

ABBREVIATIONS		ARCHITECTURAL LEGEND		GENERAL NOTES	LOT CALCULATIONS	PROJECT INFORMATION		DRAWING INDEX	
A.B. A.F.F FOIC FOIO CONC DIA DIM DS ELEC EQ EXT (E) FOF FF FDN GALV GLB GWB HDR HT INSUL MANUF MECH MTL NIC O/ O.C. PLAM PRE-MANUF PSL P.T. REBAR REQ'D SIM TYP TBD UNO VIF VTO W/	ANCHOR BOLT ABOVE FINISHED FLOOR FURNISHED BY OWNER / INSTALLED BY CONTRACTOR FURNISHED BY OWNER / INSTALLED BY OWNER CONCRETE DIAMETER DIMENSION DOWNSPOUT ELECTRICAL EQUAL EXTERIOR EXISTING FACE OF FRAMING FINISH FLOOR FOUNDATION GALVANIZED GLUE LAMINATED BEAM GYPSUM WALL BOARD HEADER HEIGHT INSULATION MANUFACTURED MECHANICAL METAL NOT IN CONTRACT OVER ON CENTER PARALLAM PRE-MANUFACTURED PARALLEL STRAND LUMBER PRESSURE TREATED REINFORCED BAR REQUIRED SIMILAR TYPICAL TO BE DETERMINED UNLESS NOTED OTHERWISE VERIFY IN FIELD VENT TO OUTSIDE WITH	 NORTH ARROW HEIGHT DATUM PROPERTY CORNER D-01 DOOR LETTER W-01 WINDOW NUMBER 1 A1 ELEVATION REFERENCE 1 A1 SECTION REFERENCE 1 A1 DETAIL REFERENCE CENTERLINE NEW CONSTRUCTION EXISTING CONSTRUCTION DEMOLITION HIDDEN / OVERHEAD LINE BREAK LINE	NORTH ARROW HEIGHT DATUM PROPERTY CORNER DOOR LETTER WINDOW NUMBER ELEVATION REFERENCE SECTION REFERENCE DETAIL REFERENCE CENTERLINE NEW CONSTRUCTION EXISTING CONSTRUCTION DEMOLITION HIDDEN / OVERHEAD LINE BREAK LINE	DO NOT MEASURE OFF DRAWINGS. WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS. WHERE THERE IS A CONFLICT IN DIMENSIONS AND NOTES, DEFER TO LARGER SCALE DRAWINGS AND DETAILS OR VERIFY WITH ARCHITECT. CONTRACTORS & MANUFACTURERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB AND IMMEDIATELY NOTIFY ADAPT ARCHITECTURE, LLC OF ALL VARIATIONS FROM DRAWINGS FOR CLARIFICATION AND INSTRUCTION PRIOR TO PERFORMING WORK. ALL DRAWINGS, CONSTRUCTION DOCUMENTS, IDEAS, ARRANGMENTS, DIMENSIONS, OR PLANS SHALL NOT BE APPROPRIATED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY USE OF PURPOSE WITHOUT THE SPECIFIC AND WRITTEN PERMISSION OF ADAPT ARCHITECTURE, LLC. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ANY CODE OR CODES OF THE FEDERAL, STATE, COUNTY, OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THEIR APPROVED TEST REPORT AND THE MANUFACTURERS' INSTRUCTIONS.	LOT DIMENSIONS: 100.00' X 75.00' LOT AREA: 7,500 SF ALLOWABLE COVERAGE: 2,625 SF LOTS >5,000 SF = 35%(LOT AREA) LOTS < 5,000 SF = 15%(LOT AREA) + 1,000 SF TOTAL EXISTING COVERAGE: 2,518 SF (E) PRINCIPAL STRUCTURE 1,634 SF (E) GARAGE 410 SF (E) VERANDA 418 SF (E) SIDE PORCH 27 SF (E) BACK PORCH 29 SF PROPOSED COVERAGE: 9 SF (E) SIDE PORCH REMOVED -27 SF PROPOSED BACK PORCH +18 SF TOTAL COVERAGE: 2,509 SF (EXISTING & PROPOSED)	PROJECT CONTACT: ANNE SEATON, AIA ADAPT ARCHITECTURE, LLC PO BOX 99012 SEATTLE, WA 98139-0012 C. 206.313.2880 anne@adaptseattle.com OWNER: JOSHUA PELHAM & CARLOS BARRERA PROJECT ADDRESS: 3119 S. DAY STREET SEATTLE, WA 98144 PARCEL NUMBER: 690920-0595 ZONING: NR3 LEGAL DESCRIPTION: PROSPECT TERRACE ADD LESS POR LY BELOW AND ELEVATION OF 200.00 FT BASED ON COS DATUM. PLAT BLOCK: 8, PLOT LOT: 13-14 SCOPE OF WORK: SEE SHEET A2	A1 GENERAL INFORMATION & EXISTING SITE PLAN A2 DESCRIPTION OF WORK A3 PROPOSED SITE PLAN A4 BASEMENT PLANS - existing & proposed A5 MAIN FLOOR PLAN - existing A6 MAIN FLOOR PLAN - proposed A7 SECOND FLOOR PLANS - existing & proposed A8 THIRD FLOOR PLANS - existing & proposed A9 EAST ELEVATION - existing A10 EAST ELEVATION - proposed A11 NORTH ELEVATION - existing A12 NORTH ELEVATION - proposed A13 WEST ELEVATION - existing A14 WEST ELEVATION - proposed A15 SOUTH ELEVATION - existing A16 SOUTH ELEVATION - proposed CODES USED FOR DESIGN: 2018 SEATTLE RESIDENTIAL CODE (SRC) 2018 WASHINGTON STATE ENERGY CODE (WSEC) 2018 INTERNATIONAL BUILDING, ELECTRICAL, ENERGY, FIRE, FUEL GAS, MECHANICAL & PLUMBING CODE		
<p>SCOPE OF WORK KEY:</p> <ol style="list-style-type: none">REMOVE ORIGINAL BELOW GRADE STAIRS & ENTRY (IMAGE 07, SHEET A2)REMOVE EARLY CHIMNEY (IMAGE 03, SHEET A2), ROOF TO BE RE-SHINGLED WITH SIMILAR SHINGLES TO EXISTING ROOF.PROVIDE BELOW GRADE DRAINAGE & INTERIOR SEISMIC RETROFIT TO EXISTING BRICK FOUNDATION WALLS (IMAGE 04, SHEET A2)ADD BELOW GRADE ENTRY & STAIRSREMOVE EXISTING NON-ORIGINAL WINDOW (IMAGE 06 &10, SHEET A2)REMOVE EXISTING NON-ORIGINAL PORCH & ENTRY (IMAGE 08, SHEET A2)REMOVE EXISTING NON-ORIGINAL PORCH & DOOR (IMAGE 09, SHEET A2)INSTALL NEW WOOD WINDOW WITH STILE & RAIL & PROPORTIONS SIMILAR TO ORIGINAL DOUBLE-HUNG WINDOWS (PROPOSED WINDOW: QUANTUM, LEGACY SERIES)NEW PORCH & ENTRY WITH RAILING & BALUSTERS IN KEEPING WITH FRONT PORCH DETAILS.REMOVE EXISTING ORIGINAL DOOR THAT IS OFFSET (IMAGE 02, SHEET A2)NEW SKYLIGHT IN EXISTING ROOFREPLACE EXISTING NON-ORIGINAL MULLIONED WINDOW W/ NEW WINDOW SIMILAR TO ORIGINAL DOUBLE-HUNG (IMAGE 05, SHEET A2)ADD DORMER WITH WINDOW SIMILAR TO ORIGINAL SINGLE DORMER WITH DOUBLE-HUNG WINDOW (IMAGES 01, 05 & 011, SHEET A2 FOR ORIGINAL DORMER)ORIGINAL LANDMARKED CHIMNEY TO BE RESTORED TO ORIGINAL HEIGHT AND BRICK TOP DESIGN (IMAGES 01 & 11, SHEET A2) PENDING CONSULTATION WITH ENGINEER & MASON.WHERE WINDOWS/DOORS ARE REMOVED/REPLACED, NEW CEDAR BEVEL SIDING WITH 4" REVEAL TO BE FEATHERED IN WITH ORIGINAL CEDAR BEVEL SIDING WITH 4" REVEAL.									
<p>EXISTING SITE PLAN - 3119 S. DAY STREET Scale: 1/8" = 1'-0"</p>		<p>THE THOMPSON-LaTURNER HOUSE 3119 S. DAY STREET SEATTLE, WA 98144</p> <p>GEN INFO & EXISTING SITE PLAN</p> <p>A1</p>							



IMAGE 01: HISTORIC VIEW FROM NORTHEAST



IMAGE 02: PRESENT DAY FROM NORTH



IMAGE 03: PRESENT DAY FROM NORTHWEST



IMAGE 04: PROPOSED DRAINAGE AT EXISTING BRICK FOUNDATION



IMAGE 05: PRESENT DAY FROM WEST, SECOND & THIRD FLOORS



IMAGE 06: PRESENT DAY FROM WEST, MAIN & SECOND FLOORS



IMAGE 07: PRESENT DAY FROM WEST, BASEMENT ENTRY



IMAGE 08: PRESENT DAY FROM SOUTHWEST AT MAIN FLOOR



IMAGE 09: PRESENT DAY, BACK PORCH & STAIR



IMAGE 10: PRESENT DAY, FROM SOUTH AT MAIN FLOOR (KITCHEN)



IMAGE 11: PRESENT DAY FROM EAST, SECOND & THIRD FLOORS



IMAGE 12: HISTORIC VIEW FROM NORTHWEST



IMAGE 13: PRESENT DAY, BAY WINDOW, SOUTHEAST

DESCRIPTION OF WORK:

The goal of the renovations to the Thompson LaTurner house are to maintain the distinct character of the home while also extending the life of the home for the future. The current Owners purchased the home because of its place in Seattle’s history and its distinctive architectural style. No changes will be made to the two-story veranda, mantle-piece of the parlor fireplace or the three-story oak staircase. The Thompson-LaTurner home is on a corner lot and the primary vantage is from the north & east. The exterior changes proposed are mostly on the West & South facades, so not as visible. The intention of the changes proposed is to stay in character with the existing architecture and style of the home.

