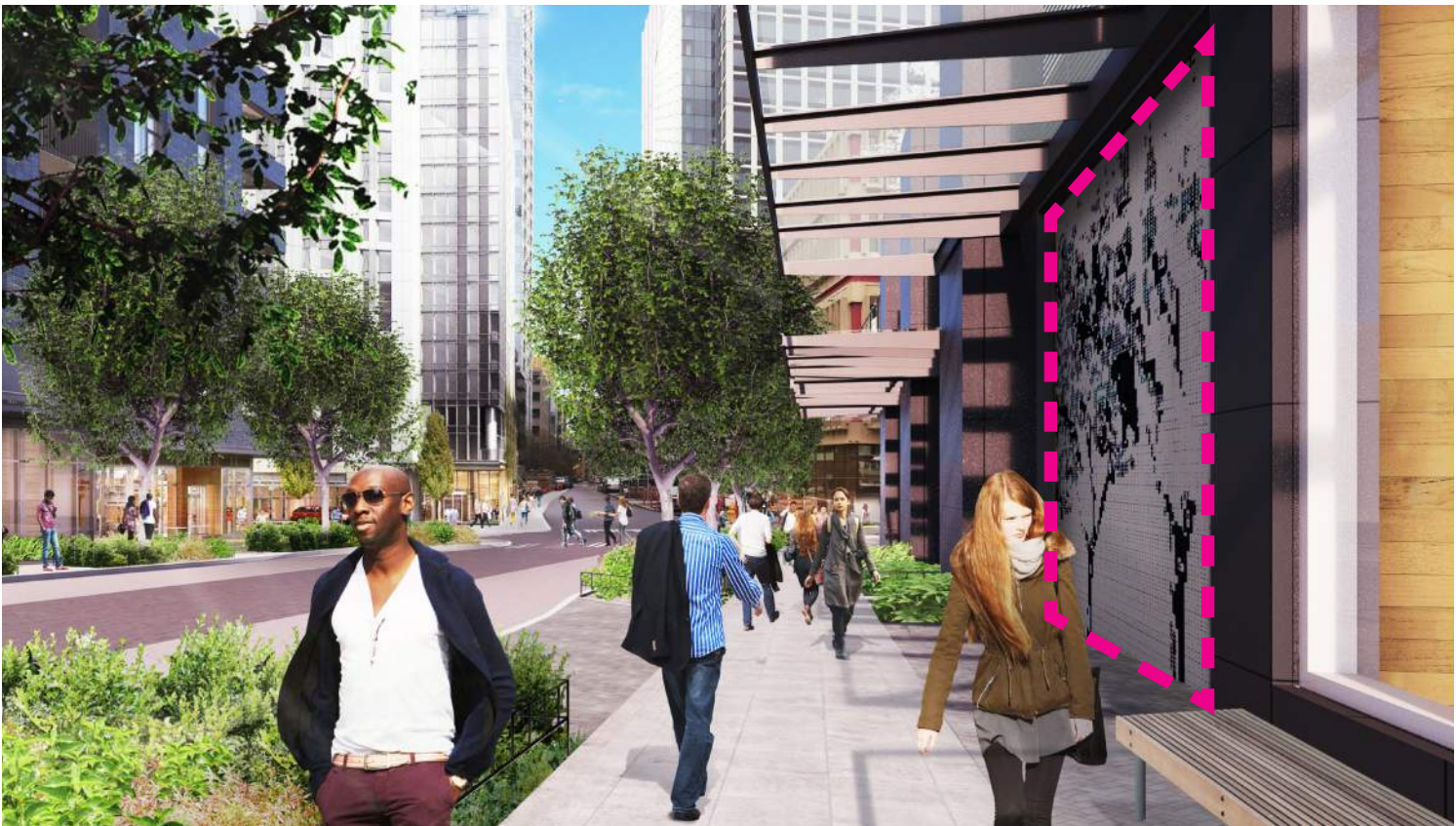
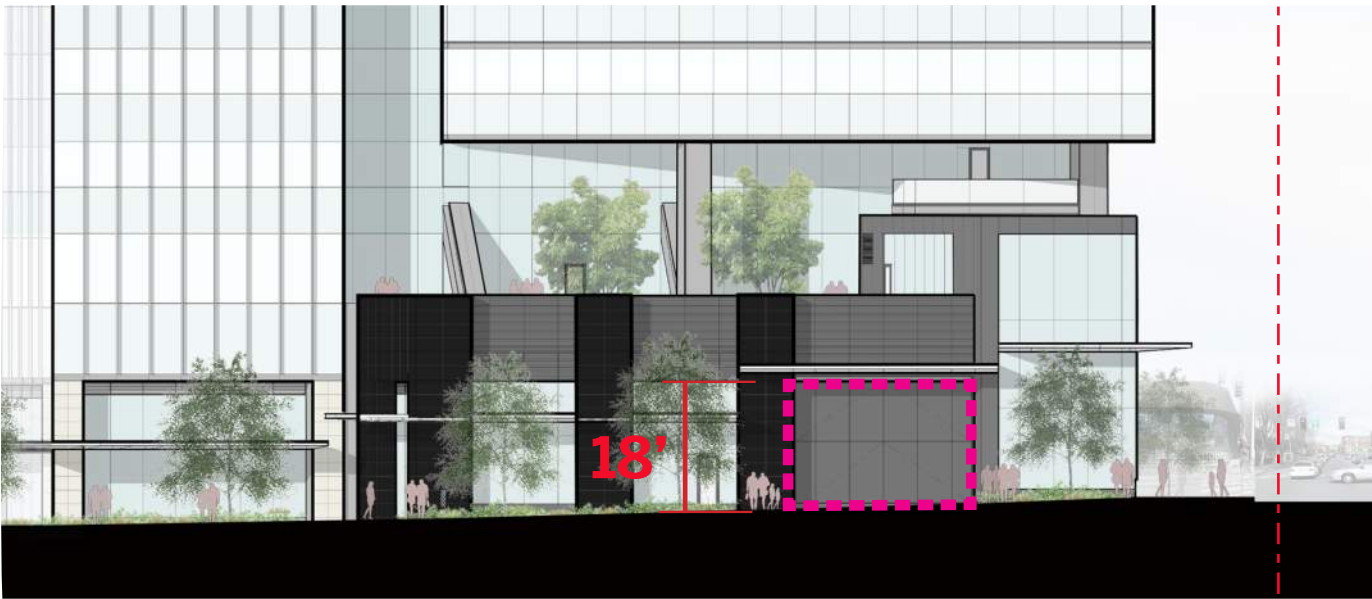


