

# SHEET INDEX

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# ABBREVIATIONS

@	AT	GALV	GALVANIZED	PT	PRESSURE TREATED
ABV	ABOVE	GWB	GYPSUM WALL BOARD	PWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	GYP	GYPSUM	RD	ROOF DRAIN
ALT	ALTERNATE	HB	HOSE BIB	REC	RECOMMENDED
ALUM	ALUMINUM	HC	HANDICAP	REF	REFERENCE, REFER
ARCH	ARCHITECTURAL	HGT	HEIGHT	REINF	REINFORCED
ASPH	ASPHALT	HORIZ	HORIZONTAL	REQD	REQUIRED
ASSY	ASSEMBLY	HT	HIGH TEMPERATURE	RO	ROUGH OPENING
BGALV	BONDERIZED GALVANIZED	INSUL	INSULATION	R&R	REMOVE AND REINSTALL
BLDG	BUILDING	INST	INSTALL, INSTALLER	SAF	SELF-ADHERED FLASHING
BLKG	BLOCKING	INT	INTERIOR	SCHED	SCHEDULE, SCHEDULED
BLW	BELOW	JT	JOINT	SF	SQUARE FEET
BM	BEAM	LOC	LOCATION	SG	SAFETY GLASS
BO	BOTTOM OF	MATL	MATERIAL	SHT	SHEET
BOT	BOTTOM	MAX	MAXIMUM	SPEC	SPECIFICATION
CONT	CONTINUOUS	MECH	MECHANICAL	SGD	SLIDING GLASS DOOR
DET, DTL	DETAIL	MED	MEDIUM	SHTG	SHEATHING
DIA	DIAMETER	MEMB	MEMBRANE	SIM	SIMILAR
DIM	DIMENSION	MFR	MANUFACTURER	SS	STAINLESS STEEL
DN	DOWN	MTL	METAL	STD	STANDARD
DS	DOWNSPOUT	MIN	MINIMUM	STRUC	STRUCTURAL
DWG	DRAWINGS	MIR	MIRROR	TBD	TO BE DETERMINED
EA	EACH	MISC	MISCELLANEOUS	T&G	TONGUE & GROOVE
ELEV	ELEVATION OR ELEVATOR	MTD	MOUNTED	TYP	TYPICAL
EQ	EQUAL	NA	NOT APPLICABLE	UON	UNLESS OTHERWISE NOTED
EXT	EXTERIOR	NO	NUMBER	VERT	VERTICAL
(E), EXIST	EXISTING	NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
FFE	FINISH FLOOR ELEVATION	O/V	OVER	W/	WITH
FIN	FINISH	OC	ON CENTER	WD	WOOD
FLASH	FLASHING	OPNG	OPENING	WIN, WDW	WINDOW
FND	FOUNDATION	OPP	OPPOSITE	WP	WATERPROOF
FT	FOOT	PERP	PERPENDICULAR	WPM	WATERPROOFING MEMBRANE
FR	FIRE RESISTIVE, FIRE RATED	PREP	PREPARE	WRB	WEATHER RESISTIVE BARRIER
GA	GAUGE	PTD	PAINTED		

# PROJECT INFORMATION

**SITE ADDRESS:**  
300 PINE ST SEATTLE, WA 98101

**ZONING:** DRC 85-170

**CONSTRUCTION TYPE:** type 1

**OCCUPANCY TYPE:** B over M - RETAIL/OFFICE BUILDING

**APPLICABLE CODES:** 2018 IBC, 2018 WSEC, 2018 IEBC

**PARCEL NUMBER:** 863423-0000

**YEAR BUILT:** 1910

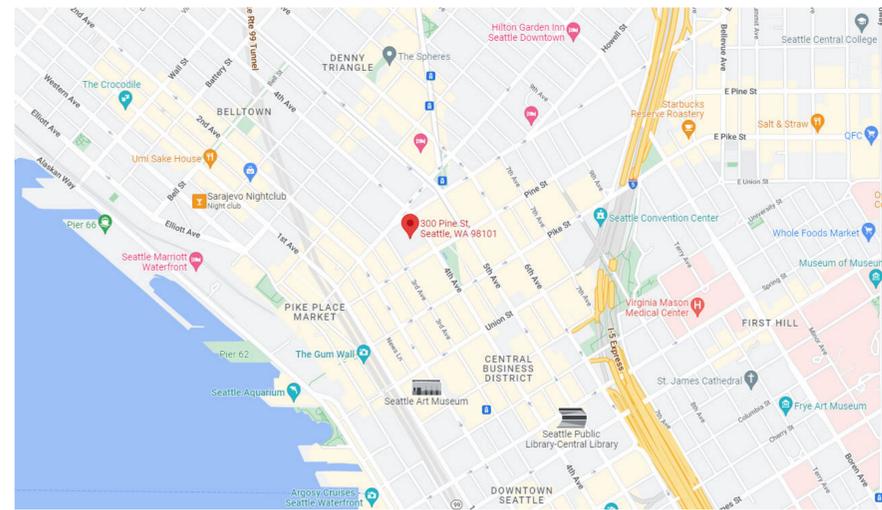
**# OF BUILDINGS:** 1

**LOT SIZE:** 81,176 SF

## DESCRIPTION OF WORK:

- Restoration of the following work in the base bid of the contract
  - Masonry cladding - Clean and seal- Limestone and precast concrete panels
  - grout joints
  - Sealant joints
  - decorative screens,
  - wood windows,
  - Louvers and wood window frames at louvers
  - Awning suspension rod restoration
  - inspection drops at each elevation segment
  - street use permits
- Restoration of the following work under specified allowance and/or alternate bid
  - Masonry cladding beyond base bid work
    - Crack repair
    - Loose masonry patch repair
    - Cladding stone replacement / repair
    - Helical anchor placement and installation
    - Skyward facing grout joints at projected level 2 sill condition at the roof coping
  - Wood Window repairs (including specific louver elements)
  - Decorative screen reattachment to the building / and misc flashing requirements
  - Miscellaneous wall anchor conditions
  - Awning gutter cleaning and spot repairs (Alternate bid)

**OWNER:**  
NAME: Urban Renaissance Group LLC  
ADDRESS: 1425 Fourth Avenue | Suite 200  
CITY, STATE ZIPCODE: Seattle, Wa, 98101  
PHONE: 206 530 0285  
EMAIL: [www.urbanrengroup.com](mailto:www.urbanrengroup.com)



## VICINITY MAP

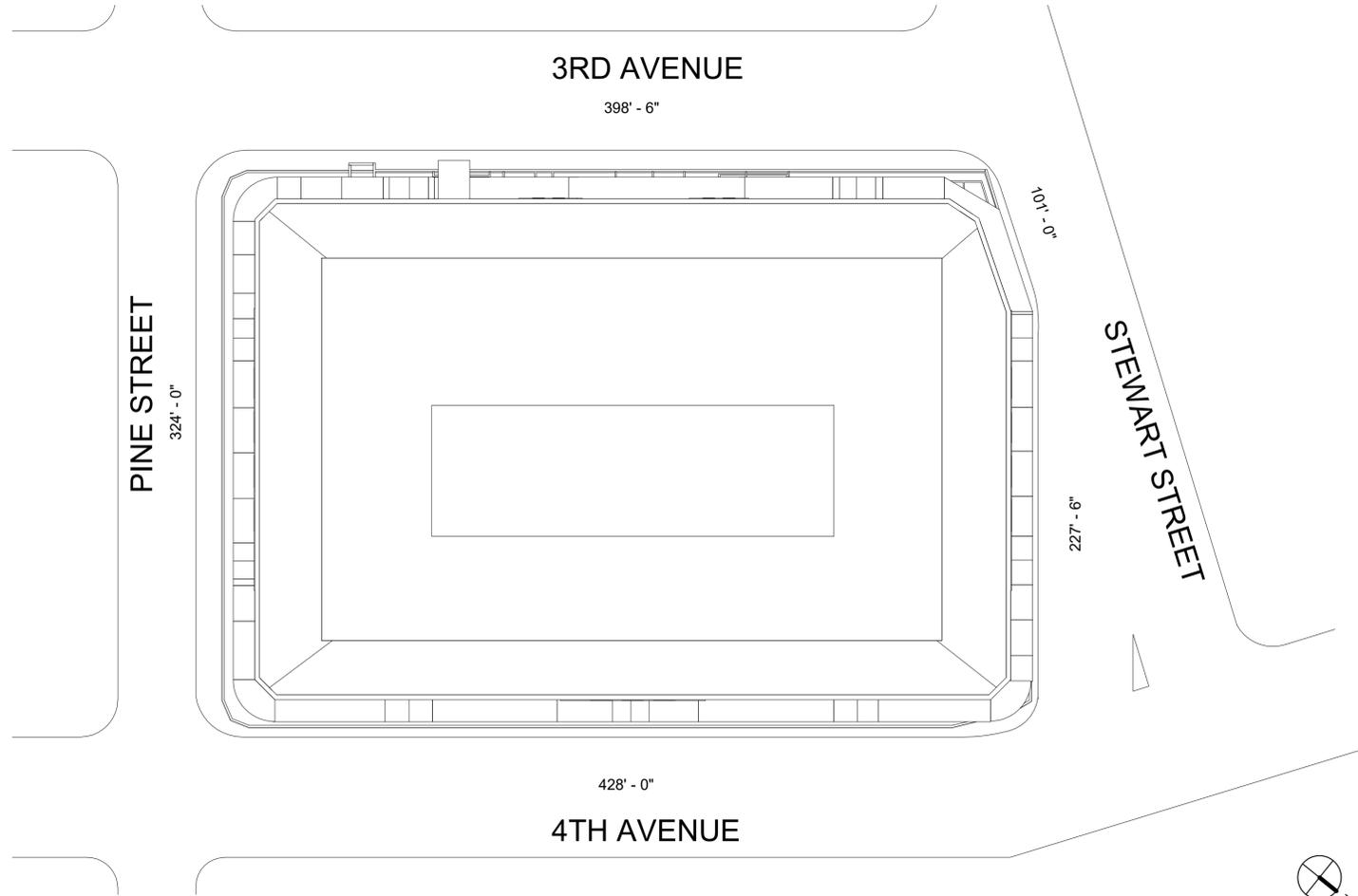
# CODE REVIEW NOTES

### GENERAL:

- THE PROJECT SHALL COMPLY WITH 2018 IEBC, AND 2018 WSEC, COMMERCIAL PROVISIONS
- OCCUPANCY GROUP: M AND B (RETAIL AND OFFICE) - NO OTHER OCCUPANCIES
- CONSTRUCTION TYPE: 1
- BUILDING EGRESS IS NOT IMPACTED BY THE SCOPE OF WORK. NO CHANGES TO THE BUILDING HEIGHT, STRUCTURE, FOOTPRINT, FLOOR PLAN/INTERIORS, ETC. ARE PROPOSED. NEW WINDOW, DOOR, OR OTHER OPENINGS ARE PROPOSED.
- ELEVATIONS SHOW GENERAL CLADDING MATERIAL CONFIGURATIONS AS THEY PERTAIN TO THE SCOPE OF WORK. ALL OF THE WORK, INCLUDING BUT NOT LIMITED TO MASONRY UNIT REPAIRS, GROUT JOINT RE-POINTING, WINDOW AND DECORATIVE SCREEN RESTORATION SHALL BE COMPLETED IN ACCORDANCE WITH THE DEPARTMENT OF NEIGHBORHOODS' CERTIFICATE OF APPROVAL.

# GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, AND MANUFACTURER'S INSTRUCTIONS. REPORT ANY DISCREPANCIES TO ARCHITECT.
- APPLICABLE CODES INCLUDE THE 2018 SEATTLE BUILDING CODE (SIBC), THE 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC), AND 2018 WASHINGTON STATE ENERGY CODE (WSEC), COMMERCIAL PROVISIONS.
- CONTRACTOR SHALL VERIFY CONDITIONS ON SITE BEFORE BEGINNING WORK AND REPORT ANY DISCREPANCIES TO ARCHITECT.
- QUANTITIES ARE INDICATED IN THE BASIC WORK AND ALLOWANCES FOR THE CONTRACTORS INFORMATION ONLY. (SEE TOTAL SUMMARY QUANTITIES BELOW) CONTRACTOR SHALL VERIFY ALL RELEVANT QUANTITIES ARE INCLUDED IN THE BASIC EXTENT OF THE WORK, AND FOR ANY ALLOWANCE BASE PAY APPLICATIONS.
- ASSUME ALL ITEMS REFERENCED OR DETAILED HEREIN ARE NEW UNLESS SPECIFICALLY NOTED AS EXISTING.
- THE CONTRACTOR SHALL BE FAMILIAR w/ THESE DRAWINGS AND DETAILS AND SHALL ENSURE THAT THEIR WORKERS HAVE THE EXPERIENCE, TRAINING AND SKILLS REQUIRED TO EXECUTE THE WORK.
- SUBMIT REQUEST FOR INFORMATION (RFI) TO THE ARCHITECT. SUBMIT ANY CHANGES IN THE CONTRACT VALUE IN THE FORM OF A CHANGE ORDER PROPOSAL TO THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL OPERATIONS WITH THE OWNER AND ARCHITECT, INCLUDING AREAS FOR WORK, MATERIALS STORAGE, ACCESS TO AND FROM THE WORK, SPECIAL CONDITIONS OR NOISY WORK, TIMING OF WORK, INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES AND RELOCATION OF EXISTING EQUIPMENT, CASEWORK, FIXTURES, FITTINGS, ETC. PROTECT LANDSCAPING & FIXTURES.
- ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT AND SERVICES DISRUPTED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED AND REPLACED UNLESS NOTED OTHERWISE.
- EXISTING WORK DAMAGED AS A RESULT OF WORK PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION AND FINISHED TO MATCH ADJACENT FINISHES, SUBJECT TO TENANT'S APPROVAL, AT NO ADDITIONAL COST TO THE TENANT. PATCH ALL DISTURBED AND/OR DAMAGED ITEMS AS REQUIRED TO ACCOMPLISH NEW WORK AS REQUIRED FOR FINISHED APPEARANCE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER IMAGES AND ILLUSTRATIONS.
- DO NOT INSTALL DAMAGED OR DEFECTIVE MATERIAL(S).
- REFER TO MATERIAL DATA SHEETS AND MANUFACTURER'S INSTRUCTIONS BEFORE INSTALLING ANY NEW MATERIALS.
- PROVIDE GALVANIC SEPARATION MATERIAL BETWEEN DISSIMILAR METALS.
- NOTIFY THE ARCHITECT OF ANY PREVIOUSLY UNDISCOVERED DAMAGE, DEFICIENCIES OR THREATS THAT COMPROMISE THE FIRE AND/OR LIFE SAFETY OF THE BUILDING OCCUPANTS.
- CONTRACTOR SHALL PROMPTLY REPAIR ANY ACCIDENTAL DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL REMOVE DEBRIS AND TRASH FROM THE SITE IMMEDIATELY. KEEP THE BUILDING AND GROUNDS CLEAN AND FREE OF REFUSE AT ALL TIMES.
- CONTRACTOR SHALL DOCUMENT PRE-EXISTING CONDITIONS FOR REFERENCING DURING NEW CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCOVERED MOLD OR OTHER ORGANIC GROWTH DURING THE COURSE OF WORK.
- ALL FLASHING SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL AND TO REDIRECT IT TO THE EXTERIOR.
- ALL WALL PENETRATIONS SHALL BE TARGET FLASHED.
- APPLICATION OF ALL OF SEALANTS, GROUT, ANCHORS AND PATCHES AND CLEANING AND SEALING, SHALL MEET MANUFACTURER REQUIREMENTS.



# 1 SITE PLAN

SCALE: 1" = 40'-0"



# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

# PROJECT INFO

CERTIFICATE OF APPROVAL APPLICATION

# A-01

EVOLUTION ARCHITECTURE

3100 AIRPORT WAY SOUTH  
SEATTLE, WA 98134  
P: 206.588.1282

E: [info@evolutionarchitecture.net](mailto:info@evolutionarchitecture.net)

**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET

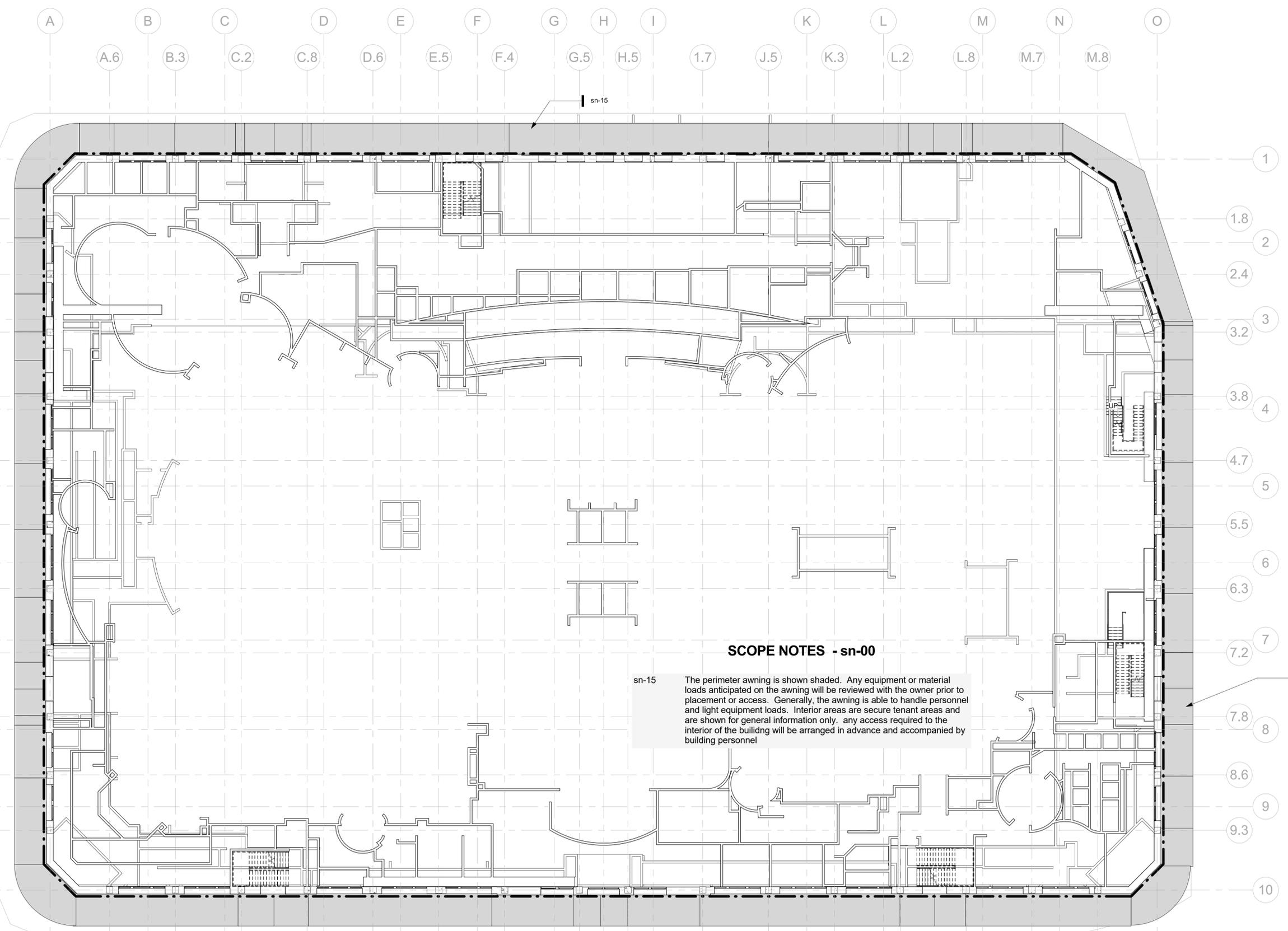


REVISION SCHEDULE	
REV	DESCRIPTION

2200901

FLOOR PLAN LVL 2

**A-104**



**SCOPE NOTES - sn-00**

sn-15 The perimeter awning is shown shaded. Any equipment or material loads anticipated on the awning will be reviewed with the owner prior to placement or access. Generally, the awning is able to handle personnel and light equipment loads. Interior areas are secure tenant areas and are shown for general information only. any access required to the interior of the building will be arranged in advance and accompanied by building personnel

**300 PINE ST - EXTERIOR RESTORATION**

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01/23/23  
C.O.A. SET

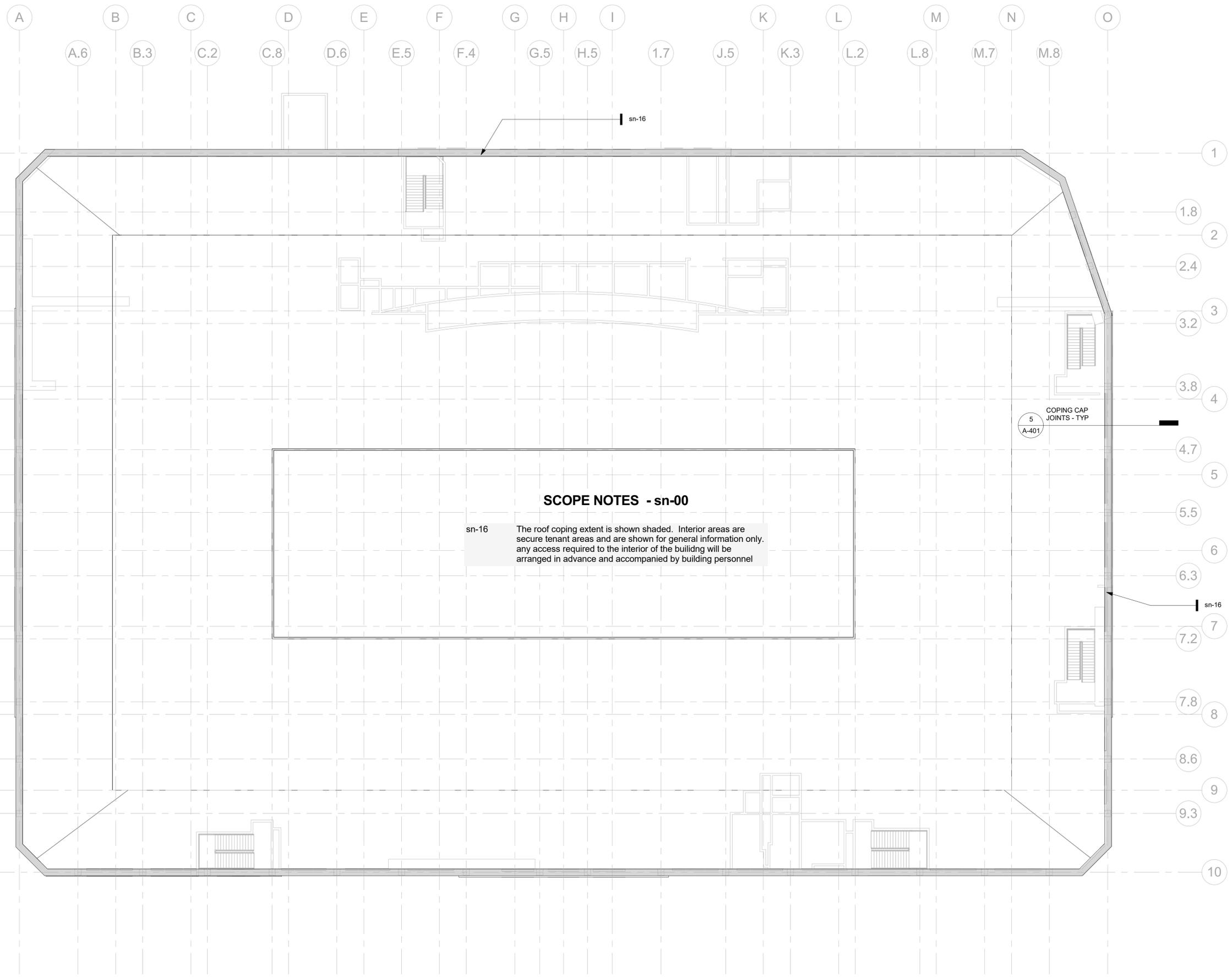


REVISION SCHEDULE	
REV	DESCRIPTION

2200901

**ROOF PLAN**

**A-111**



1 T.O. PARAPET  
1/16" = 1'-0"

**300 PINE ST - EXTERIOR RESTORATION**

**SCOPE NOTES - sn-00**

sn-17 The existing building was developed in two major phases over time. The initial 4 story construction in the early 1900's used a natural stone cladding panel. The contractor shall verify the type of stone used. Basis of Design is limestone. The additional stories added as a later date are a pre-cast concrete panel. The contractor shall submit pre-cast samples for those areas where full or partial replacement is required.