Basement & Foundations

The existing brick foundations need updating in order for the basement level to be usable. There is no drainage at the foundations, so the interior space is quite damp. We propose to provide a french drain and waterproofing at all the exposed foundation walls (Image 04). In addition, we will provide seismic upgrades to the brick foundation walls from the interior. This work will be done so it is not visible from the exterior, not altering the historic appearance of the home but ensuring the longevity of the structure. The existing below grade basement entry (Image 07), located on the west (side) elevation, will be removed and a new below grade entry located on the south (rear) side of the home will be added.

Kitchen & Sunroom

The existing kitchen is to be remodeled to create an updated kitchen with connection to the dining and sunroom. The existing mechanical chimney will be removed (Image 03) from the dining/kitchen area. To offset this, the Owners would like to rebuild the historic landmarked brick chimney with the decorative top that was taken down by the previous owner and is visible from both the north and east sides of the home (Images 01 & 11). The existing sunroom and pantry (enclosed back porch) will be combined to create a large sunroom. Several windows that are not in keeping with the existing character of the home will be removed (Image 06). The new windows will be in keeping with the original double-hung windows on the main floor in size, material & proportion. They will be laid out like the original porch (Image 12). The existing non-original west & south side porches and entry doors will be removed (Image 06 & 08) and a new porch and entry will be added at the west corner of the South (rear) elevation with detailing in keeping with the railings and newel posts on the original front veranda. Two windows in the kitchen will be removed (Image 10) and replaced with double-hung windows with proportions similar to the tall, thinner windows of the bay window on the southeast corner (Image 13). All this work will occur on the west and south sides of the home which are not visible from the street.

Second Floor Alterations

On the second floor, north (front) elevation, the existing offset exterior door will be replaced with a pair of double-hung windows in keeping with the original double-hung windows. These windows will be centered above the front door below, to look as if they were always there. On the west (side) elevation, three non-original windows will be removed and replaced with double-hung windows in keeping with the original double-hung windows of the second floor. There will be two singles and a pair to create a similar rhythm to the original pair seen on the east side of the house. On the south (rear) side, a non-original window will be removed and replaced with a new double-hung window that is in keeping with the size, proportion and material of the original double-hung windows on the second floor.

Third Floor Alterations

On the west (side) elevation, the larger dormer has two double-hung windows with mullions which are not in keeping with the original windows. These windows will be replaced with two double-hung windows without mullions in the upper sash. On the south (rear) side, a dormer with a single double-hung window will be added to each bedroom. The proposed dormers will be in keeping with the size & detailing of the original single dormers shown on the west and east sides of these rooms.



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THE THOMPSON-LATURNER HOUSE

3119 S. DAY STREET
SEATTLE, WA 98144

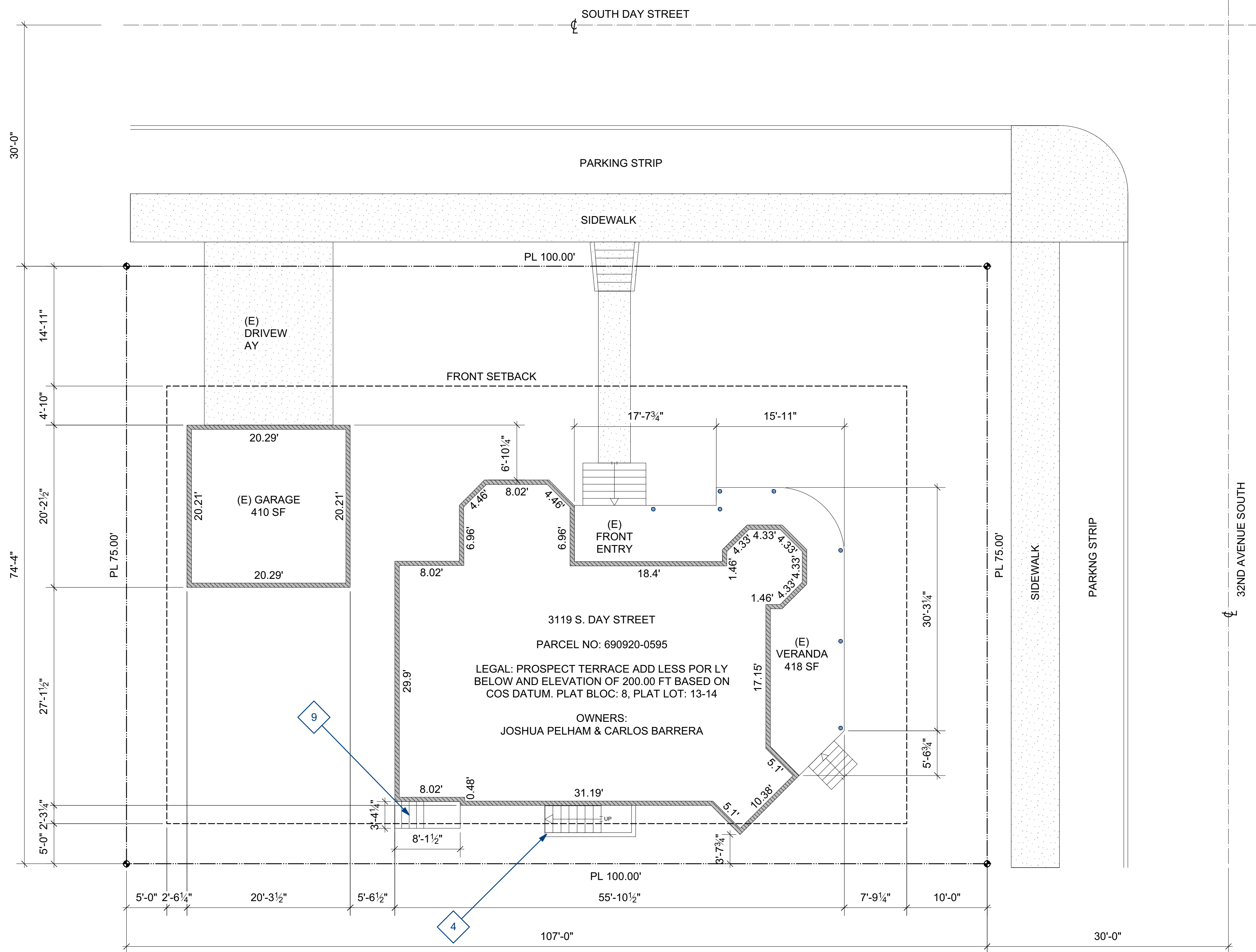
Project Title

DATE: 03/22/2023
LANDMARKS

Sheet Title

DESCRIPTION OF WORK

Sheet No.



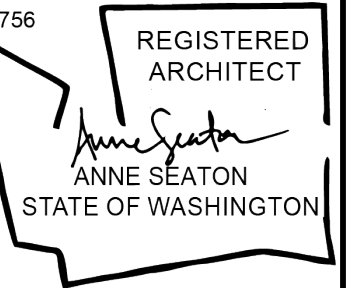
PROPOSED SITE PLAN - 3119 S. DAY STREET
Scale: 1/8" = 1'-0"

SCOPE OF WORK KEY:

1. REMOVE ORIGINAL BELOW GRADE STAIRS & ENTRY (IMAGE 07, SHEET A2)
2. REMOVE EARLY CHIMNEY (IMAGE 03, SHEET A2), ROOF TO BE RE-SHINGLED WITH SIMILAR SHINGLES TO EXISTING ROOF.
3. PROVIDE BELOW GRADE DRAINAGE & INTERIOR SEISMIC RETROFIT TO EXISTING BRICK FOUNDATION WALLS (IMAGE 04, SHEET A2)
4. ADD BELOW GRADE ENTRY & STAIRS
5. REMOVE EXISTING NON-ORIGINAL WINDOW (IMAGE 06 & 10, SHEET A2)
6. REMOVE EXISTING NON-ORIGINAL PORCH & ENTRY (IMAGE 08, SHEET A2)
7. REMOVE EXISTING NON-ORIGINAL PORCH & DOOR (IMAGE 09, SHEET A2)
8. INSTALL NEW WOOD WINDOW WITH STILE & RAIL & PROPORTIONS SIMILAR TO ORIGINAL DOUBLE-HUNG WINDOWS (PROPOSED WINDOW: QUANTUM, LEGACY SERIES)
9. NEW PORCH & ENTRY WITH RAILING & BALUSTERS IN KEEPING WITH FRONT PORCH DETAILS.
10. REMOVE EXISTING ORIGINAL DOOR THAT IS OFFSET (IMAGE 02, SHEET A2)
11. NEW SKYLIGHT IN EXISTING ROOF
12. REPLACE EXISTING NON-ORIGINAL MULLIONED WINDOW W/ NEW WINDOW SIMILAR TO ORIGINAL DOUBLE-HUNG (IMAGE 05, SHEET A2)
13. ADD DORMER WITH WINDOW SIMILAR TO ORIGINAL SINGLE DORMER WITH DOUBLE-HUNG WINDOW (IMAGES 01, 05 & 011, SHEET A2 FOR ORIGINAL DORMER)
14. ORIGINAL LANDMARKED CHIMNEY TO BE RESTORED TO ORIGINAL HEIGHT AND BRICK TOP DESIGN (IMAGES 01 & 11, SHEET A2) PENDING CONSULTATION WITH ENGINEER & MASON.
15. WHERE WINDOWS/DOORS ARE REMOVED/REPLACED, NEW CEDAR BEVEL SIDING WITH 4" REVEAL TO BE FEATHERED IN WITH ORIGINAL CEDAR BEVEL SIDING WITH 4" REVEAL.