- 3-panel sliding door
- Panels stack and overlap, providing opportunity for a secondary overlay effect to be explored by artist/artist team
- Panels operated according to scale of traffic--3 panels will not open when just one is sufficient
- Door perforation and interior wall graphic will be developed in tandem, by a single artist/artist team and should complement one another

TERRY AVENUE LOADING DOCK DOOR



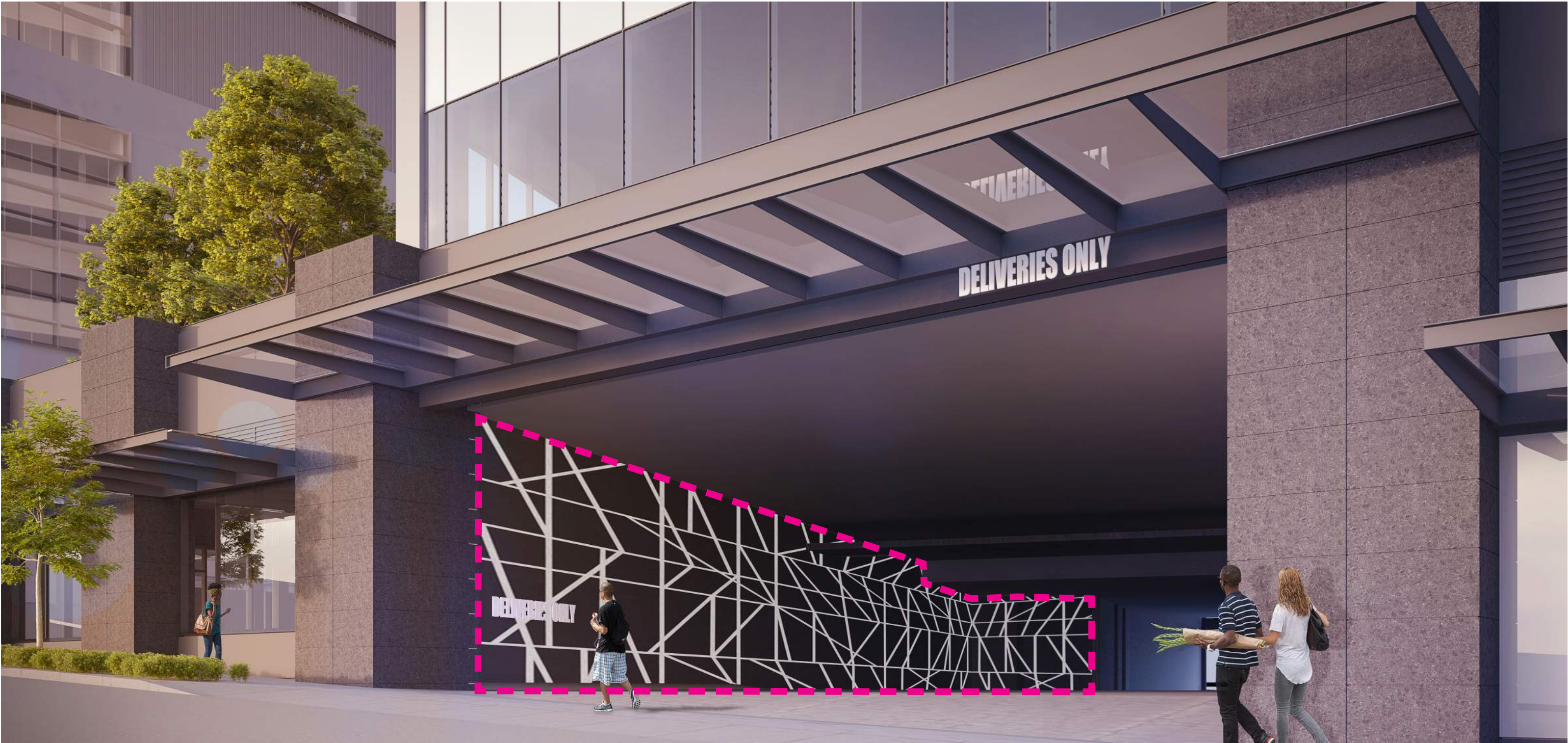
C2 Truck Egress Door on Terry Avenue



SITE C LOADING DOCK GRAPHIC WALL

Scale: **235 linear feet**
Medium: **2D Graphic, Paint**

Time Range: **Permanent**
Public Access: **Visible at sidewalks and street**



C3 Loading Dock Wall between Boren Avenue and Terry Avenue

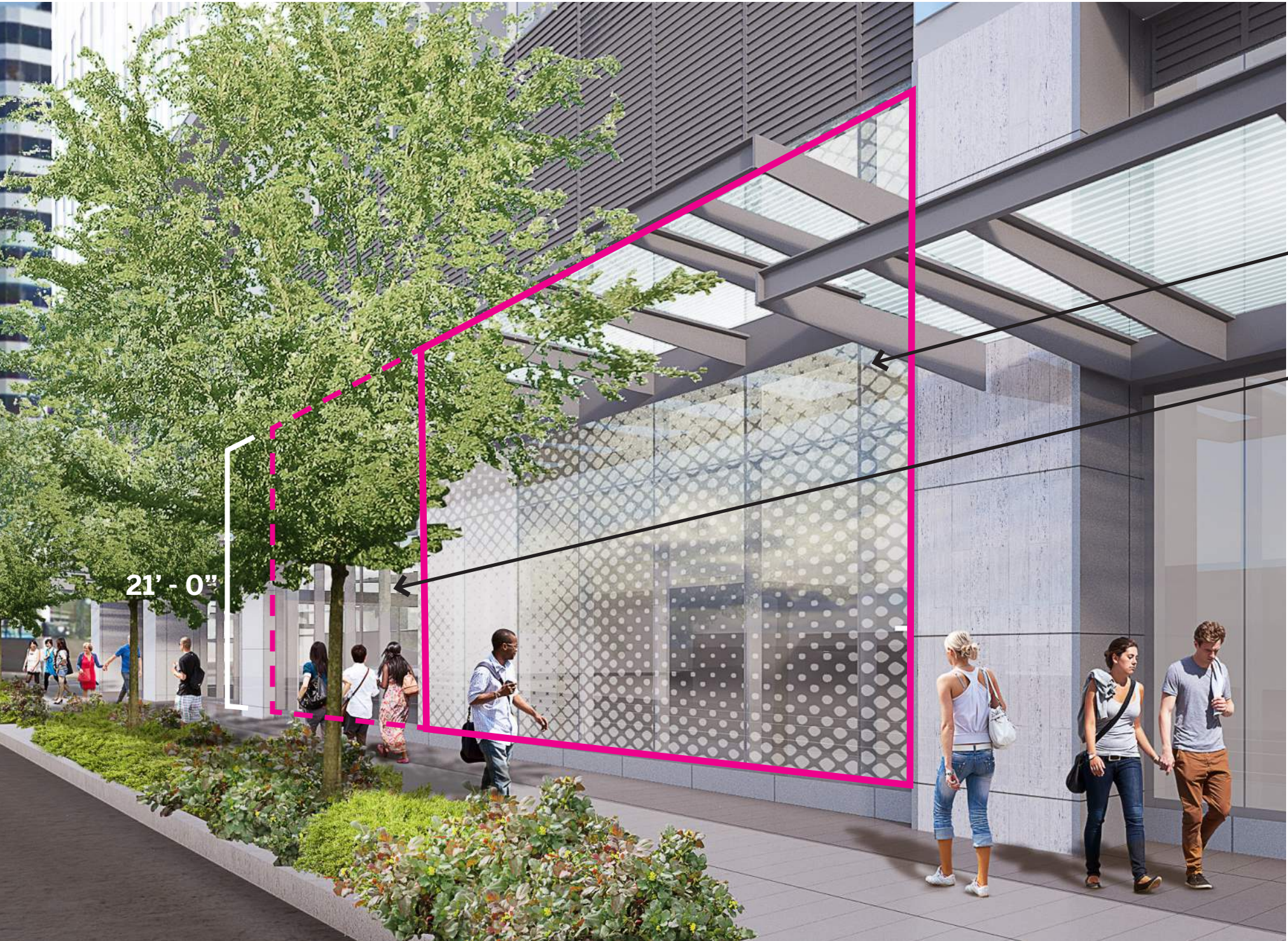
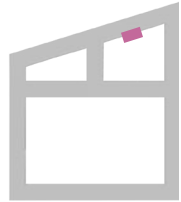
HOWELL STREET TRUCK RAMP GLASS WALL