300 PINE ST. SEATTLE, WA 98101

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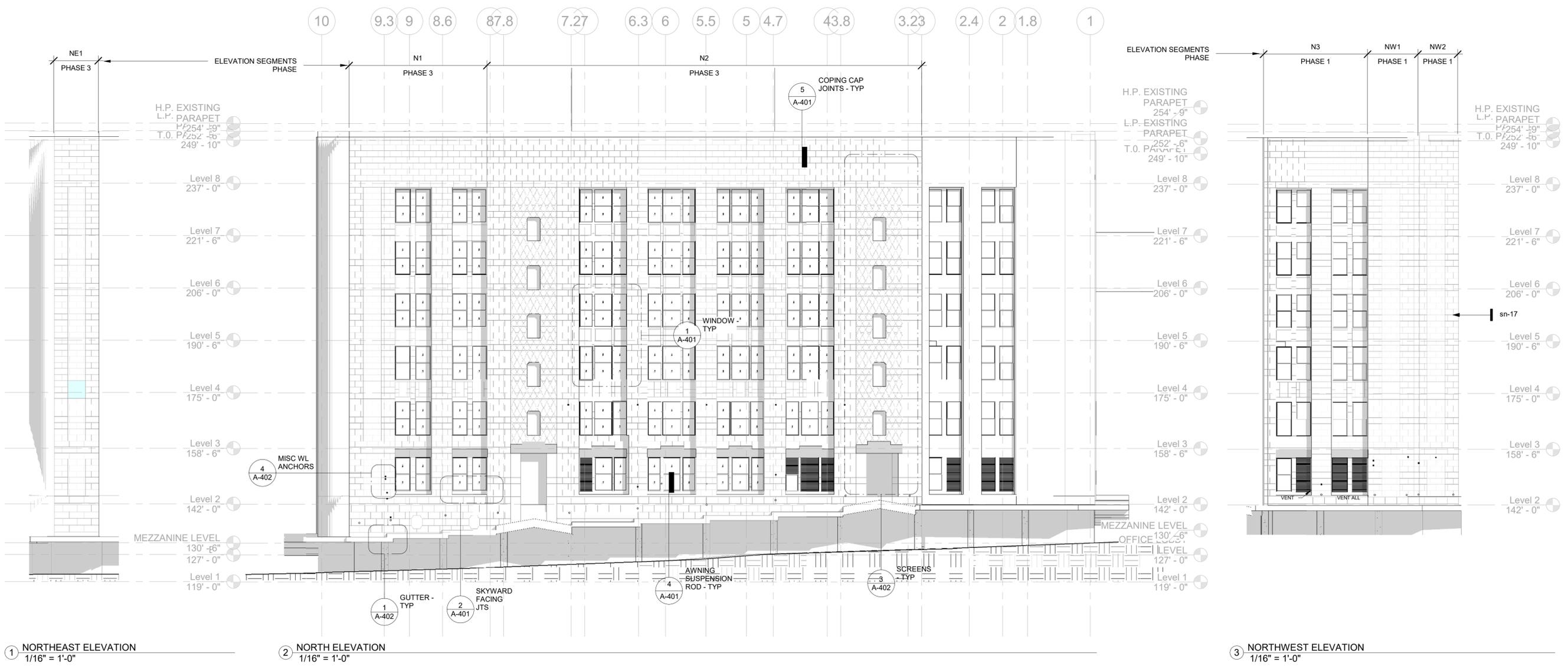


REVISION SCHEDULE	
REV	DESCRIPTION

2200901

**NORTH ELEVATION**

**A-201**



1 **NORTHEAST ELEVATION**  
1/16" = 1'-0"

2 **NORTH ELEVATION**  
1/16" = 1'-0"

3 **NORTHWEST ELEVATION**  
1/16" = 1'-0"

**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

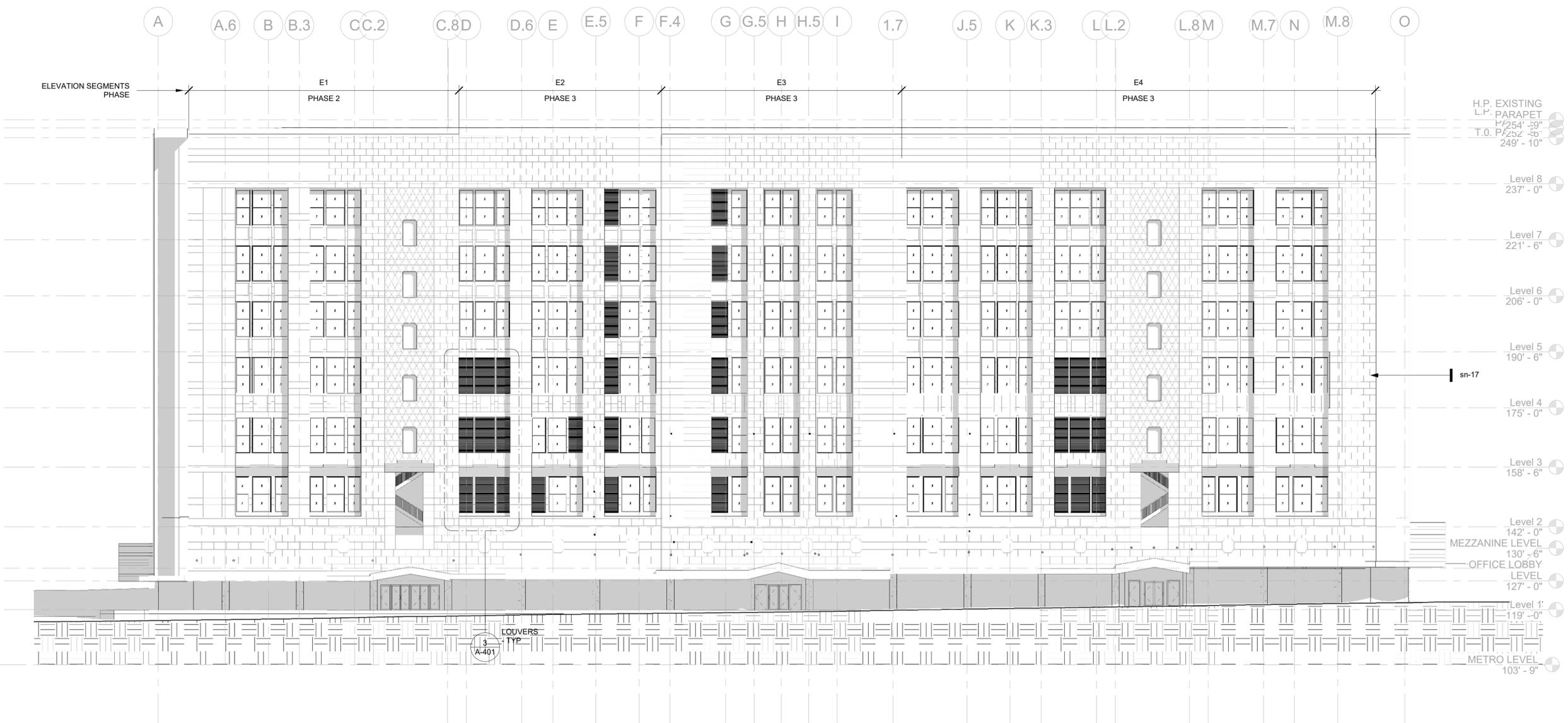
2200901

**EAST ELEVATION**

**A-202**

**SCOPE NOTES - sn-00**

sn-17 The existing building was developed in two major phases over time. The initial 4 story construction in the early 1900's used a natural stone cladding panel. The contractor shall verify the type of stone used. Basis of Design is limestone. The additional stories added as a later date are a pre-cast concrete panel. The contractor shall submit pre-cast samples for those areas where full or partial replacement is required.



① EAST ELEVATION  
1/16" = 1'-0"

**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

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REVISION SCHEDULE	
REV	DESCRIPTION

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**SOUTH ELEVATION**

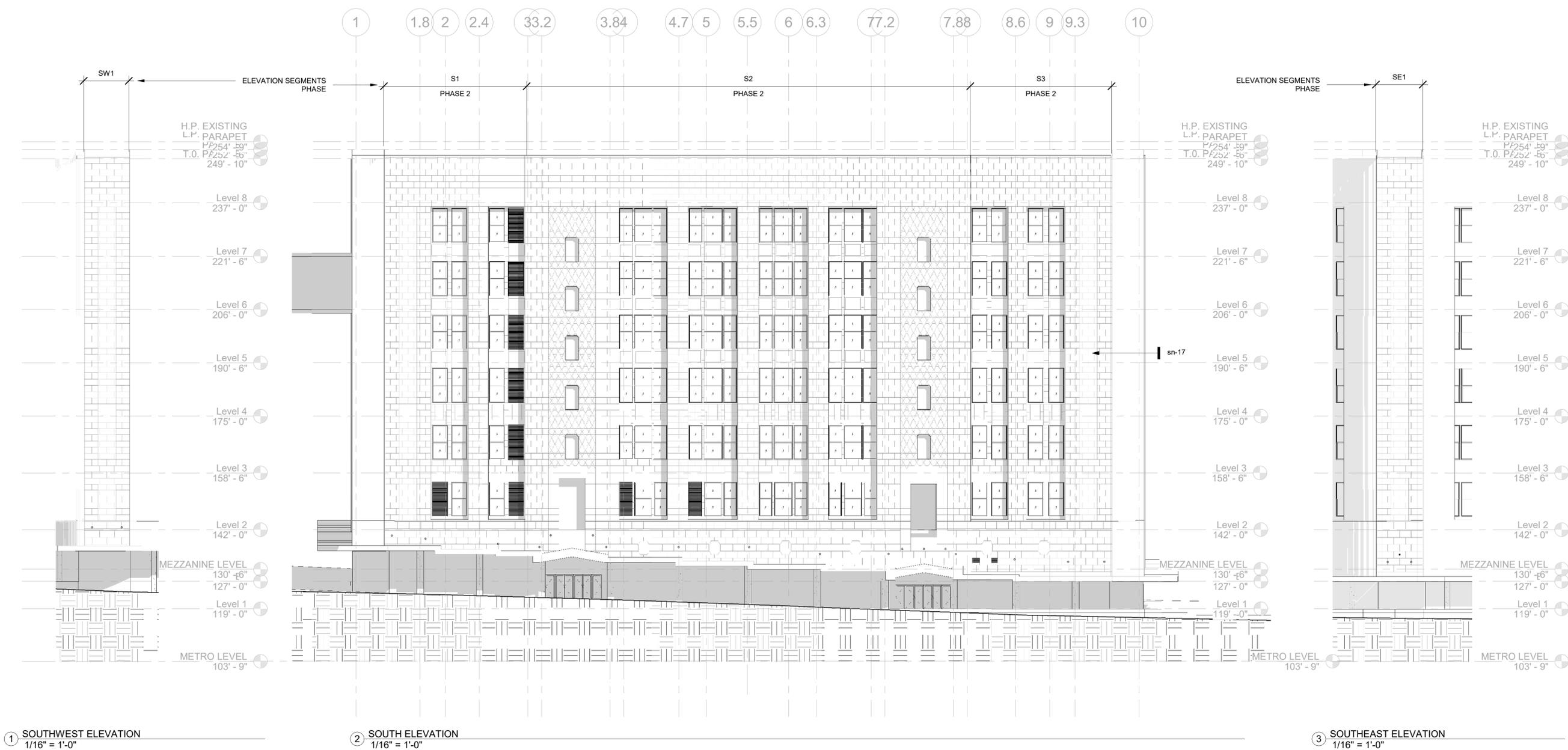
**A-203**

EVOLUTION ARCHITECTURE

3100 AIRPORT WAY SOUTH  
SEATTLE, WA 98134  
P: 206.588.1282  
E: info@evolutionarchitecture.net

**SCOPE NOTES - sn-00**

sn-17 The existing building was developed in two major phases over time. The initial 4 story construction in the early 1900's used a natural stone cladding panel. The contractor shall verify the type of stone used. Basis of Design is limestone. The additional stories added as a later date are a pre-cast concrete panel. The contractor shall submit pre-cast samples for those areas where full or partial replacement is required.