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3119 S. DAY STREET
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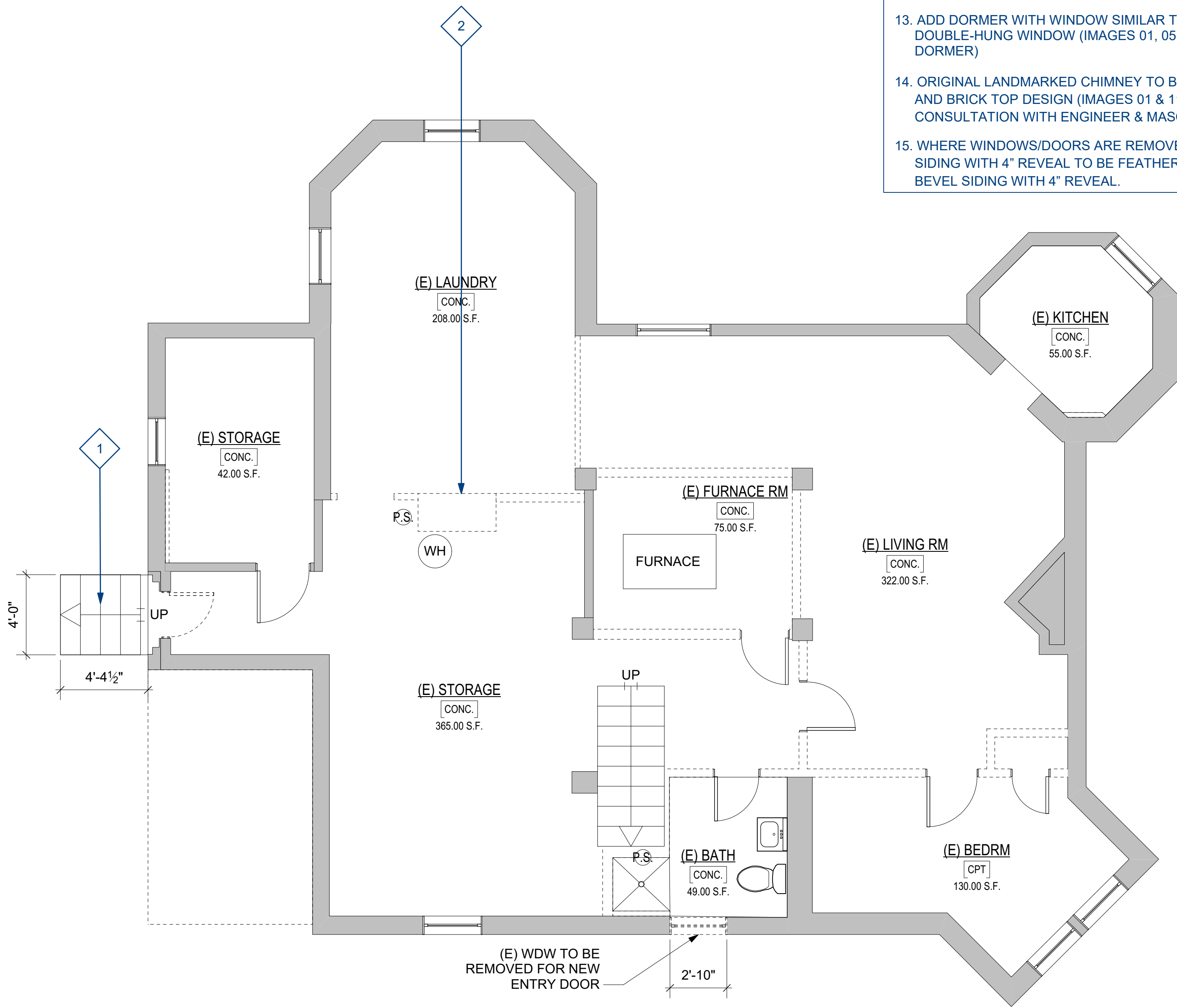
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PROPOSED SITE PLAN

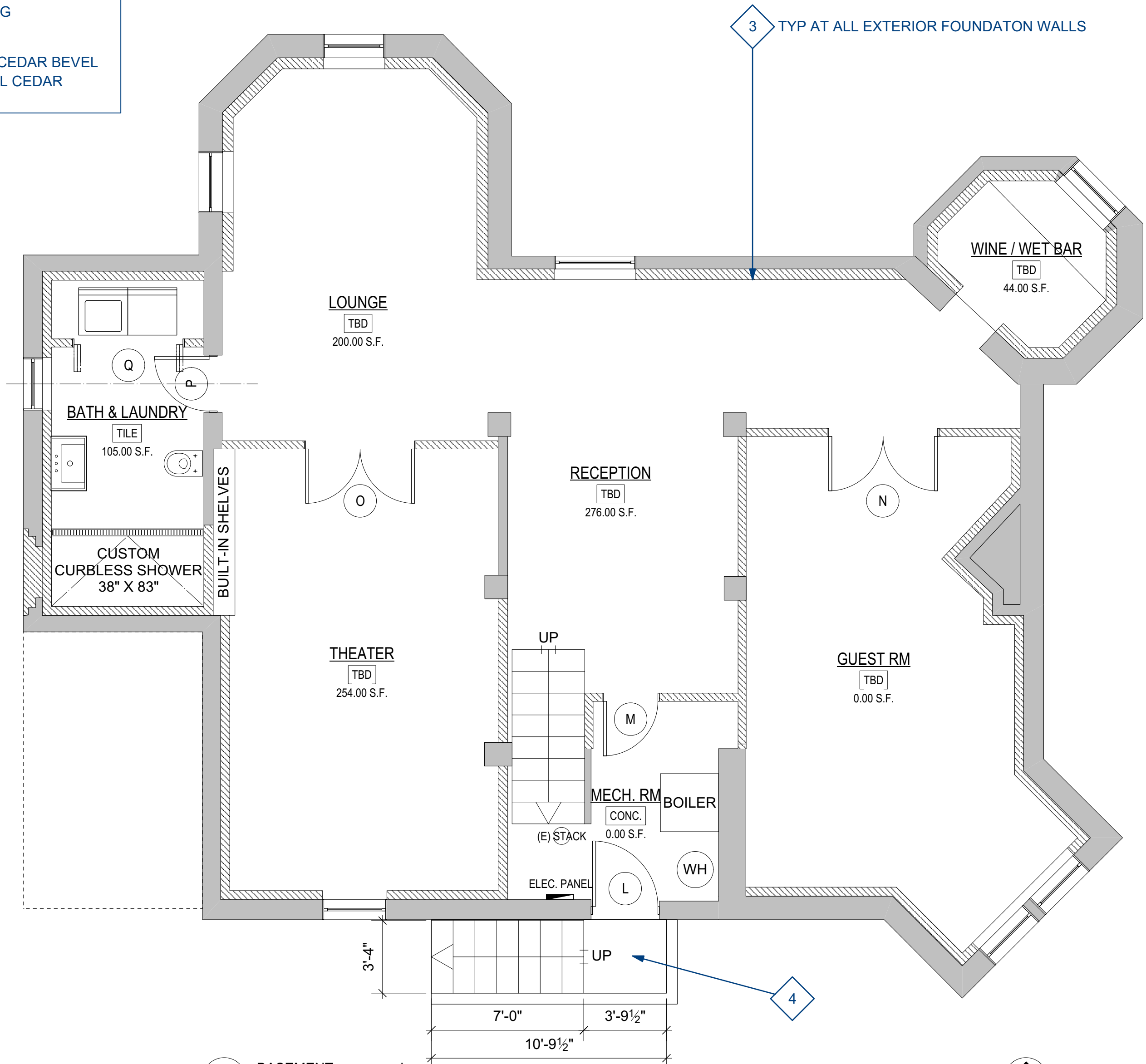
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A3

- SCOPE OF WORK KEY:**
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a BASEMENT - existing
Scale: 1/4" = 1'-0"



b BASEMENT - proposed
Scale: 1/4" = 1'-0"



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THE THOMPSON-LaTURNER HOUSE

Project Title

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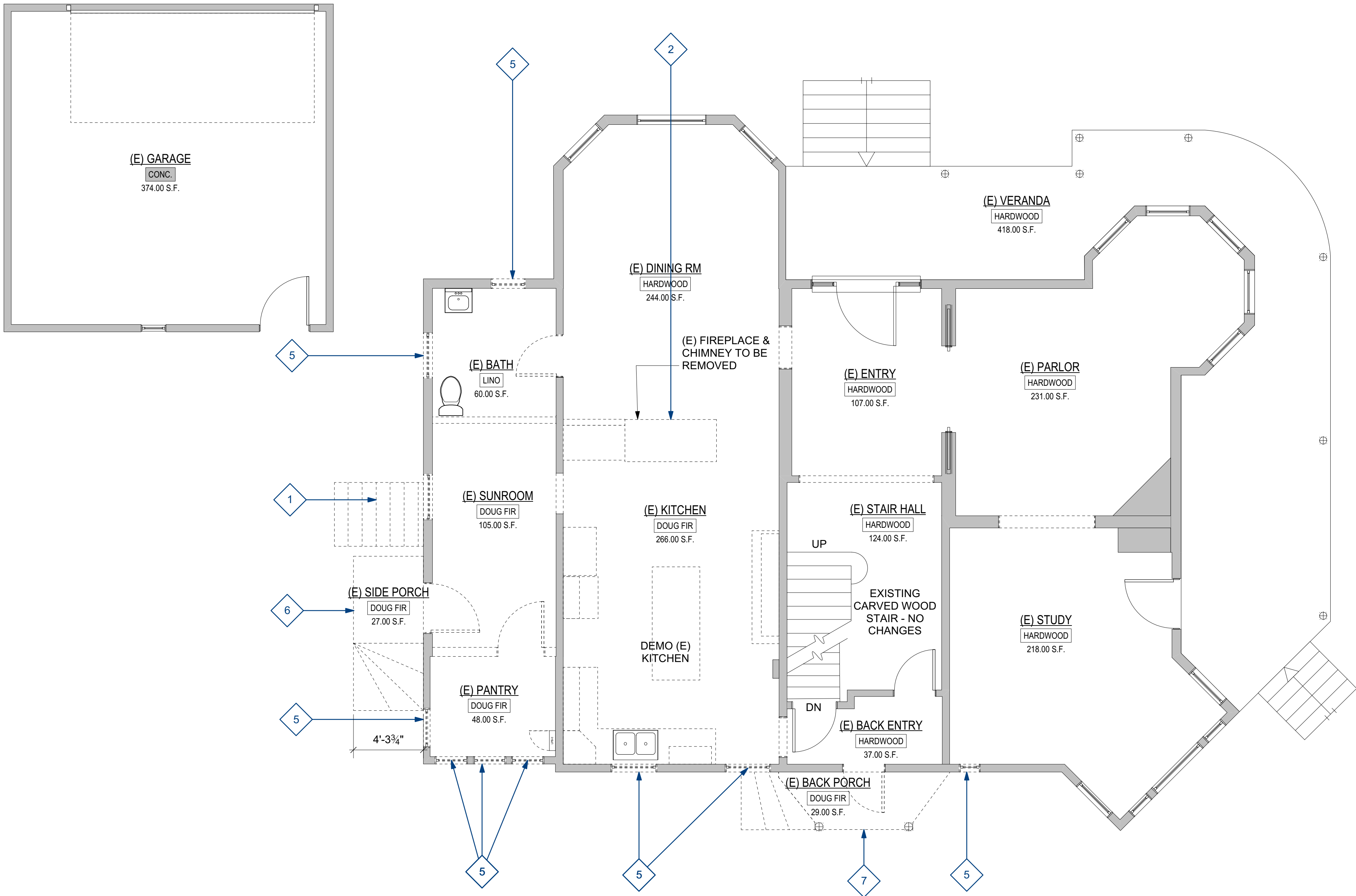
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BASEMENT FLOOR PLANS

Sheet No.