Scale: **Approximately 550 sf**

Medium: **Silkscreen or etching on glass**

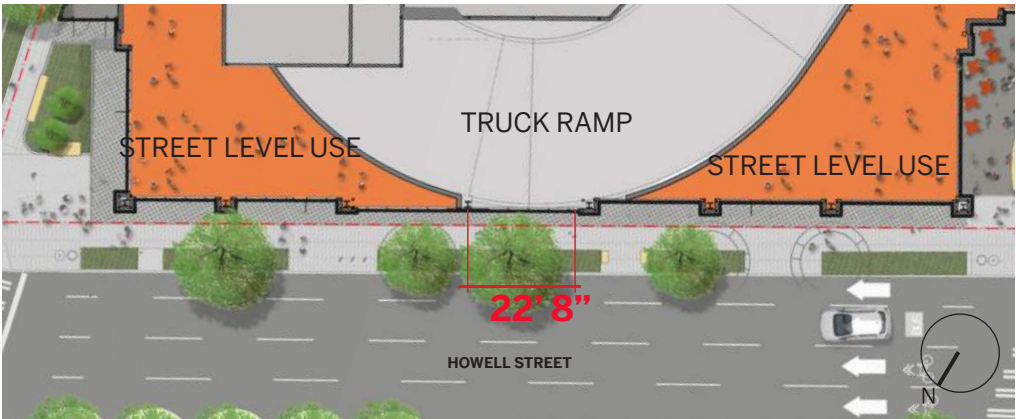
Time Range: **Permanent**

Public Access: **Visible at sidewalks and street**



Urban Design Merit Scope

Potential Expanded Artist Scope



C4 Glass Wall at Truck Ramp on Howell Street

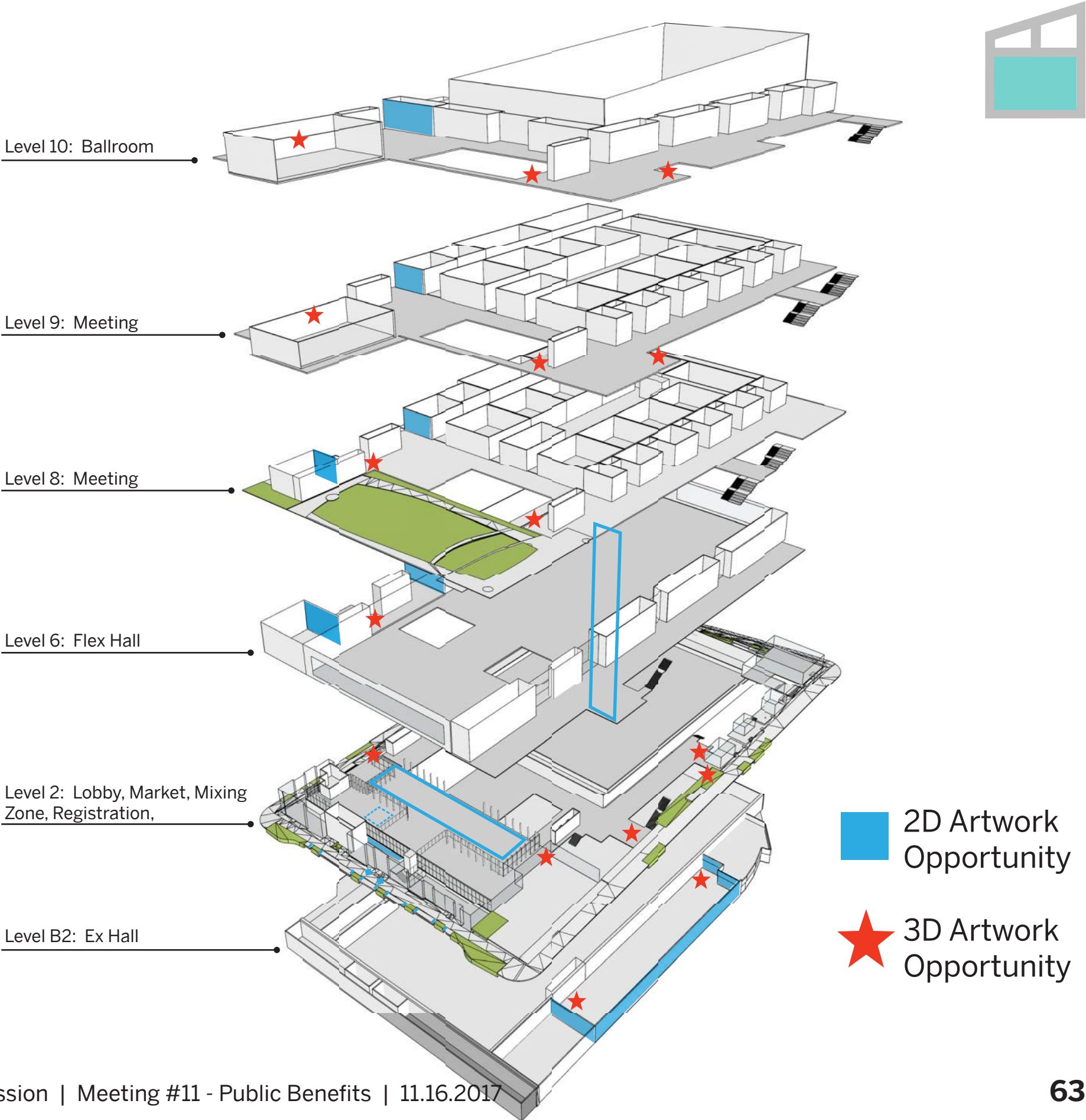
WSCC ADDITION ARTWORKS

[These artworks are separate from the Public Benefit Package]

POTENTIAL LOCATIONS THROUGHOUT BUILDING - WSCC Addition Artworks

Scale: **Located throughout 9 building levels and site**
Medium: **2D, 3D artworks and programming**
Time Range: **Permanent and Rotating**
Public Access: **Varied visibility from exterior and interior public spaces**