**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
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4435 REGISTERED ARCHITECT  
*Ralph W. Allen*  
RALPH W. ALLEN  
STATE OF WASHINGTON

REVISION SCHEDULE	
REV	DESCRIPTION

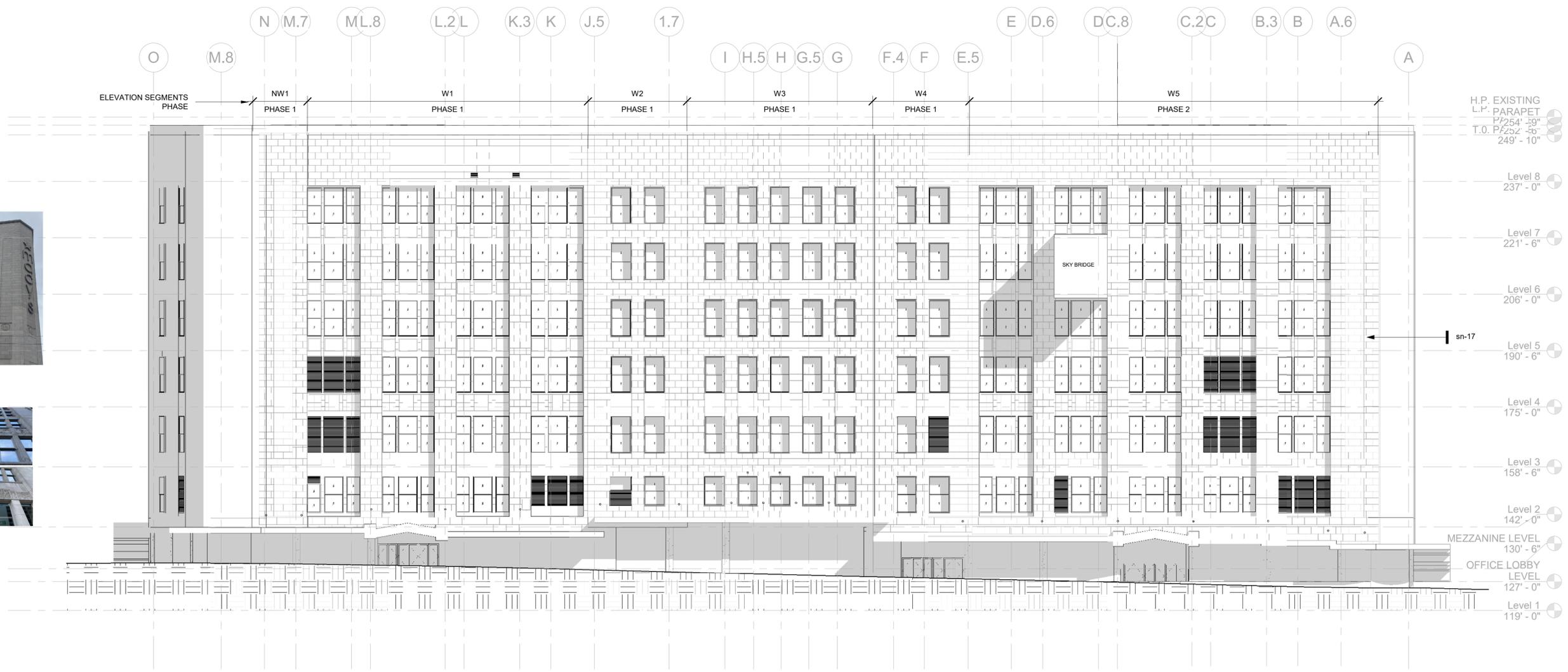
2200901

WEST ELEVATION

**A-204**

**SCOPE NOTES - sn-00**

sn-17 The existing building was developed in two major phases over time. The initial 4 story construction in the early 1900's used a natural stone cladding panel. The contractor shall verify the type of stone used. Basis of Design is limestone. The additional stories added as a later date are a pre-cast concrete panel. The contractor shall submit pre-cast samples for those areas where full or partial replacement is required.



1 WEST ELEVATION  
1/16" = 1'-0"

Level 4+ Header Design:



Level 3 Header Design and Pendant:



Level 2 Header Design:

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
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REVISION SCHEDULE		
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2200901

N3 ELEV SEGMENT  
ph 1

## A-205

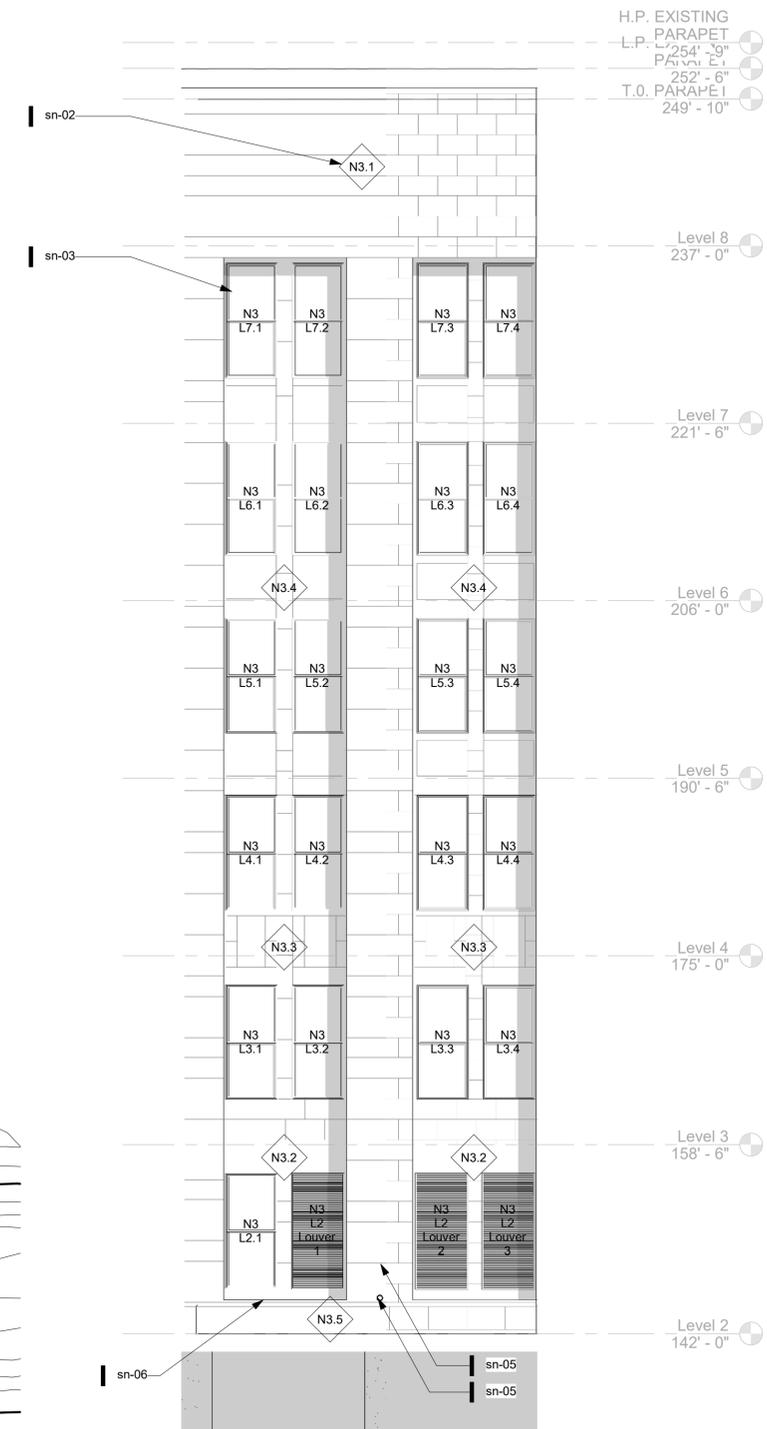
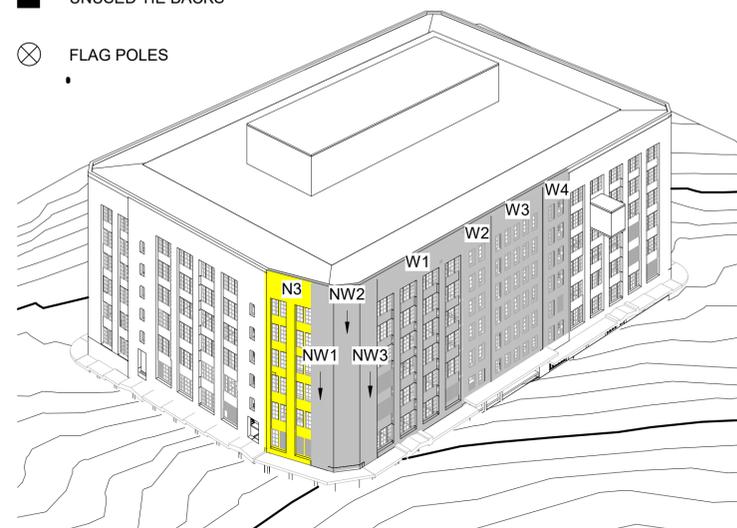


### SCOPE NOTES - sn-00

- sn-01 Specific Phase definitions are indicated for the purposes of bidding the work. They are generally arrived at balancing relatively equal amounts of work within each phase with Phase 1 including the priority NW elevations. The Contractor shall bid the work in the phases indicated and may offer alternate phasing strategies prior to beginning the work if a financial and logistical advantage can be realized to the project.
- sn-02 Wall type designations shown at each building elevation segment indicate a variation in stone block sizes and pattern. The bidding basis for the work is shown as a percentage of the total amount of grout joint length at the individual segment. Contractor to assume typical grout joints are 1/2" wide and shall be routed out to a depth of 3/4" for repointing with grout to match
- sn-03 Windows and louvers are identified individually at each elevation segment for condition review and repair tracking during construction. - Provide new rod and sealant joints at the Head, Jamb and sill conditions of all windows and louvers. - The louvers are set behind the existing wood window frames at all locations. Assume joint width at 1/2" wide. - Prep and paint all window frames, (including those at the louvers) sash and exterior trim and paint all louvers under the base bid. - Clean prep and seal as directed at all window washer anchors (typically 2 at each window opening location)
- sn-05 Existing awning suspension rods. Prep and paint full length of the existing suspension rod and turnbuckle - Clean and seal anchorage point at building face and provide a open bottom, 24 ga (min) soldered lead flashing cowl, sealant set at the top of the turnbuckle and lapping over the base anchor at the awning surface - Mock up required for all three elements prior to full implementation.
- sn-06 At projected window sill conditions typically at level 2 only - re-point all skyward facing joints at these conditions - These are generally at all elevations of the building around the entire 1200 lf perimeter.

### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



① N3 ELEVATION | sn-01  
1/8" = 1'-0"

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

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C.O.A. SET



REVISION SCHEDULE		
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2200901

NW1 ELEV SEGMENT  
ph 1

## A-206

### SCOPE NOTES - sn-00

- sn-01 Specific Phase definitions are indicated for the purposes of bidding the work. They are generally arrived at balancing relatively equal amounts of work within each phase with Phase 1 including the priority NW elevations. The Contractor shall bid the work in the phases indicated and may offer alternate phasing strategies prior to beginning the work if a financial and logistical advantage can be realized to the project.
- sn-02 Wall type designations shown at each building elevation segment indicate a variation in stone block sizes and pattern. The bidding basis for the work is shown as a percentage of the total amount of grout joint length at the individual segment. Contractor to assume typical grout joints are 1/2" wide and shall be routed out to a depth of 3/4" for repointing with grout to match
- sn-04 Miscellaneous connections and penetrations at the building to be cleaned, prep'd and sealed. These include but are not limited to the following: Transit electrical trolley wire anchors - Other public infrastructure - Signage - Flagpoles - Decoration anchorage, and skybridge at the 3rd ave exposure / Prep mockup for review at representative sample locations. This work will be charged under the Miscellaneous Anchors Allowance
- sn-05 Existing awning suspension rods. Prep and paint full length of the existing suspension rod and turnbuckle - Clean and seal anchorage point at building face and provide a open bottom, 24 ga (min) soldered lead flashing cowling, sealant set at the top of the turnbuckle and lapping over the base anchor at the awning surface - Mock up required for all three elements prior to full implementation.



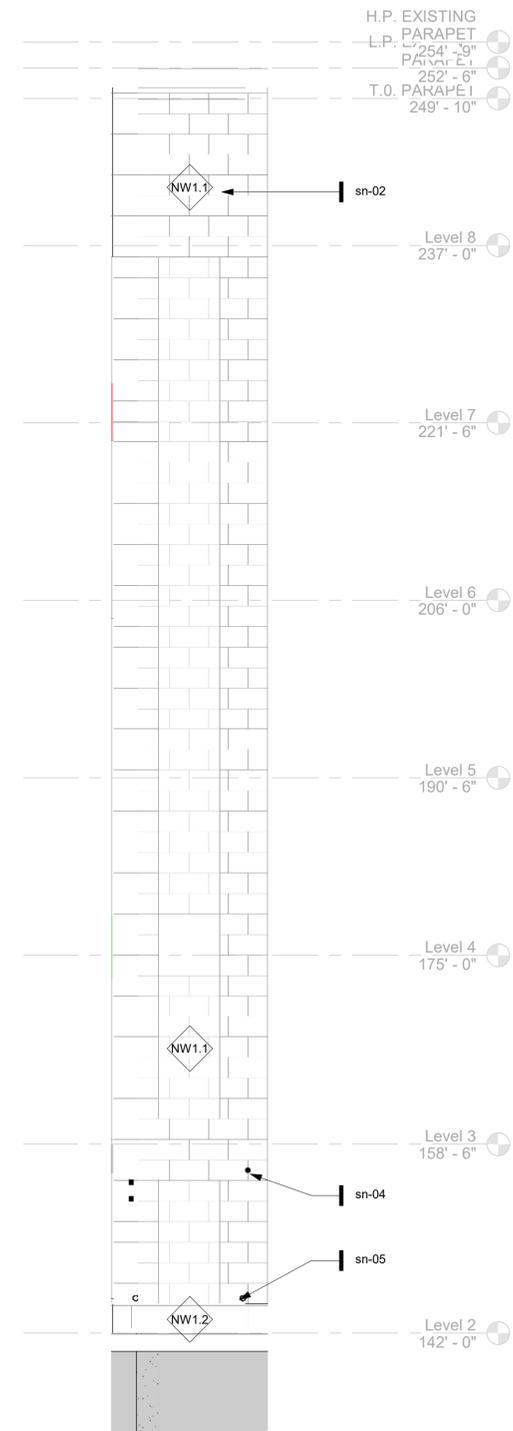
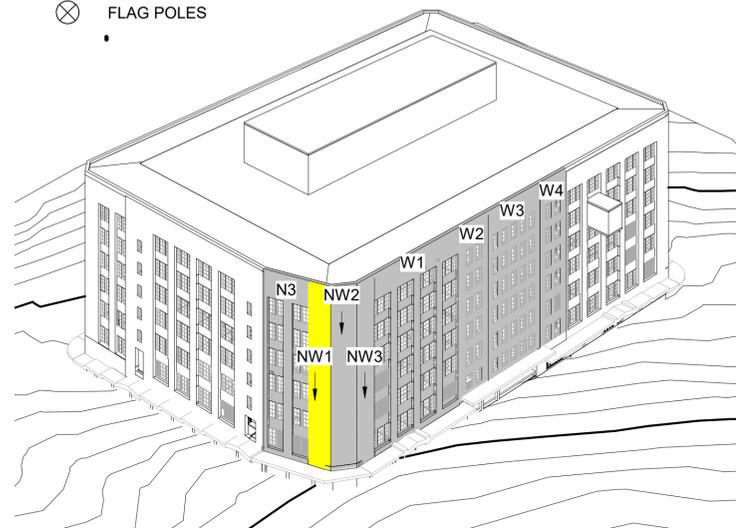
### WALL ANCHORAGE LEGEND