A4

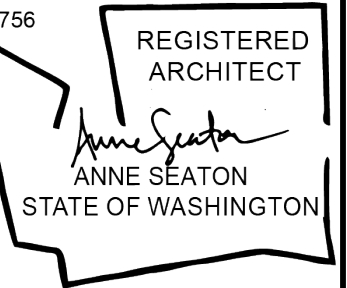
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a MAIN FLOOR - existing
Scale: 1/4" = 1'-0"



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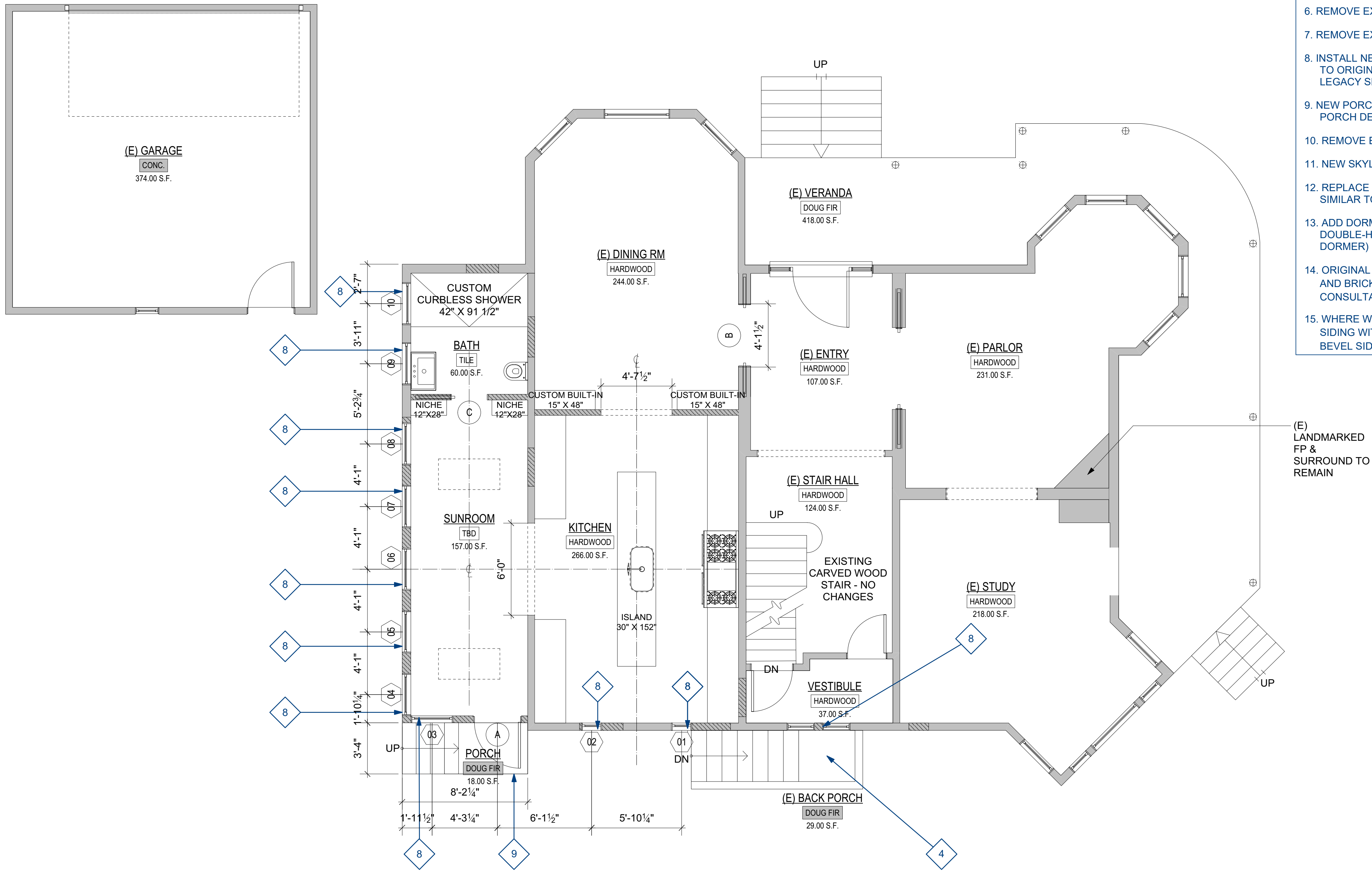


THE THOMPSON-LaTURNER HOUSE
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Project Title
DATE: 03/22/2023
LANDMARKS

Sheet Title
MAIN FLOOR PLAN

Sheet No.
A5



b MAIN FLOOR - proposed
Scale: 1/4" = 1'-0"



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THE THOMPSON-LaTURNER HOUSE

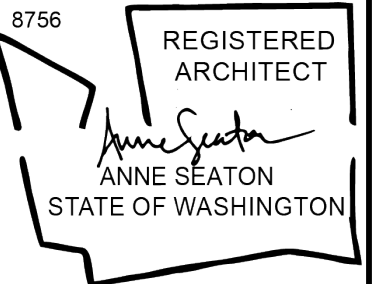
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MAIN FLOOR PLAN - proposed

Sheet No.



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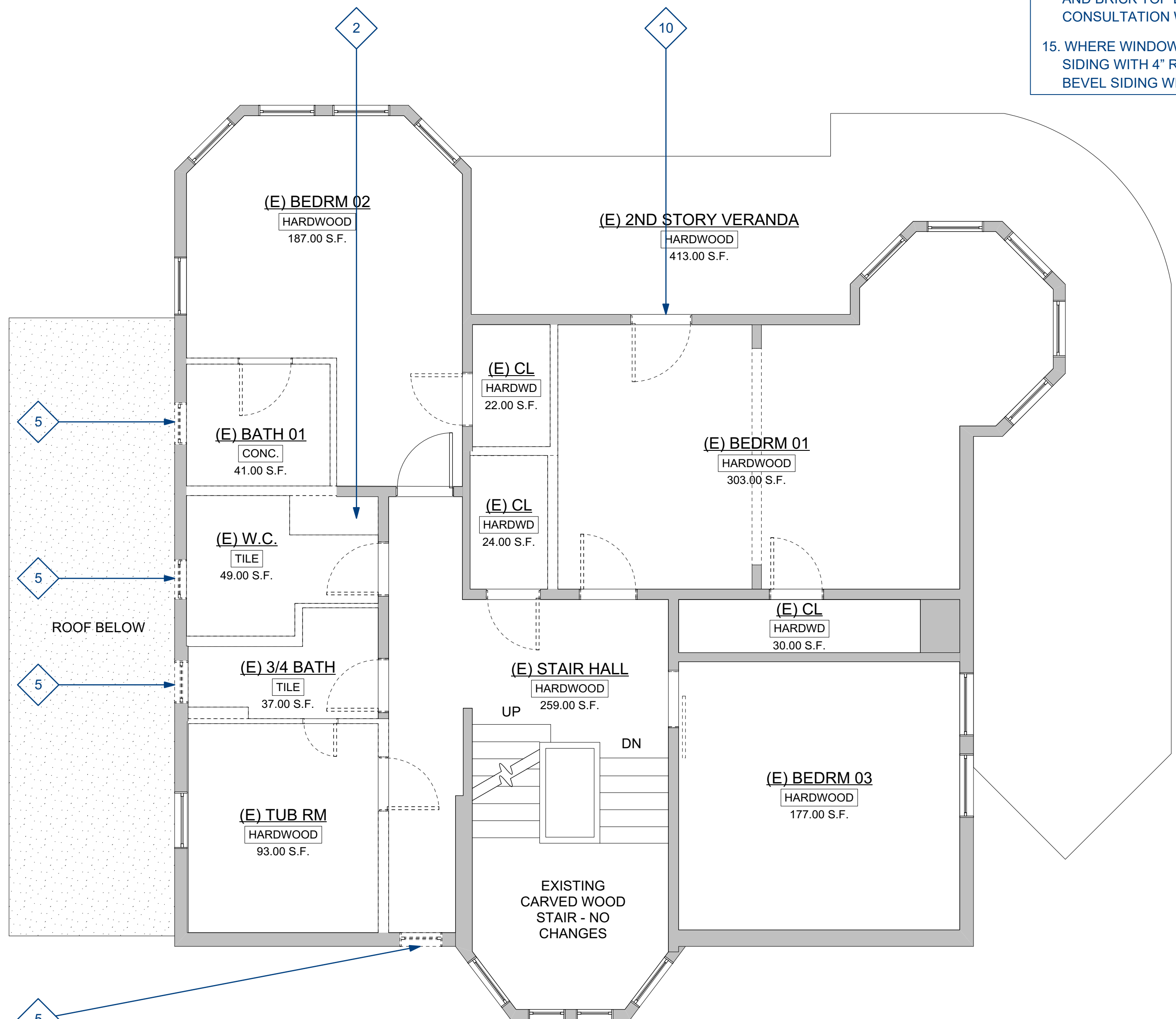
SECOND FLOOR PLANS

Sheet No.