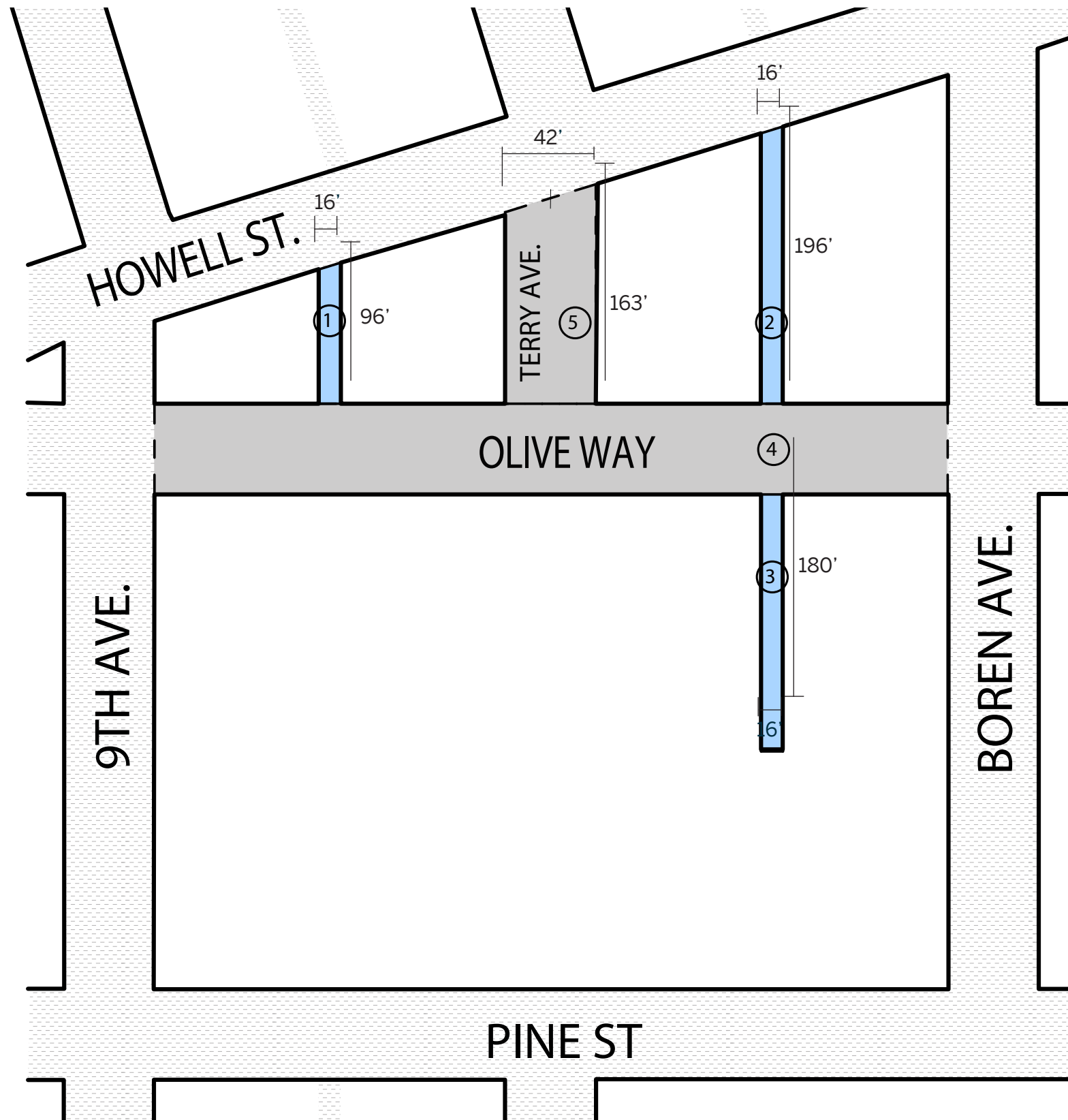
WSCC Addition Artworks Shared
Confirmed Relocated CPS Artworks CPS Artworks Presentation
Potential 2D and 3D Artworks throughout Addition Artist-in-Residence Studio Space Signature Artworks Artworks at Pine Street and Olive Way entrances Pine Street Sun Garden Artwork Artist Collaborative Ceiling Rotating Art Exhibitions Gifted Artworks Loaned Artworks