#### BASE BID

- CANOPY SUSPENSION RODS

#### ALLOWANCE

- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



1 NW1 ELEVATION | sn-01  
1/8" = 1'-0"

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

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C.O.A. SET



REVISION SCHEDULE		
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2200901

NW2 ELEV SEGMENT  
ph 1

## A-207

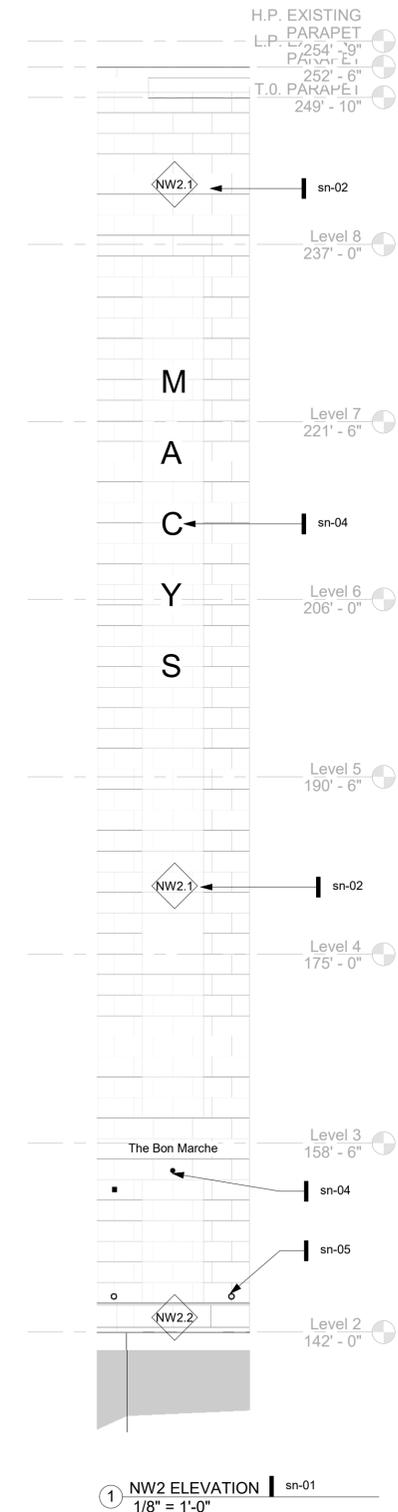
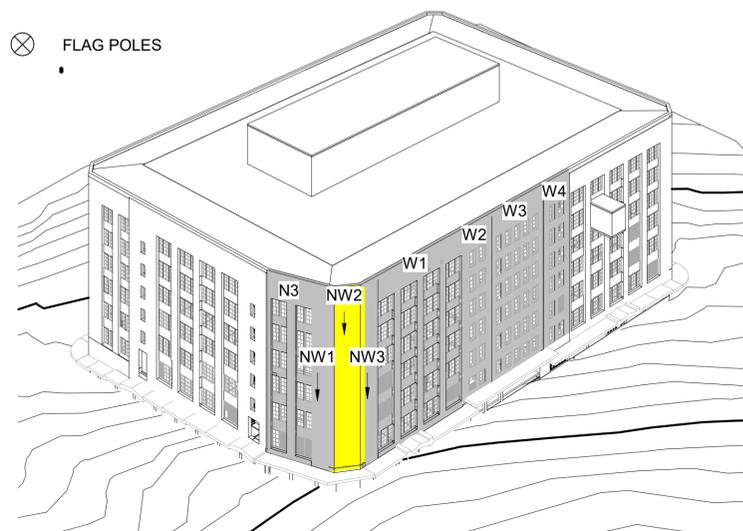
### SCOPE NOTES - sn-00

- sn-01 Specific Phase definitions are indicated for the purposes of bidding the work. They are generally arrived at balancing relatively equal amounts of work within each phase with Phase 1 including the priority NW elevations. The Contractor shall bid the work in the phases indicated and may offer alternate phasing strategies prior to beginning the work if a financial and logistical advantage can be realized to the project.
- sn-02 Wall type designations shown at each building elevation segment indicate a variation in stone block sizes and pattern. The bidding basis for the work is shown as a percentage of the total amount of grout joint length at the individual segment. Contractor to assume typical grout joints are 1/2" wide and shall be routed out to a depth of 3/4" for repointing with grout to match
- sn-04 Miscellaenous connections and penetrations at the building to be cleaned, prep'd and sealed. These include but are not limited to the following: Transit electrical trolley wire anchors - Other public infrastructure - Signage - Flagpoles - Decoration anchorage, and skybridge at the 3rd ave exposure / Prep mockup for review at representative sample locations. This work will be charged under the Miscellaneous Anchors Allowance
- sn-05 Existing awning suspension rods. Prep and paint full length of the existing suspension rod and turnbuckle - Clean and seal anchorage point at building face and provide a open bottom, 24 ga (min) soldered lead flashing cowlng, sealant set at the top of the turnbuckle and lapping over the base anchor at the awning surface - Mock up required for all three elements prior to full implementation.



#### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



**SCOPE NOTES - sn-00**

- sn-01 Specific Phase definitions are indicated for the purposes of bidding the work. They are generally arrived at balancing relatively equal amounts of work within each phase with Phase 1 including the priority NW elevations. The Contractor shall bid the work in the phases indicated and may offer alternate phasing strategies prior to beginning the work if a financial and logistical advantage can be realized to the project.
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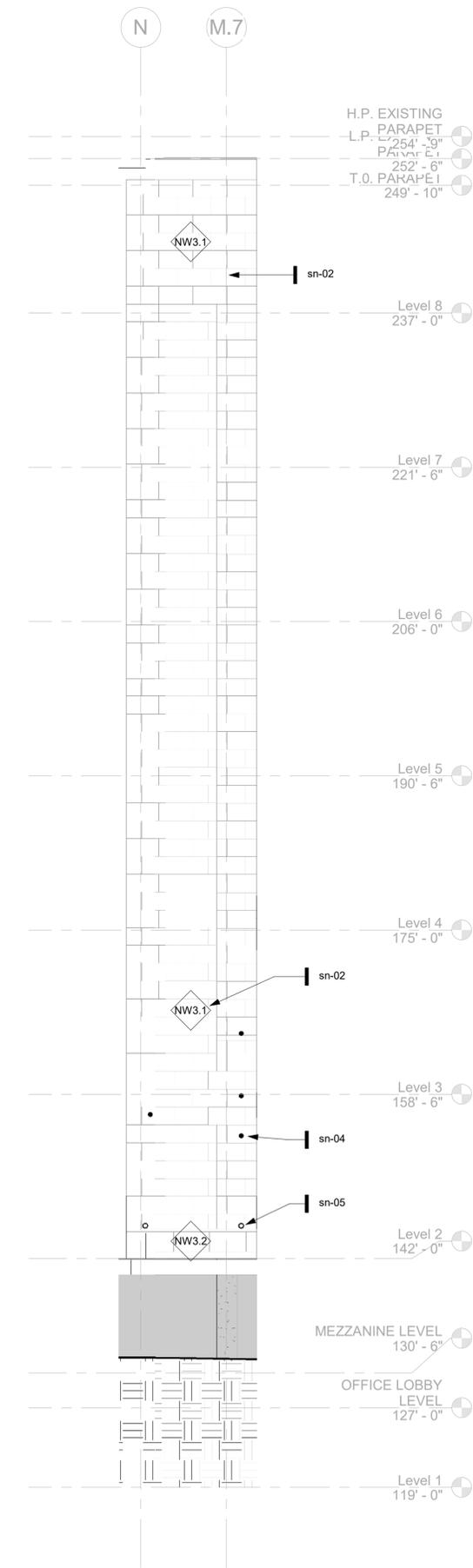
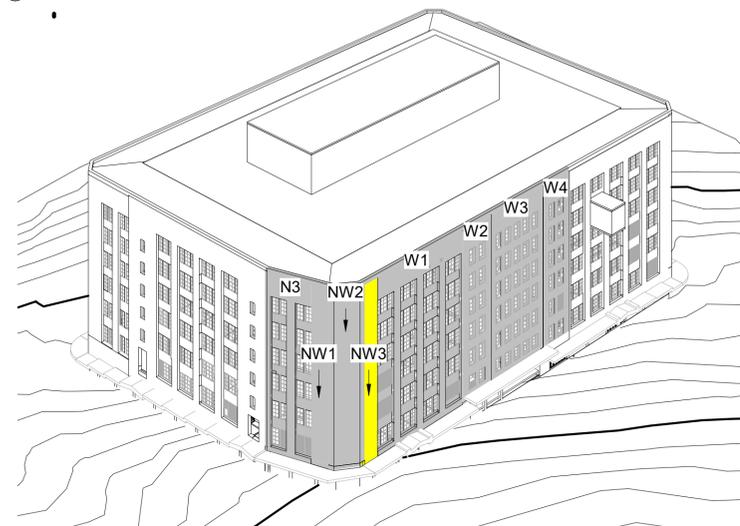
**WALL ANCHORAGE LEGEND**