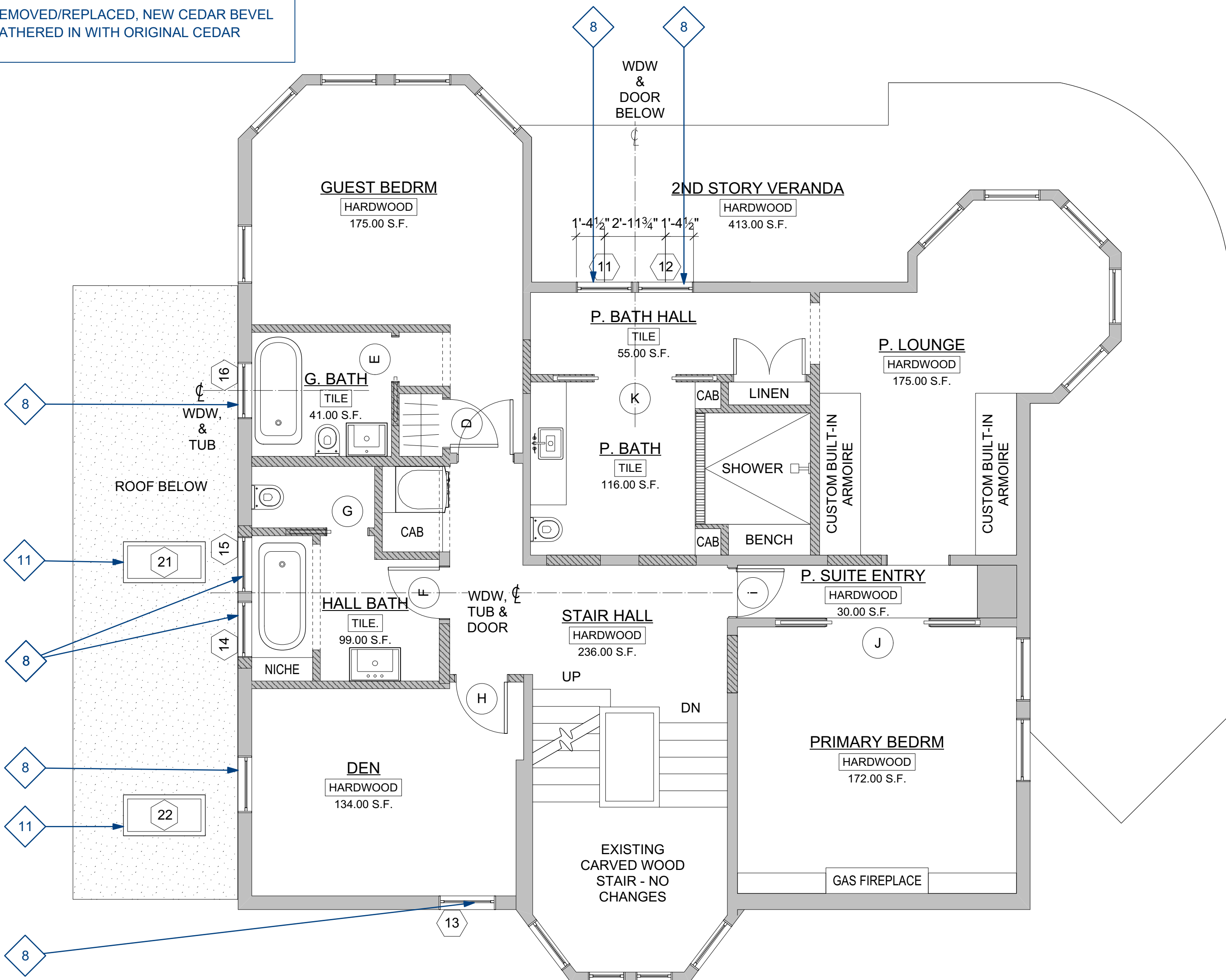
A7

SCOPE OF WORK KEY:

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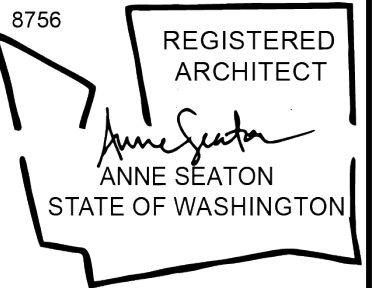
a SECOND FLOOR - existing & demo
Scale: 1/4" = 1'-0"



b SECOND FLOOR - proposed
Scale: 1/4" = 1'-0"



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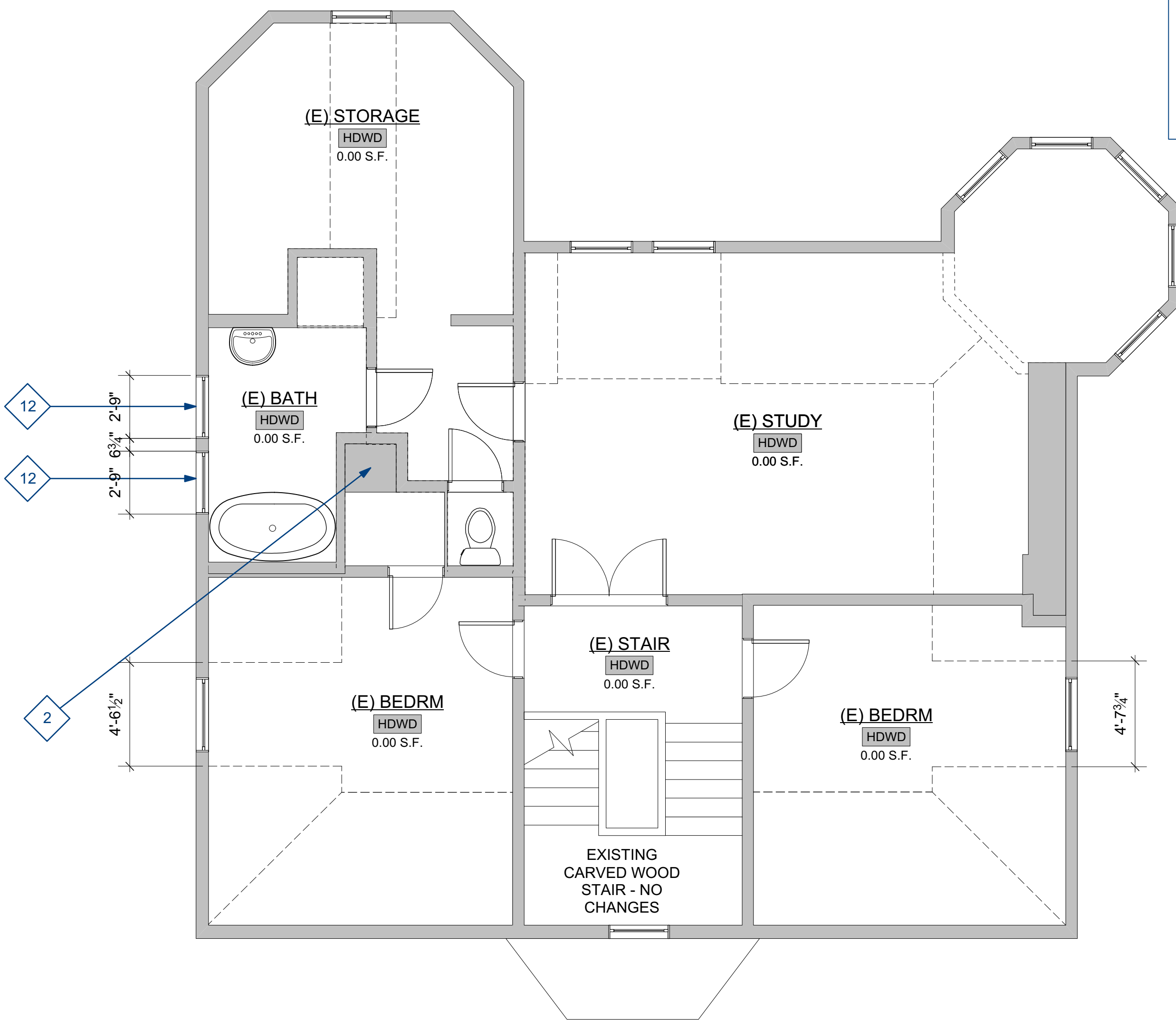
THIRD FLOOR PLANS

Sheet No.