PUBLIC BENEFIT REVIEW

PROPOSED STREET VACATIONS REVIEW

From Previous SDC Meetings



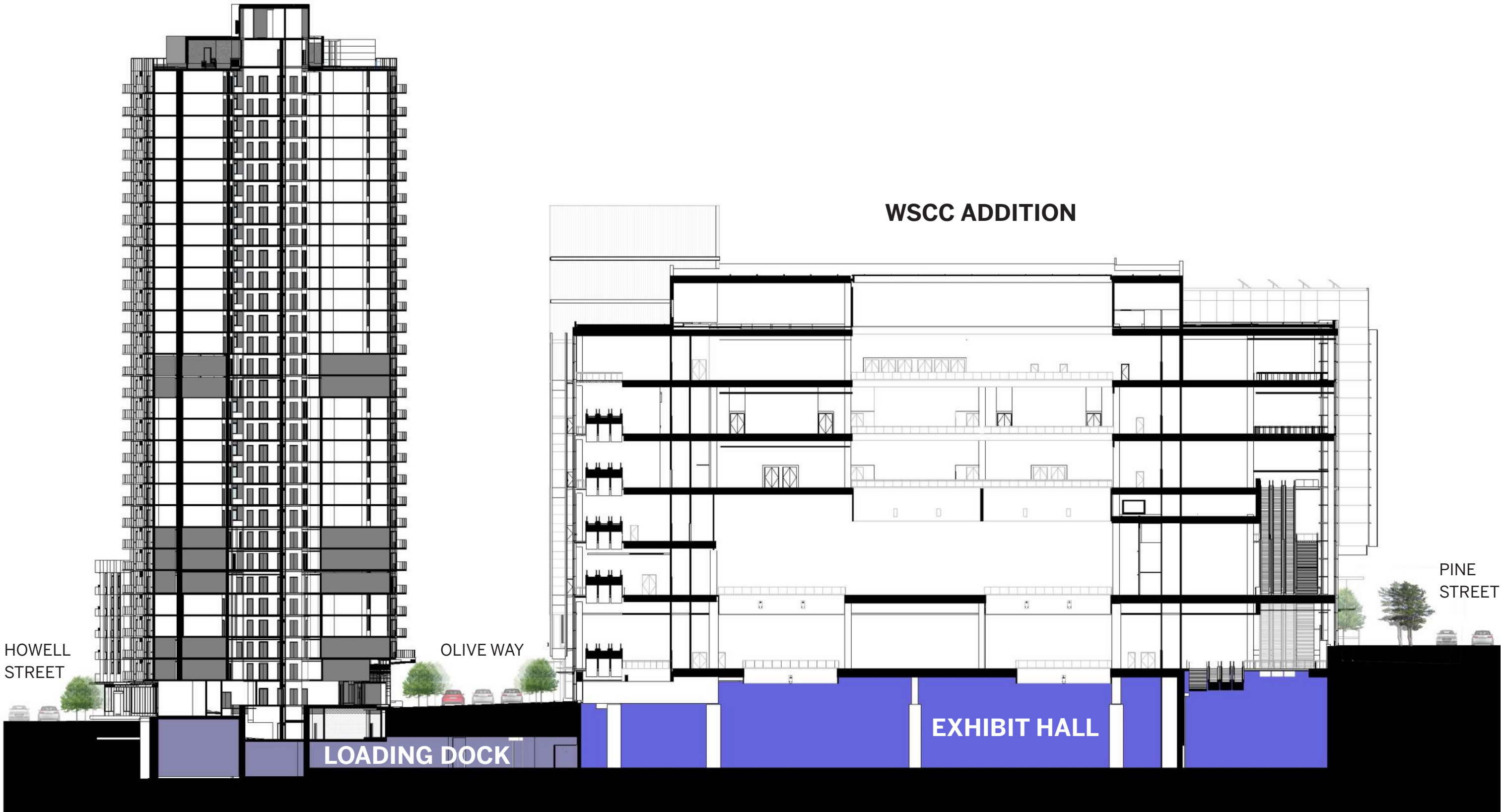
- FULL VACATION
- SUBTERRANEAN VACATION

- ① BLOCK 33 - MID BLOCK ALLEY (MUP PROJECT # 3018096)
1,601 SQ. FT.
- ② BLOCK 43 - MID BLOCK ALLEY (MUP PROJECT # 3020177)
3,186 SQ. FT.
- ③ BLOCK 44 - MID BLOCK ALLEY SEGMENT (MUP PROJECT 3020177)