**BASE BID**

- CANOPY SUSPENSION RODS

**ALLOWANCE**

- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



1 NW3 ELEVATION | sn-01  
1/8" = 1'-0"



**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

NW3 ELEV SEGMENT  
ph 1

**A-208**

**SCOPE NOTES - sn-00**

**SCOPE NOTES - sn-00**

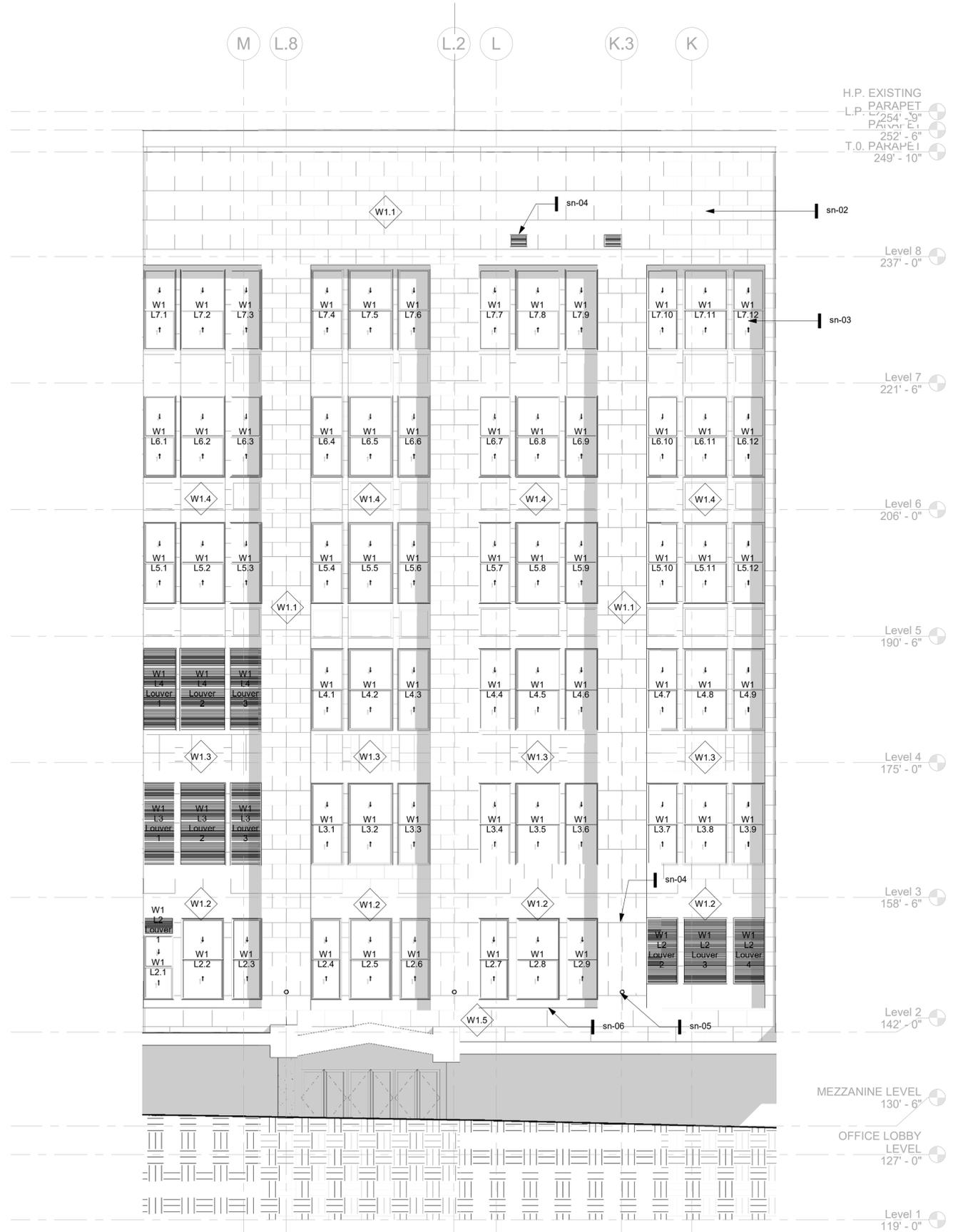
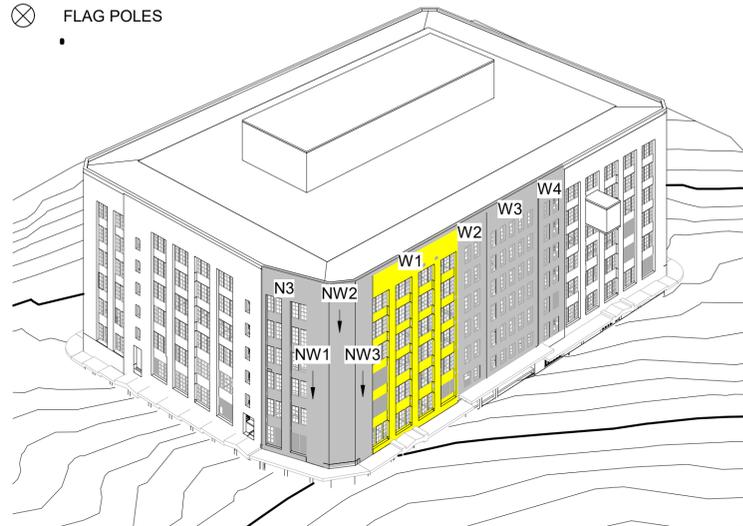
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- sn-06 At projected window sill conditions typically at level 2 only - re-point all skyward facing joints at these conditions - These are generally at all elevations of the building around the entire 1200 lf perimeter.



**WALL ANCHORAGE LEGEND**

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



① W1 ELEVATION  
1/8" = 1'-0" | sn-01



**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

**W1 ELEV SEGMENT  
ph 1**

**A-209**

**SCOPE NOTES - sn-00**

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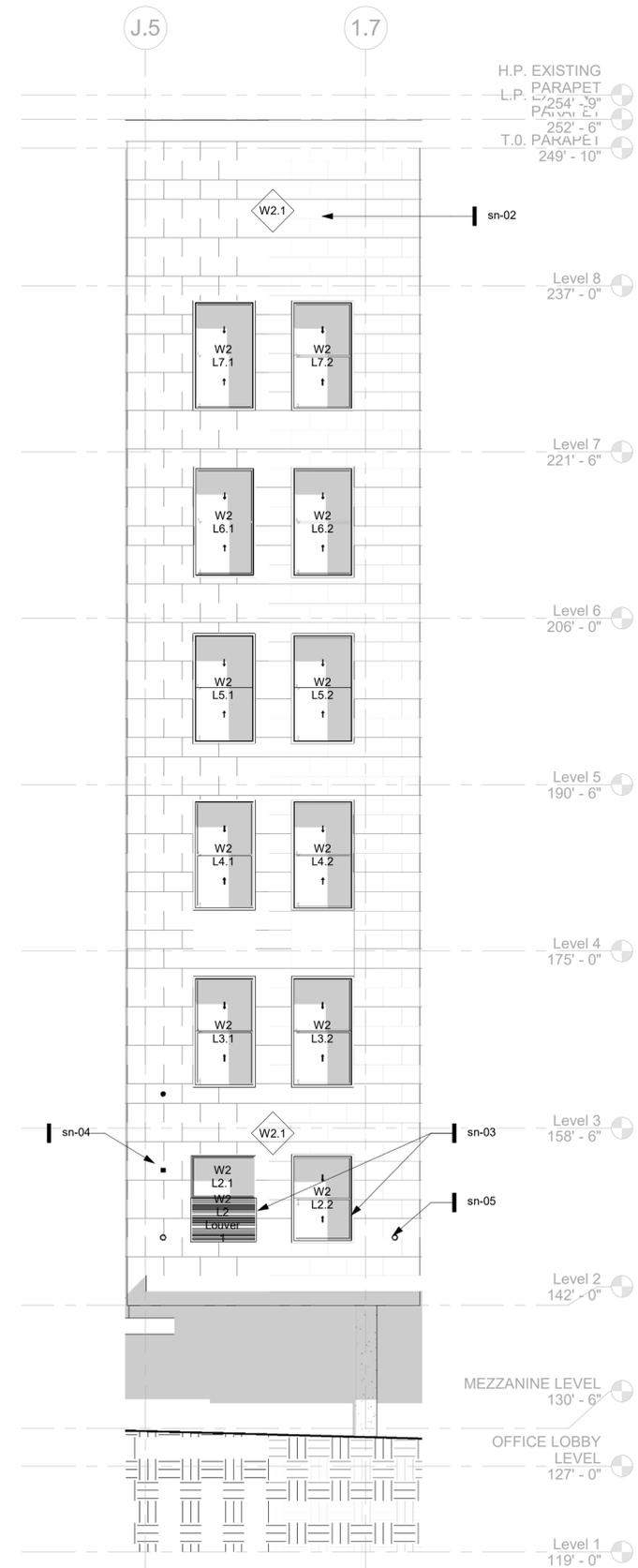
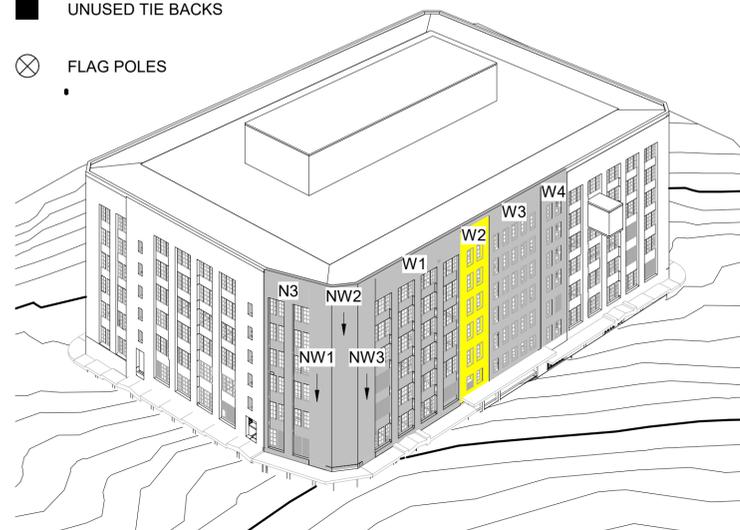
**WALL ANCHORAGE LEGEND**

**BASE BID**

- CANOPY SUSPENSION RODS

**ALLOWANCE**

- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



1 W2 ELEVATION | sn-01  
1/8" = 1'-0"

**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET

4435 REGISTERED ARCHITECT

RALPH W. ALLEN  
STATE OF WASHINGTON

REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

**W2 ELEV SEGMENT  
ph 1**

**A-210**

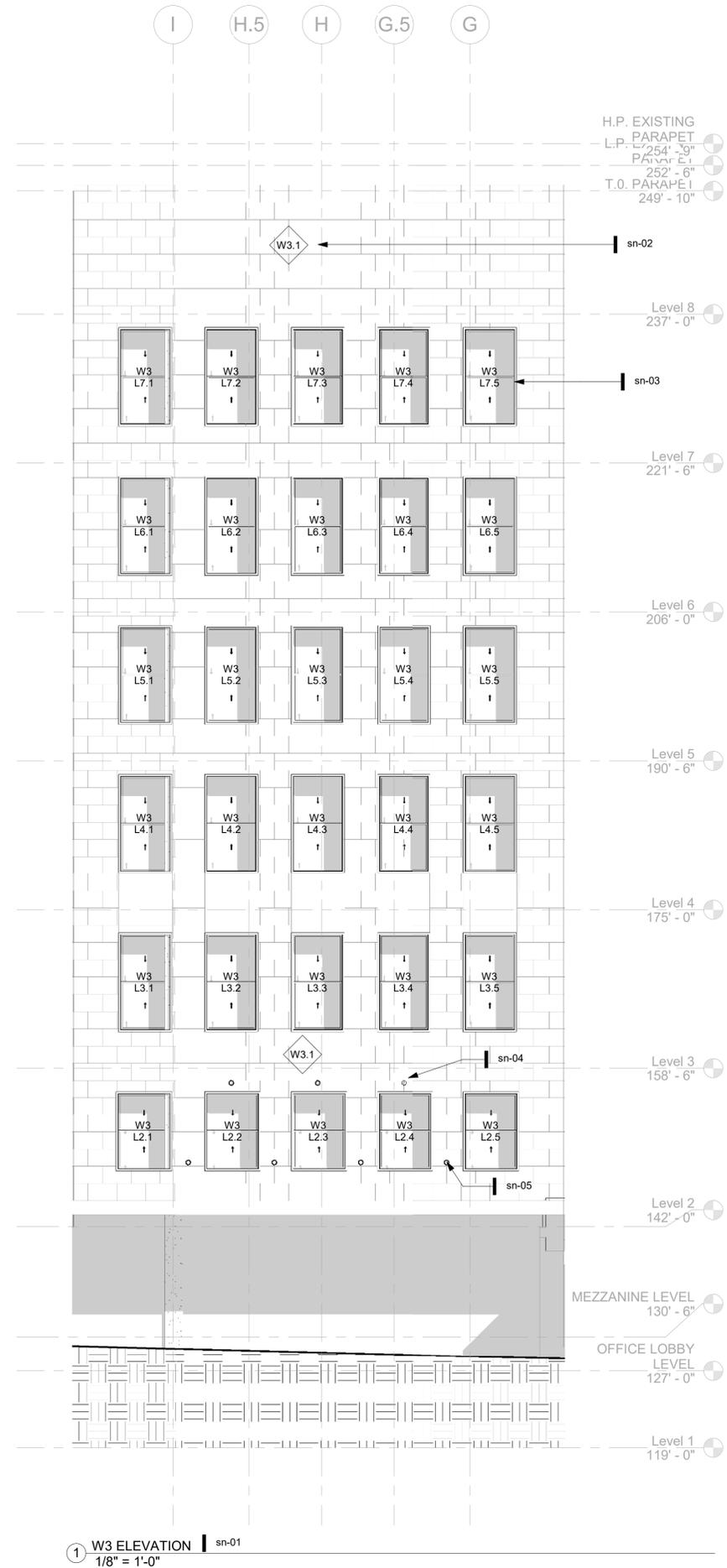
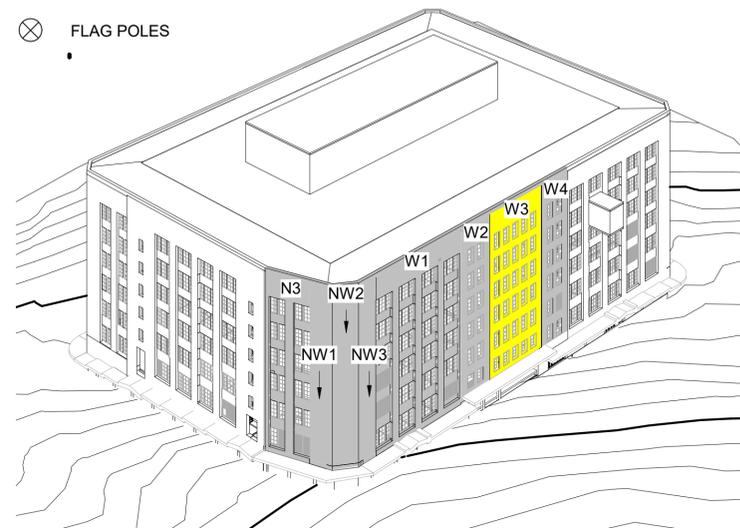
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**WALL ANCHORAGE LEGEND**