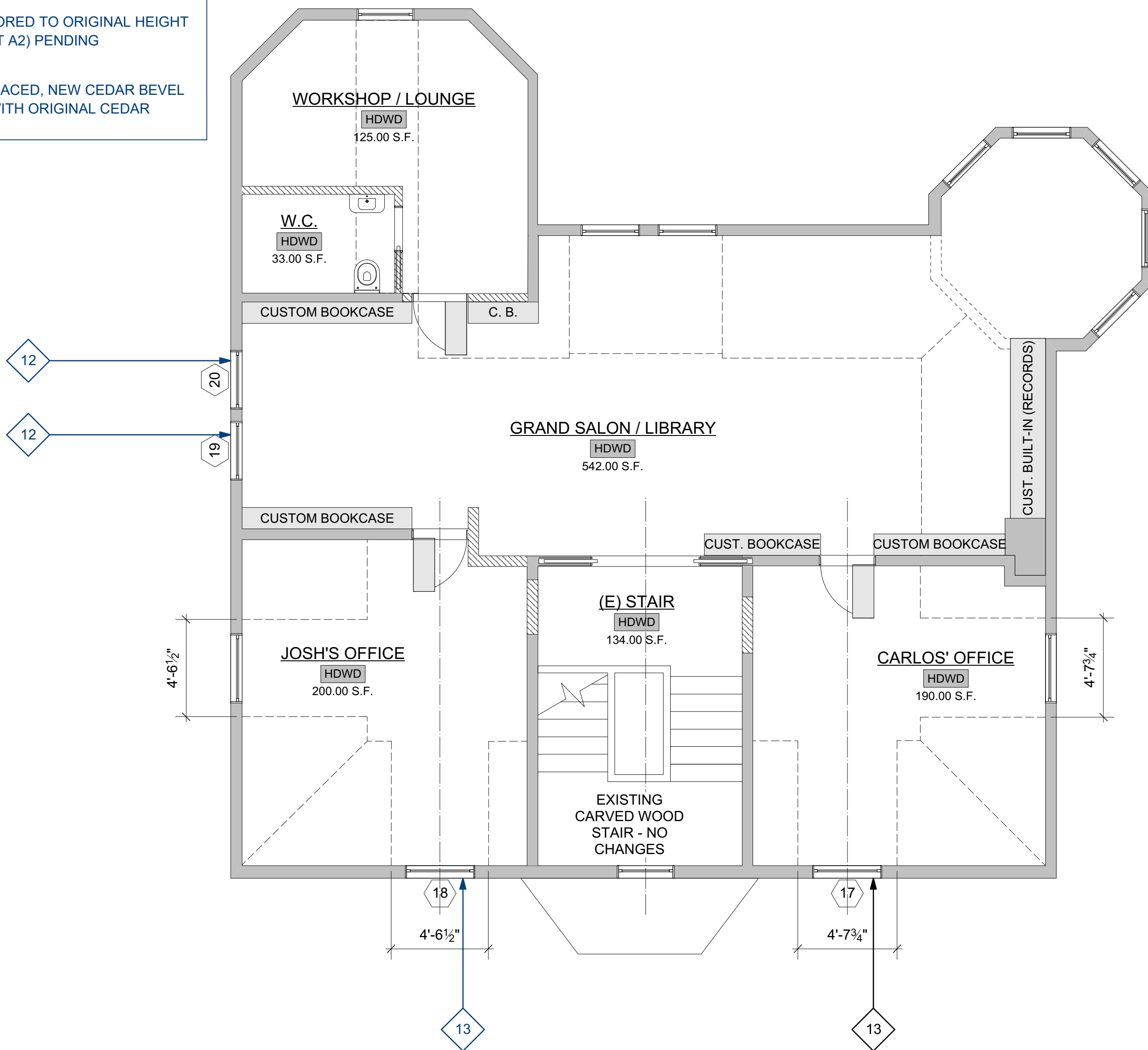
A8

SCOPE OF WORK KEY:

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a THIRD FLOOR PLAN - existing
Scale: 1/4" = 1'-0"



b THIRD FLOOR PLAN - proposed
Scale: 1/4" = 1'-0"





REGISTERED
ARCHITECT
Anne Seaton
ANNE SEATON
STATE OF WASHINGTON

THE THOMPSON-LA TURNER HOUSE

PON-LA IURI
3119 S. DAY STREET
SEATTLE, WA 98144

03/22/2023
LANDMARKS

de

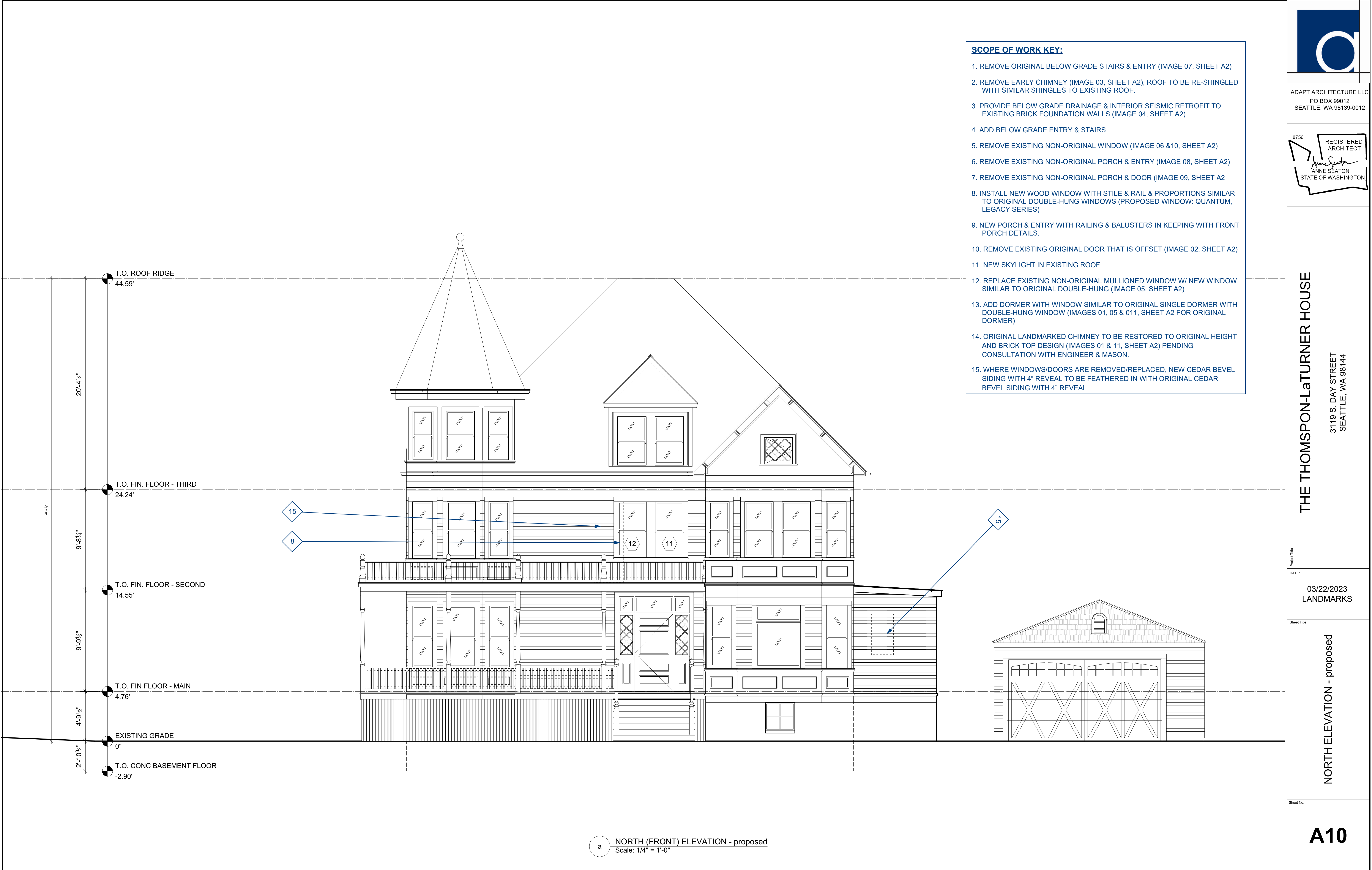
NORTH ELEVATION - existing

A9

SCOPE OF WORK KEY:

1. REMOVE ORIGINAL BELOW GRADE STAIRS & ENTRY (IMAGE 07, SHEET A2)
2. REMOVE EARLY CHIMNEY (IMAGE 03, SHEET A2), ROOF TO BE RE-SHINGLED WITH SIMILAR SHINGLES TO EXISTING ROOF.
3. PROVIDE BELOW GRADE DRAINAGE & INTERIOR SEISMIC RETROFIT TO EXISTING BRICK FOUNDATION WALLS (IMAGE 04, SHEET A2)
4. ADD BELOW GRADE ENTRY & STAIRS
5. REMOVE EXISTING NON-ORIGINAL WINDOW (IMAGE 06 & 10, SHEET A2)
6. REMOVE EXISTING NON-ORIGINAL PORCH & ENTRY (IMAGE 08, SHEET A2)
7. REMOVE EXISTING NON-ORIGINAL PORCH & DOOR (IMAGE 09, SHEET A2)
8. INSTALL NEW WOOD WINDOW WITH STILE & RAIL & PROPORTIONS SIMILAR TO ORIGINAL DOUBLE-HUNG WINDOWS (PROPOSED WINDOW: QUANTUM, LEGACY SERIES)
9. NEW PORCH & ENTRY WITH RAILING & BALUSTERS IN KEEPING WITH FRONT PORCH DETAILS.
10. REMOVE EXISTING ORIGINAL DOOR THAT IS OFFSET (IMAGE 02, SHEET A2)
11. NEW SKYLIGHT IN EXISTING ROOF
12. REPLACE EXISTING NON-ORIGINAL MULLIONED WINDOW W/ NEW WINDOW SIMILAR TO ORIGINAL DOUBLE-HUNG (IMAGE 05, SHEET A2)
13. ADD DORMER WITH WINDOW SIMILAR TO ORIGINAL SINGLE DORMER WITH DOUBLE-HUNG WINDOW (IMAGES 01, 05 & 011, SHEET A2 FOR ORIGINAL DORMER)
14. ORIGINAL LANDMARKED CHIMNEY TO BE RESTORED TO ORIGINAL HEIGHT AND BRICK TOP DESIGN (IMAGES 01 & 11, SHEET A2) PENDING CONSULTATION WITH ENGINEER & MASON.
15. WHERE WINDOWS/DOORS ARE REMOVED/REPLACED, NEW CEDAR BEVEL SIDING WITH 4" REVEAL TO BE FEATHERED IN WITH ORIGINAL CEDAR BEVEL SIDING WITH 4" REVEAL.





T.O. ROOF RIDGE
44.59'

20'-4 1/4"

T.O. FIN. FLOOR - THIRD
24.24'

9'-8 1/4"

T.O. FIN. FLOOR - SECOND
14.55'

9'-9 1/2"

T.O. FIN FLOOR - MAIN
4.76'

4'-9 1/2"

EXISTING GRADE
0"

2'-10 3/4"

T.O. CONC BASEMENT FLOOR
-2.90'

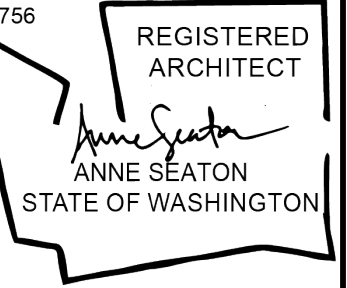


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a EAST (SIDE) ELEVATION - existing
Scale: 1/4" = 1'-0"