2,879 SQ. FT.
- ④ OLIVE WAY (MUP PROJECT # 3020176, 3018096, AND 3020177)
38,109 SQ. FT.
- ⑤ TERRY AVE (MUP PROJECT # 3020176 AND 3018096)
9,874 SQ. FT.

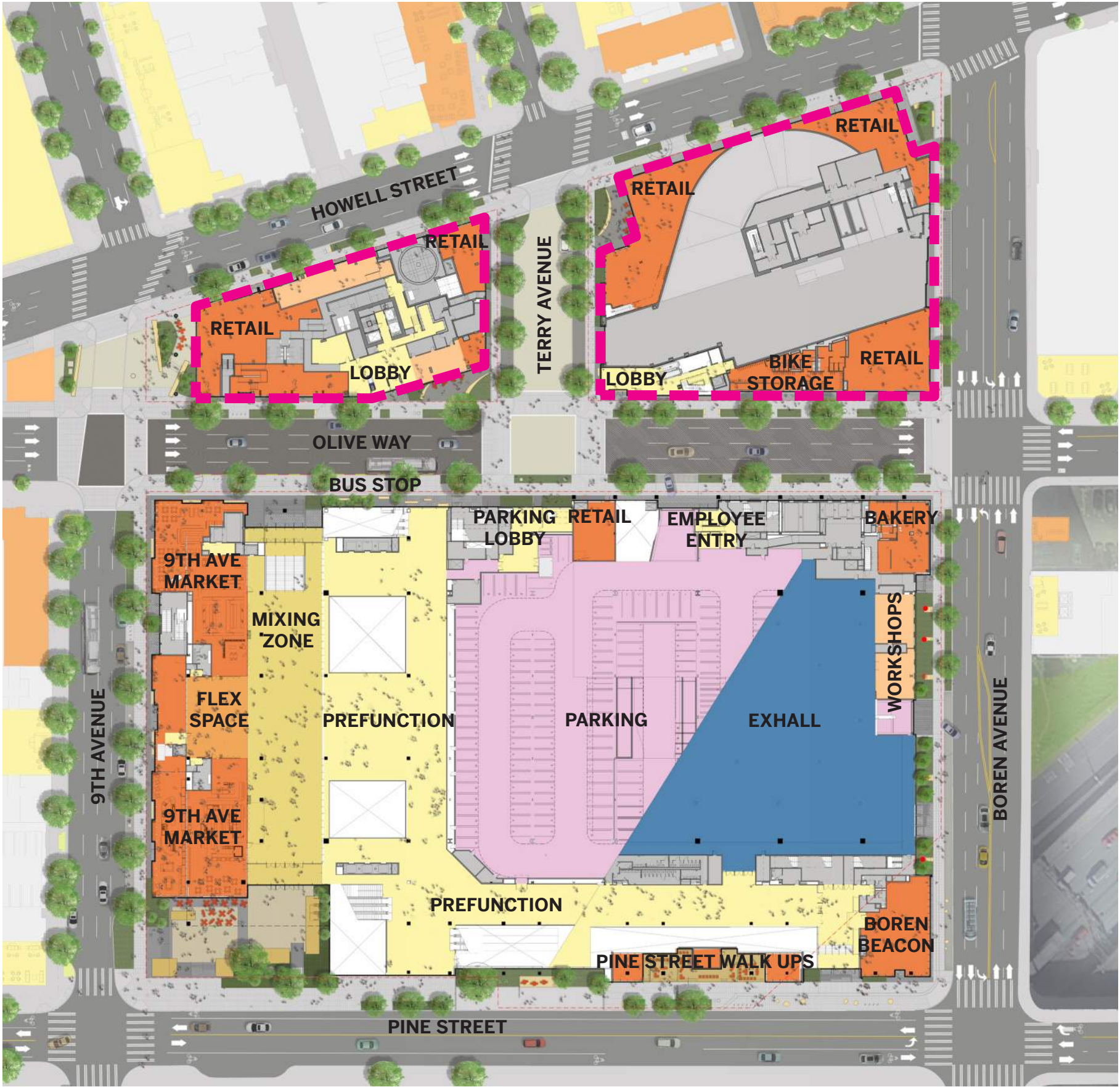
BELOW GRADE LOADING DOCK

Section through Loading Dock

CO-DEVELOPMENT



CO-DEVELOPMENT



STREET & ALLEY VACATIONS

What does the project gain?