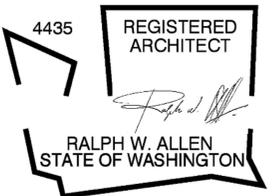
- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

**W3 ELEV SEGMENT  
ph 1**

**A-211**

EVOLUTION ARCHITECTURE

3100 AIRPORT WAY SOUTH  
SEATTLE, WA 98134  
P: 206.588.1282  
E: info@evolutionarchitecture.net

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

W4 ELEV SEGMENT  
ph 1

## A-212

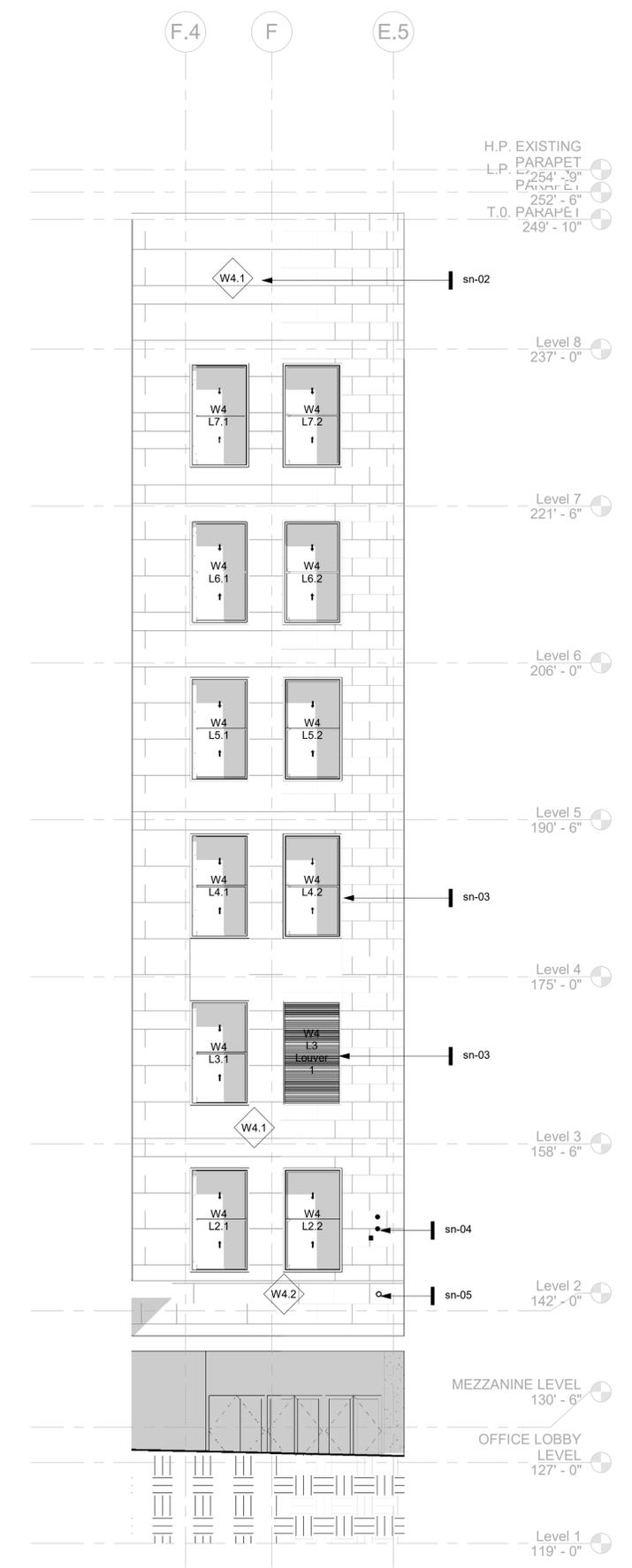
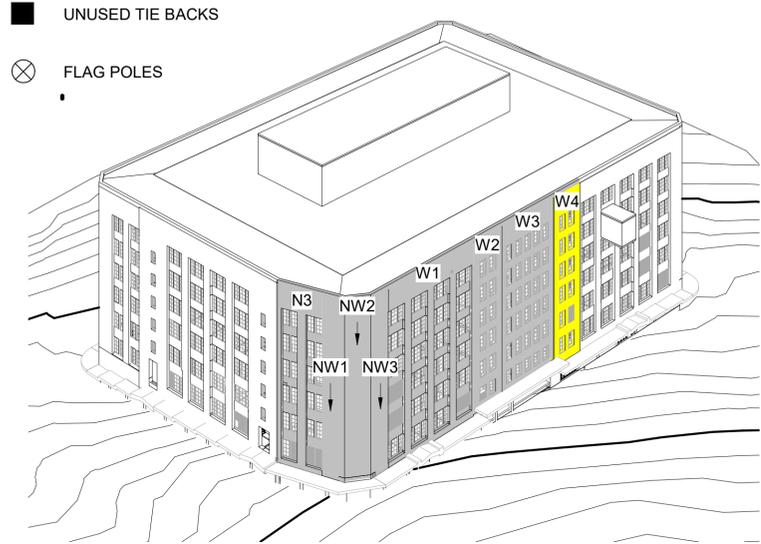
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### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



1 W4 ELEVATION | sn-01  
1/8" = 1'-0"

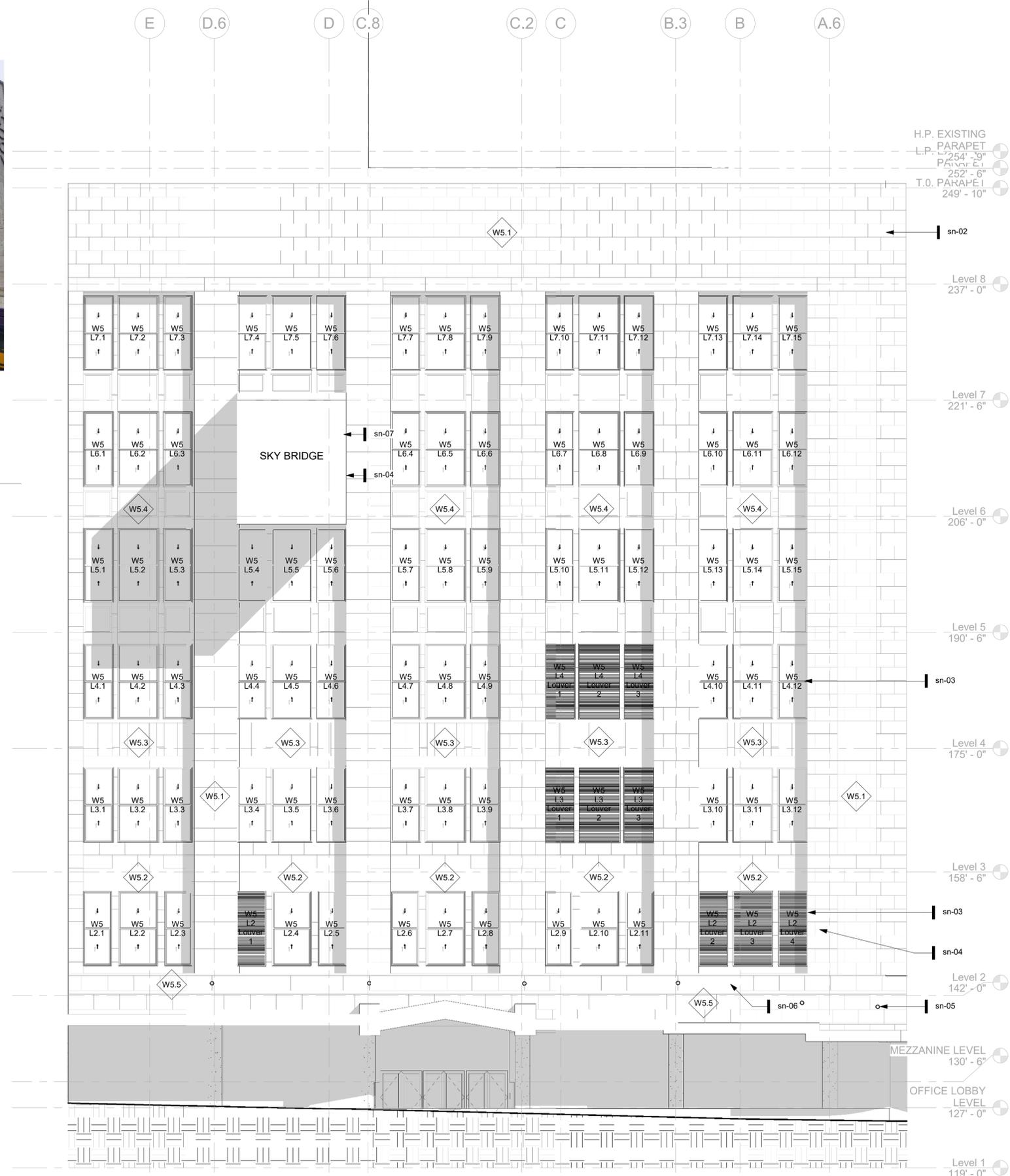
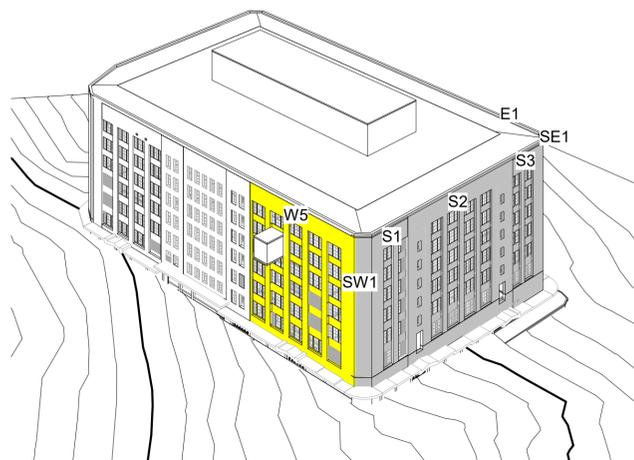
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- sn-06 At projected window sill conditions typically at level 2 only - re-point all skyward facing joints at these conditions - These are generally at all elevations of the building around the entire 1200 lf perimeter.
- sn-07 Existing skybridge. Verify conditions at perimeter of the skybridge to building interface. Review remedial work with Architect and perform under the Miscellaneous Connection allowance.