ADAPT ARCHITECTURE LLC
PO BOX 99012
SEATTLE, WA 98139-0012



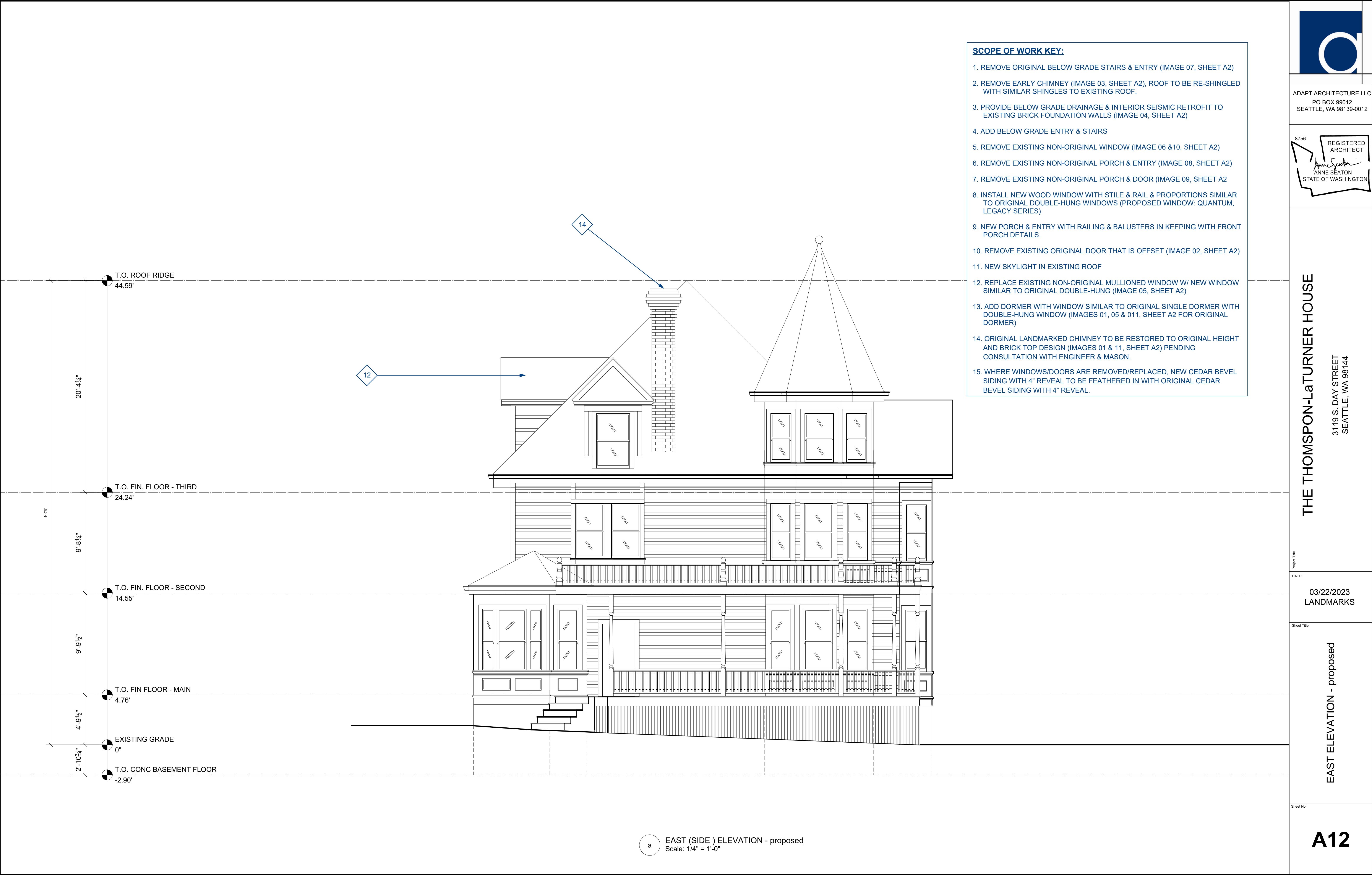
THE THOMPSON-LaTURNER HOUSE
3119 S. DAY STREET
SEATTLE, WA 98144

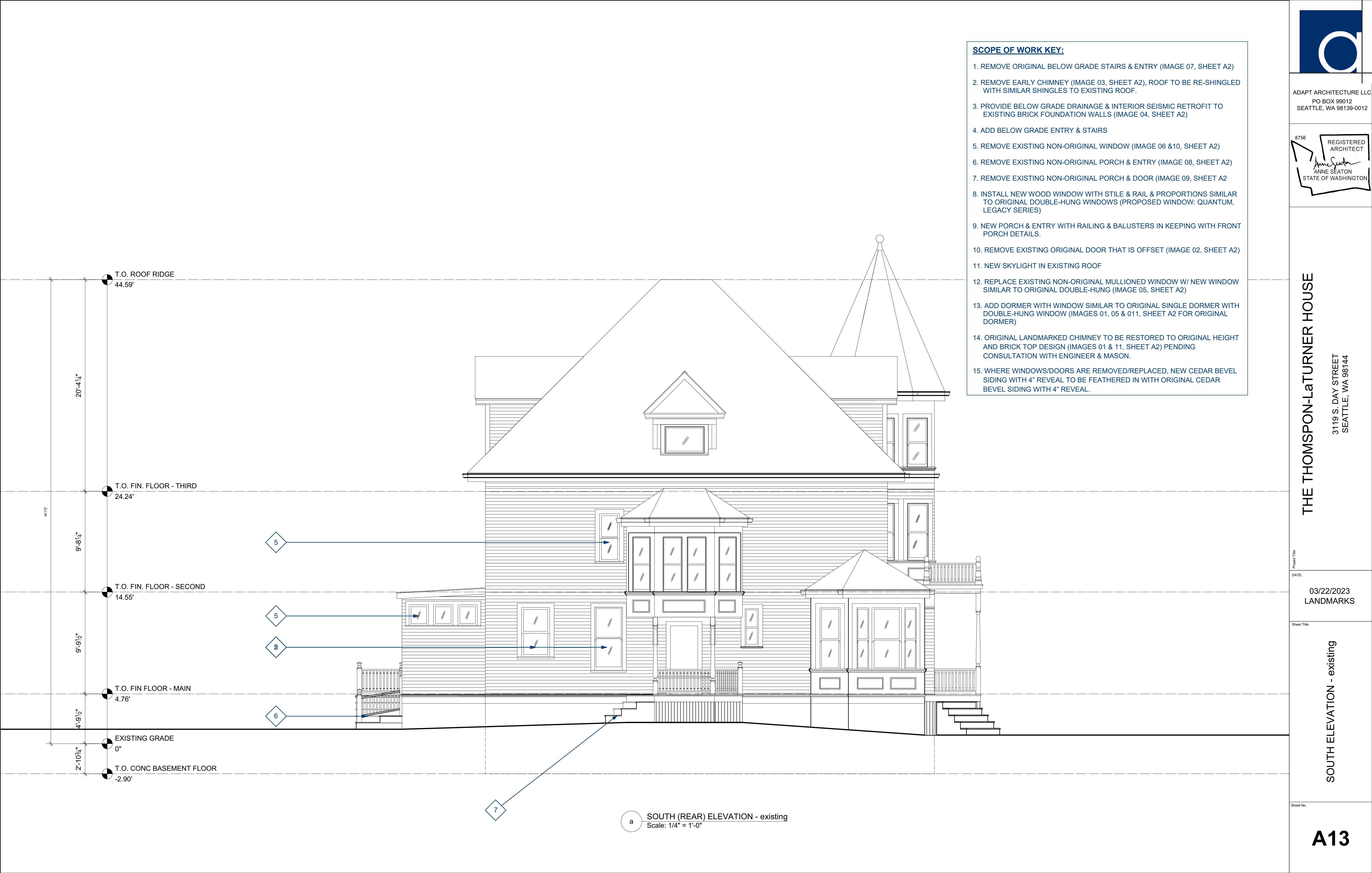
Project Title
DATE: 03/22/2023
LANDMARKS

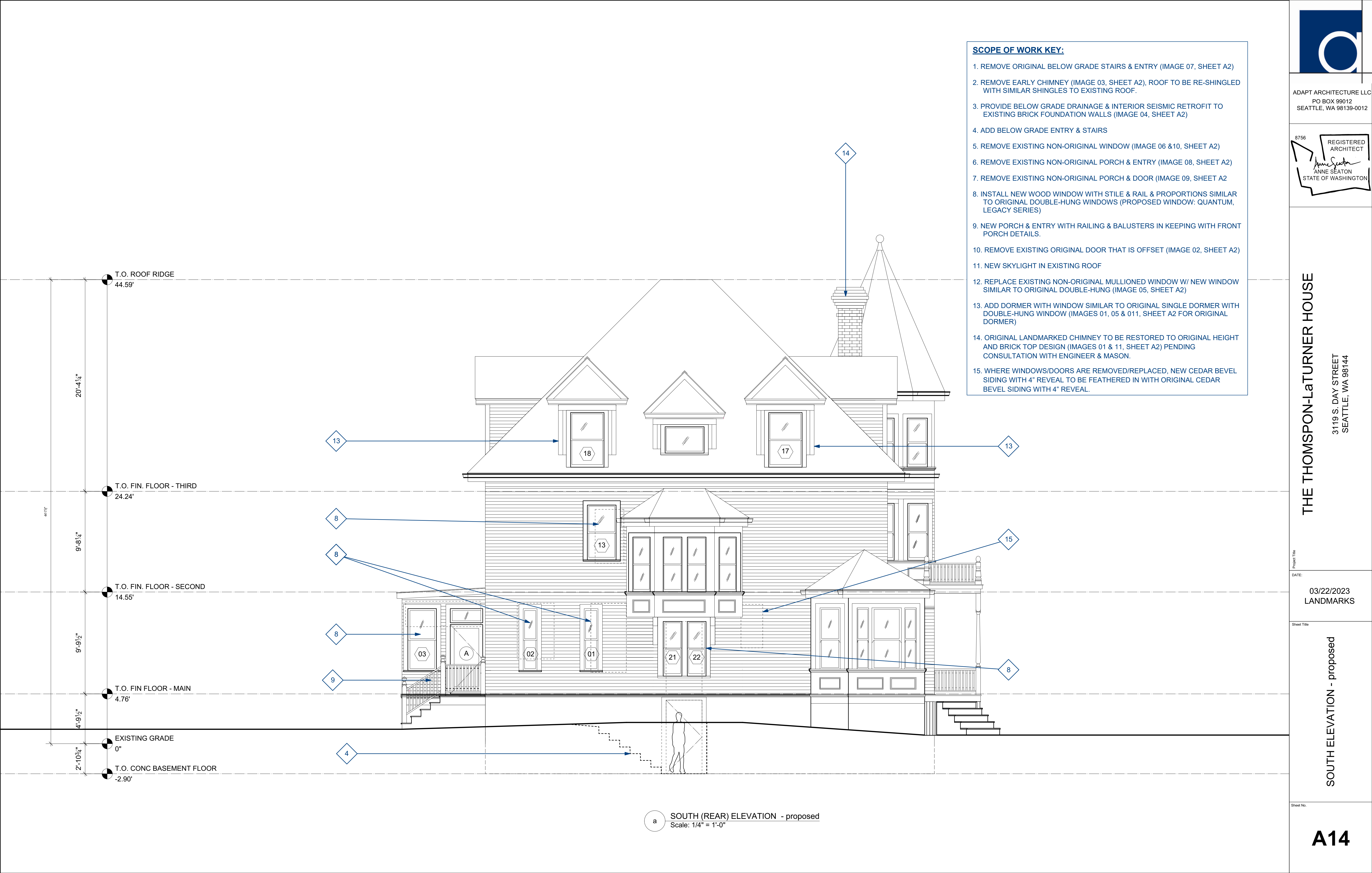
Sheet Title
EAST ELEVATION - existing

Sheet No.