- Large subterranean contiguous footprint to allow Exhibit hall and truck services below grade
- Limited FAR is gained from alley vacation

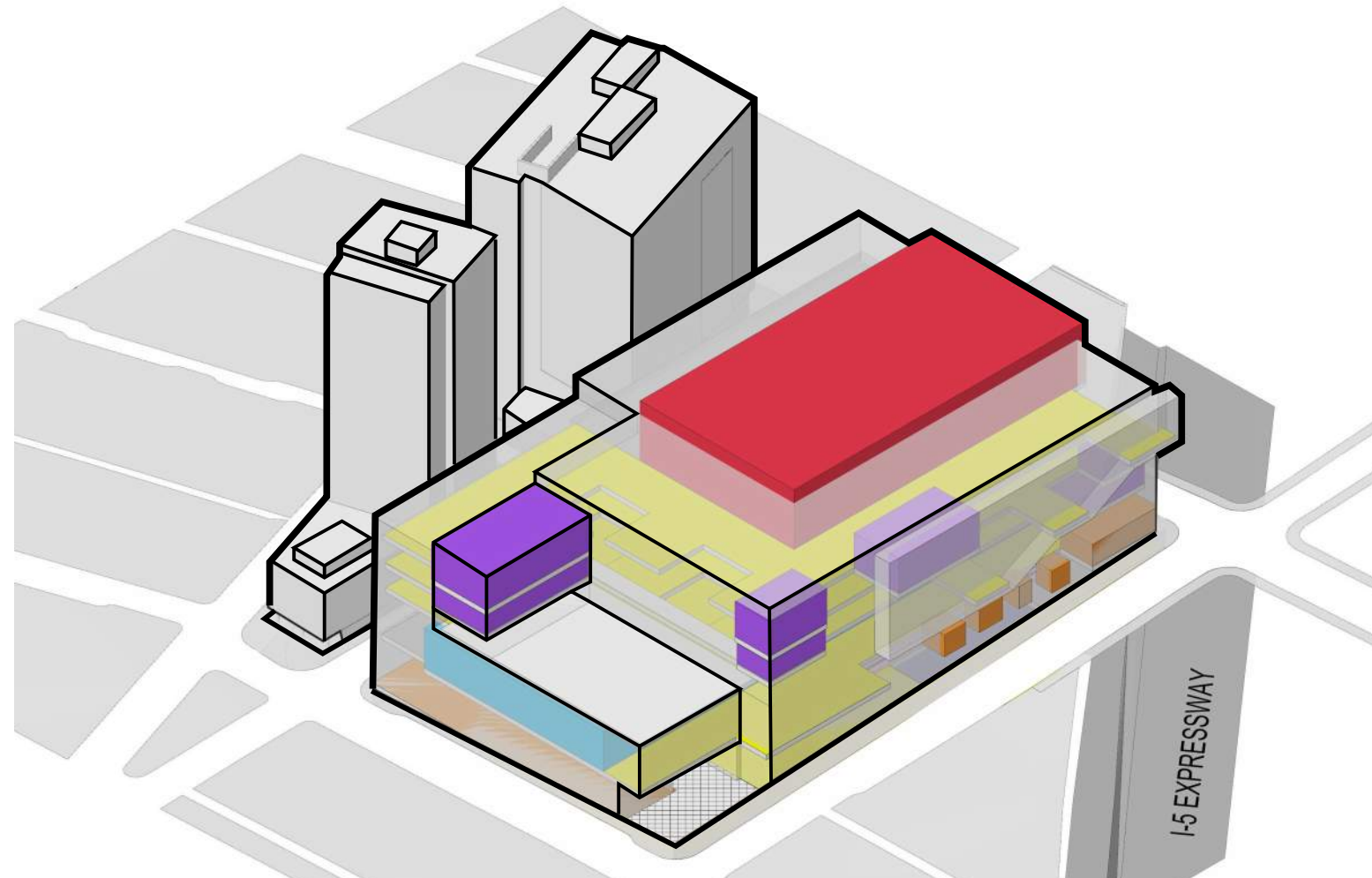
What does the public lose?

- 3 alleys above and below grade
- 2 subterranean below grade streets (replaced with improved utility infrastructure and streetscape)
- Light and air afforded by alleys (offset by building massing and setbacks)

What does the public gain?

- Improved urban form, creating a hub, connecting diverse neighborhoods
- Greater setbacks for pedestrian and landscaping at grade
- Safer streetscape with reduced vehicle access and curb cuts
- Improved pedestrian experience with enhanced program at grade
- Fair market value for land purchase (Estimated \$15-20MM)
- \$90+MM in community improvements (\$58MM Public Benefit)

ON-SITE VS. OFF-SITE PUBLIC BENEFITS



Street Vacation Policies state that off-site public benefits can be provided when it is not practicable to provide more than a portion of the public benefit on-site

Unique site challenges

- Uniquely large program spaces, irregular sites, and the desire to reduce bulk and scale and visibility of service areas above grade resulted in the location of the largest areas and loading dock/access below grade and at lower floors.
- This made it not practical to provide most of the public benefit on-site – yet the project found ways to provide many at grade open spaces throughout all three sites.

Public outreach demonstrated a great deal of community interest in funding off-site community initiatives.

PROPOSED WSCC CONTRIBUTIONS

		TOTAL VALUE	PUBLIC BENEFIT VALUE
CPC AGREEMENT (IN VARIOUS DOCUMENTS)	Affordable Housing Funding	\$29,000,000	\$15,000,000
	Freeway Park Association Funding	\$10,000,000	\$10,000,000
	Bicycle Master Plan Funding	\$10,000,000	\$10,000,000
	8th Avenue Protected Bike Lane Funding	\$6,000,000	-
	Terry Avenue Promenade Funding	\$4,000,000	-
	Lid I-5 Study Funding	\$1,500,000	\$1,500,000
	Olive Way Safety Improvements Funding	\$500,000	-
		\$61,000,000	\$36,500,000
ADDITIONAL WSCC PUBLIC BENEFITS	Pike-Pine Renaissance: Act 1 Funding	\$10,000,000	\$10,000,000
	Public Open Spaces & Improvements Beyond Code	\$8,100,000	\$8,100,000
	Public Benefit Art	\$1,850,000	\$1,850,000
	Historic Building Lighting	\$1,000,000	\$1,000,000
	9th Avenue R.O.W. Improvements	\$600,000	\$600,000
	Olive Way R.O.W. Improvements	\$200,000	\$200,000
		\$21,750,000	\$21,750,000
KING COUNTY & INCENTIVE ZONING HOUSING	Affordable Housing Funding from KC Land Sale	\$5,000,000	-
	Affordable Housing Funding from Incentive Zoning	\$4,300,000	-
		\$9,300,000	-
		\$92,050,000	\$58,250,000

PROPOSED PUBLIC BENEFITS

PUBLIC BENEFIT	DESCRIPTION	PROPOSED BENEFIT	CODE / OTHER	EIS MITIGATION	PB VALUE
PHYSICAL PUBLIC BENEFITS	Public Spaces And Plazas	9,502 SF Above Code			\$8,100,000
	Pine Street / 9th Avenue Plaza	3,637 SF Above Code	Designed To Downtown Amenity Standards; Setback in excess of code required setback	None	
	Flatiron Plaza	1,789 SF Above Code	Setback in excess of code required setback		
	Terry Avenue Green Street Plaza	831 SF Above Code	Setback in excess of code required setback		
	Denny Triangle Corner Plaza	396 SF Above Code	Setback in excess of code required setback		
	Boren Avenue Garden	1,708 SF Above Code	Setback in excess of code required setback		
	Pine Street Sun Garden	1,154 SF Above Code	Setback in excess of code required setback		
	Additional Improvements Beyond Code				
	Public Benefit Overhead Weather Protection	747 LF Above Code	2,056 LF Required; 2,803 LF Provided	None	
	Public Benefit Seating in the R.O.W.	243 LF Above Code	None		
	Public Benefit Planting (On Howell St, Olive Way, Pine St, & Boren Ave)	6,661 SF Above Code	4,217 SF Required; 10,878 SF Provided		
	Off-site R.O.W. Improvements (9th Avenue)	Curb bulbs, enhanced planting, upgraded paving, overhead weather protection, decorative vehicle door	None	None	\$600,000
	Off-site R.O.W. Improvements (Olive Way)	Upgraded paving, enhanced planting	None	None	\$200,000
	Historic Building Lighting	Lighting of historic features to enhance the pedestrian experience	None	None	\$1,000,000
					\$9,900,000

PROPOSED PUBLIC BENEFITS

PUBLIC BENEFIT	DESCRIPTION	PROPOSED BENEFIT	CODE / OTHER	EIS MITIGATION	PB VALUE
PUBLIC BENEFIT ART	Boren Avenue Sculptures	Artworks with integrated seating, lighting, landscaping	None	None	\$600,000
	9th Avenue + Pike Street Artwork	Large-scale artwork on a wall of the existing WSCC building			\$1,000,000
	Olive Way Artworks	Artworks at the (5) glass vitrines, potential extension to adjacent canopy			\$250,000
FUNDING NEIGHBORHOOD IMPROVEMENTS	Pike Pine Renaissance Act: 1 Funding	Funding to the Office of the Waterfront for Seattle’s Pike Pine Renaissance: Act 1 project	None	None	\$10,000,000
	Bicycle Master plan Funding	Funding to SDOT for implementation of Seattle’s Bicycle Master Plan	None		\$10,000,000
	Lid I-5 Study Funding	Funding to Seattle Office of Planning and Community Development for I-5 Lid Study	None		\$1,500,000
	Freeway Park Association / Seattle Parks And Recreation Funding	Funding to Seattle Parks Department to support efforts to repair, restore, and possibly enhance Freeway Park	None		\$10,000,000
					\$31,500,000
AFFORDABLE HOUSING FUNDING	Funding To Seattle Office of Housing	The Office of Housing will allocate funds for optimum benefit within the city proximate to jobs, transit, amenities and services for specific populations	\$5MM Funding for KC Land Sale; \$4.3MM Funding for Incentive Zoning; \$14MM additional funding from CPC Agreement	None	\$15,000,000
					\$15,000,000
					\$58,250,000

Project Vision

To create a new urban convention center that enriches Seattle's urban core by celebrating its attributes and creating community connections.

Community Connections

The Addition will be a hub, connecting diverse neighborhoods.

Our vision for the public benefits is to improve the pedestrian experience and create community connections to and from this hub for the people who live and work here, as well as visitors who come to experience Seattle.

PUBLIC BENEFITS COMPONENTS

Community Connections

Physical Public Benefits

- Public Open Spaces & R.O.W. Improvements
- Historic Building Lighting
- Additional Improvements Beyond Code

Public Benefit Art

Funding Neighborhood Improvements

- Pike Pine Renaissance: Act 1 Funding
- Bicycle Master Plan Funding
- Lid I-5 Study Funding
- Freeway Park Association / Seattle Parks and Recreation Funding

Affordable Housing Funding