A11



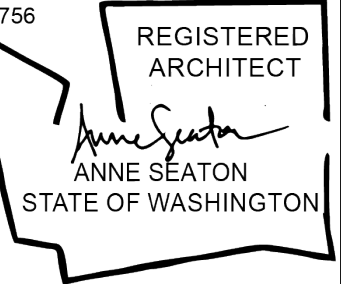




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THE THOMPSON-LaTURNER HOUSE
3119 S. DAY STREET
SEATTLE, WA 98144

Project Title
DATE: 03/22/2023
LANDMARKS

Sheet Title
SOUTH ELEVATION - proposed

Sheet No.

A14



REGISTERED
ARCHITECT
Anne Seaton
ANNE SEATON
STATE OF WASHINGTON

THE THOMPSON-LA TURNER HOUSE

SEATTLE, WA 98144

03/22/2023
LANDMARKS

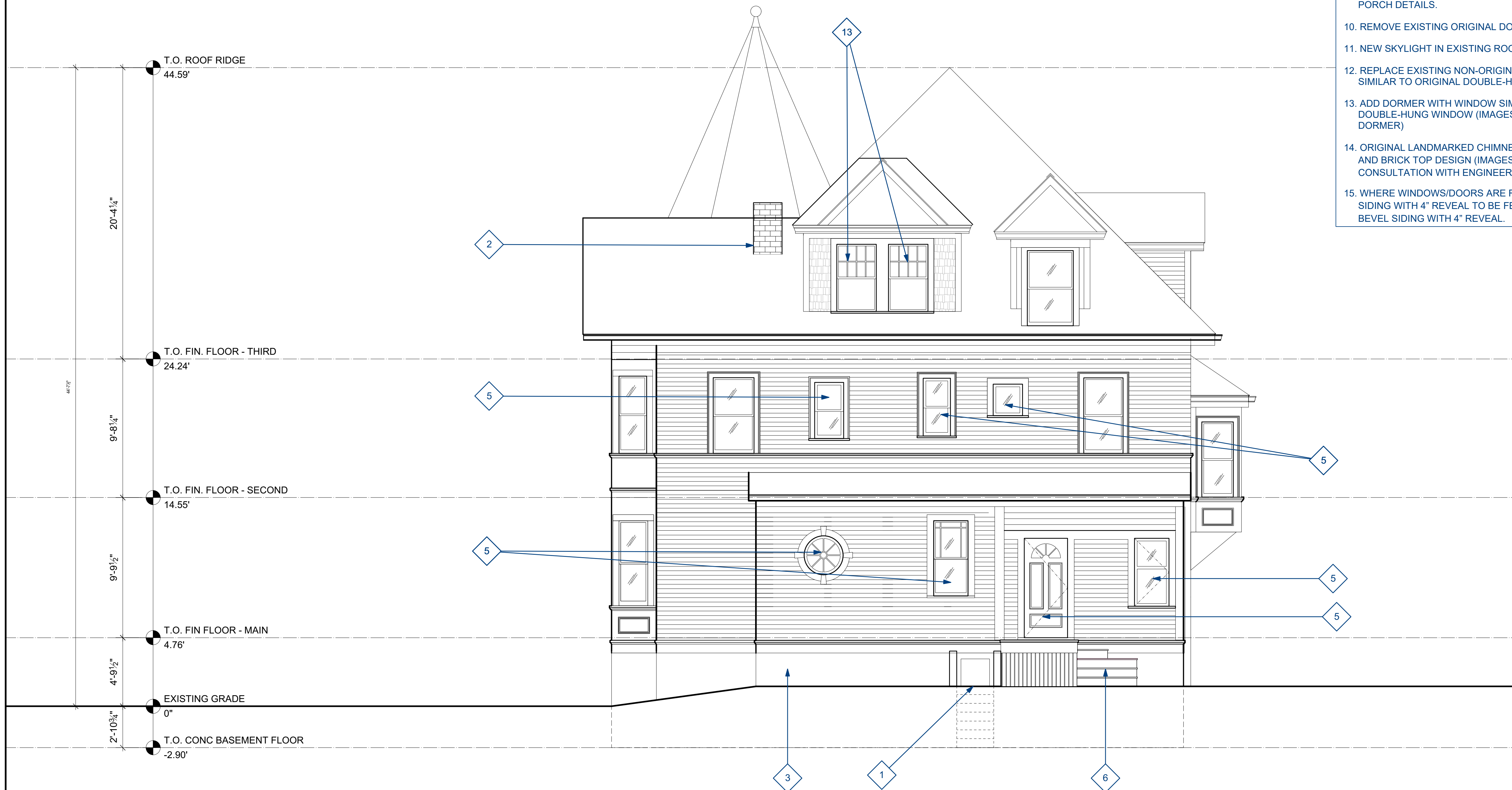
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WEST ELEVATION - existing

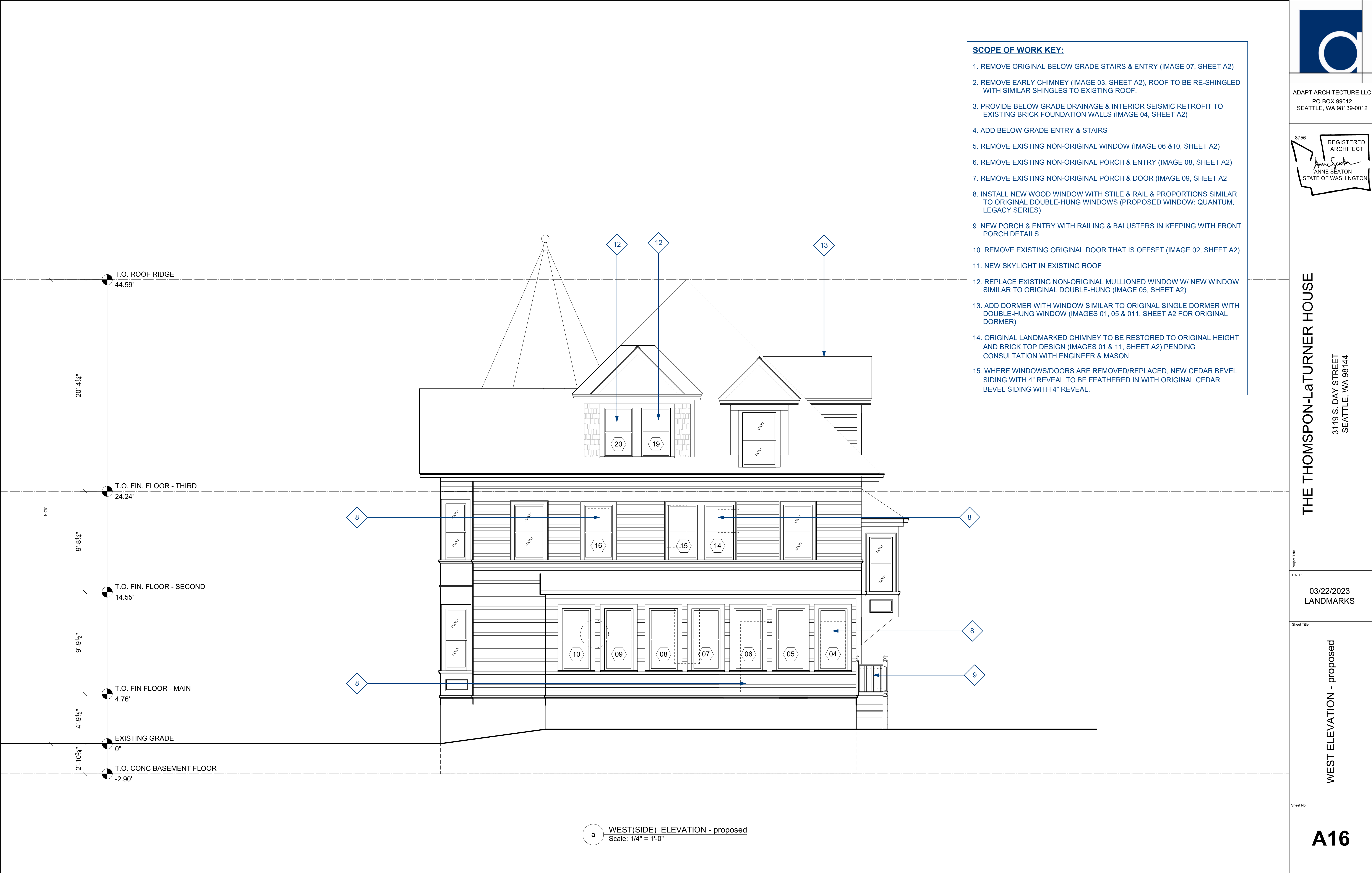
A15

SCOPE OF WORK KEY:

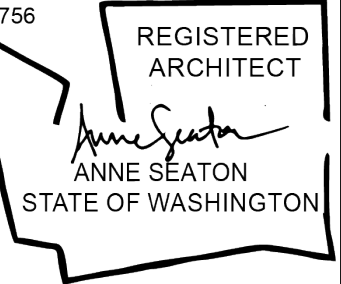
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Scale: 1/4" = 1'-0"



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LANDMARKS

Sheet Title

WEST ELEVATION - proposed

Sheet No.

A16