**WALL ANCHORAGE LEGEND**

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



1 W5 ELEVATION | sn-01  
1/8" = 1'-0"



**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE

REV	DATE	DESCRIPTION

2200901

**W5 ELEV SEGMENT ph 2**

**A-213**

**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

SW1 ELEV SEGMENT  
ph 2

**A-214**

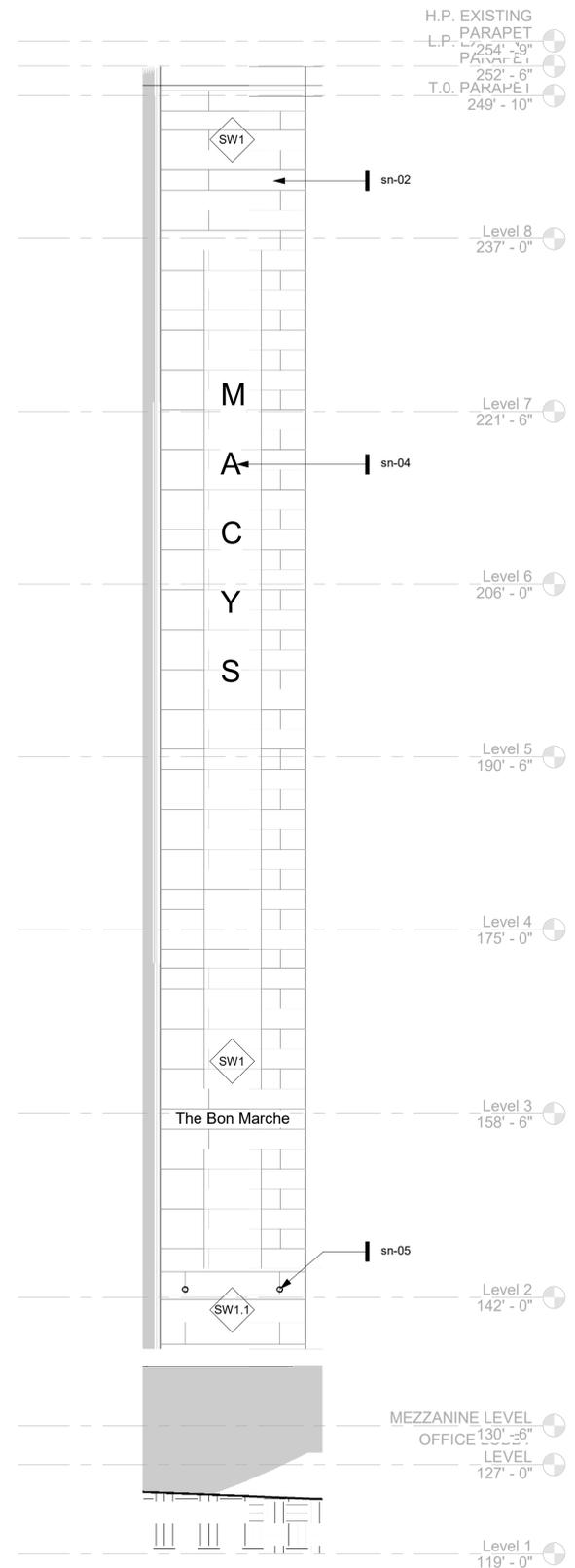
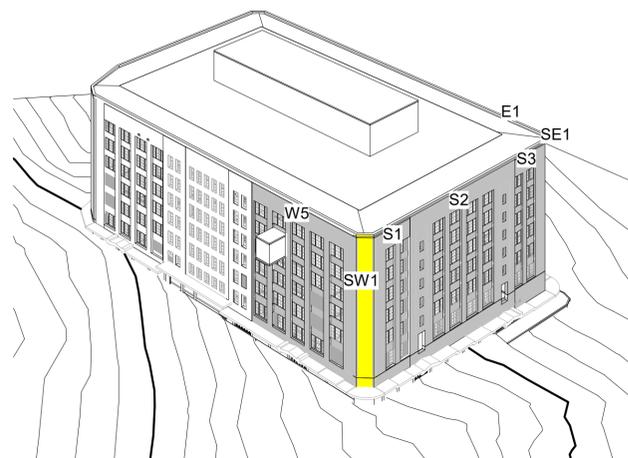
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**WALL ANCHORAGE LEGEND**

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



① SW1 ELEVATION  
1/8" = 1'-0"

**SCOPE NOTES - sn-00**

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**WALL ANCHORAGE LEGEND**

**BASE BID**

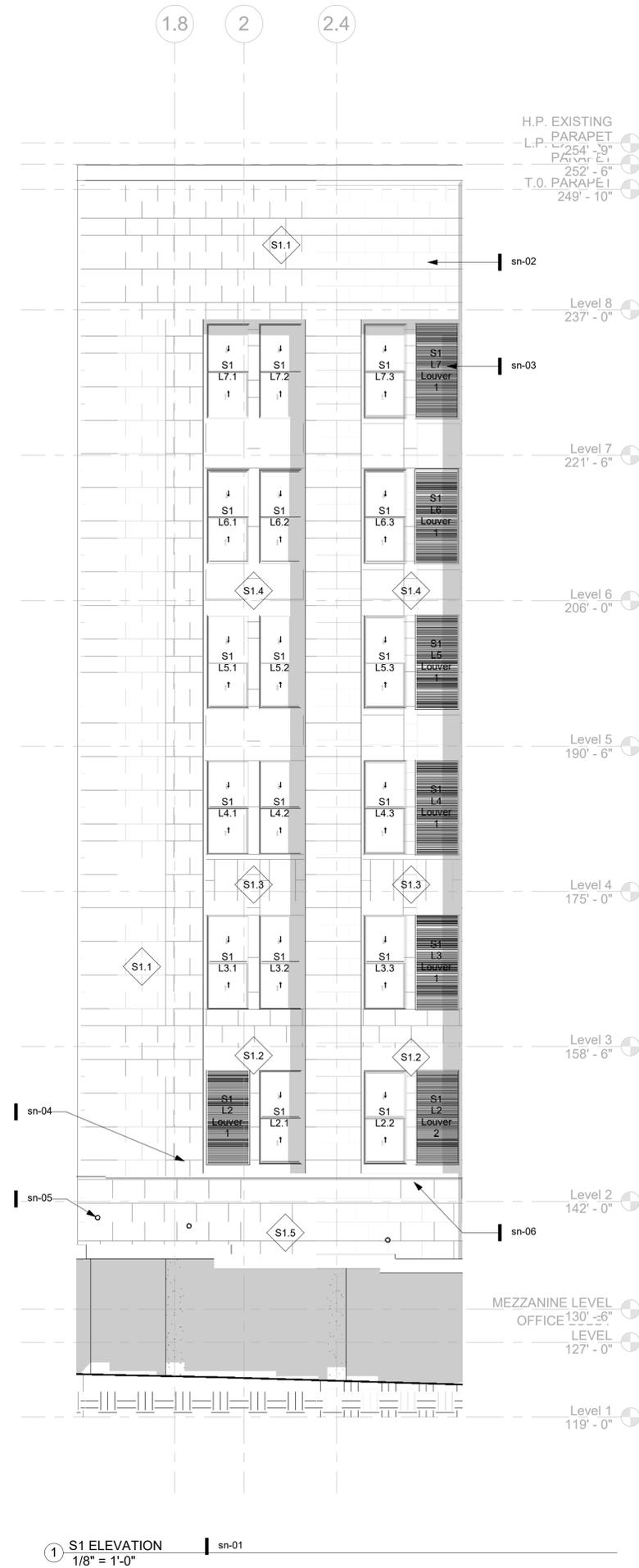
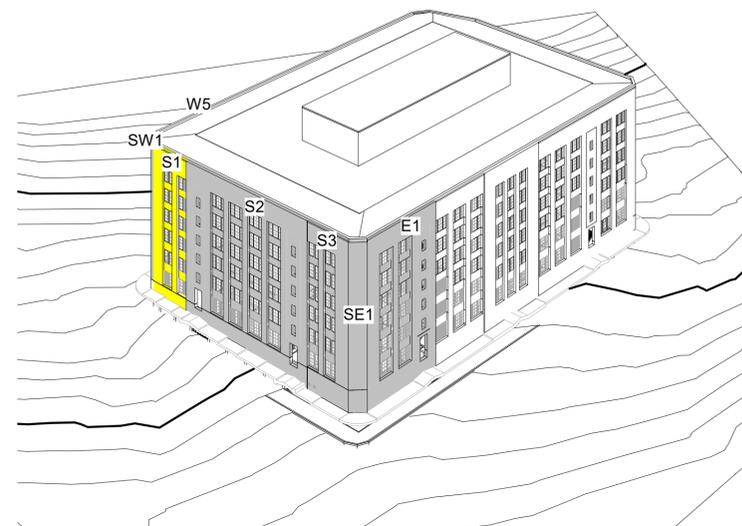
○ CANOPY SUSPENSION RODS

**ALLOWANCE**

● TRANSPORTATION TIE BACKS

■ UNUSED TIE BACKS

⊗ FLAG POLES



① S1 ELEVATION | sn-01  
1/8" = 1'-0"



**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

**S1 ELEV SEGMENT  
ph 2**

**A-215**

EVOLUTION ARCHITECTURE

3100 AIRPORT WAY SOUTH  
SEATTLE, WA 98134  
P: 206.588.1282  
E: info@evolutionarchitecture.net

**SCOPE NOTES - sn-00**

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- sn-9.2 Existing decorative screens - refer to detail for associated work

**WALL ANCHORAGE LEGEND**

**BASE BID**

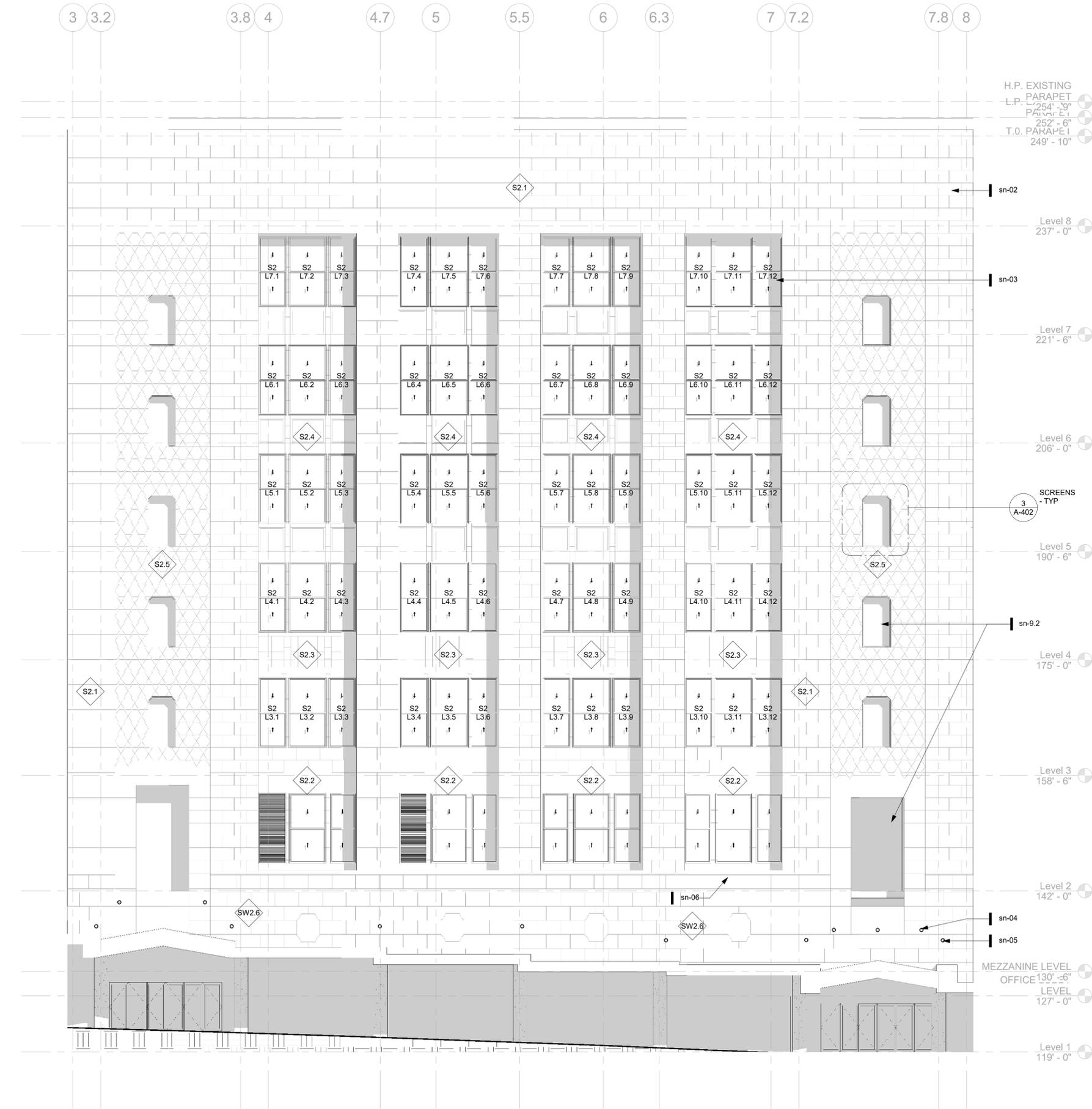
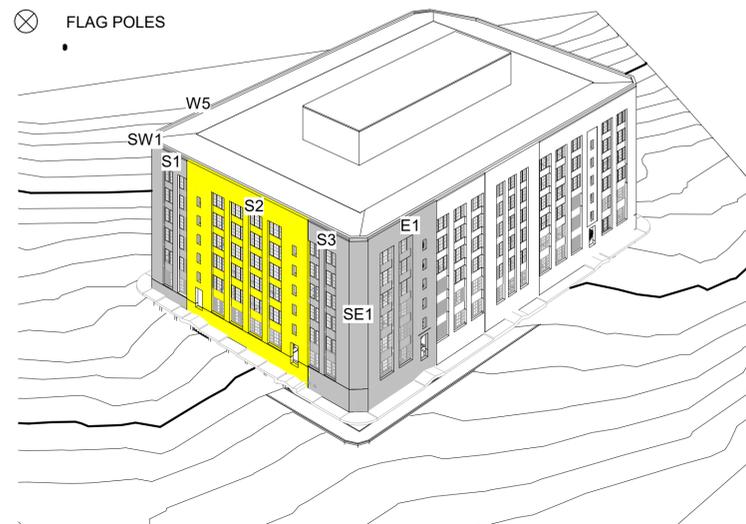
○ CANOPY SUSPENSION RODS

**ALLOWANCE**

● TRANSPORTATION TIE BACKS

■ UNUSED TIE BACKS

⊗ FLAG POLES



**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

**S2 ELEV SEGMENT ph 2**

**A-216**

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

S3 ELEV SEGMENT  
ph 2

## A-217

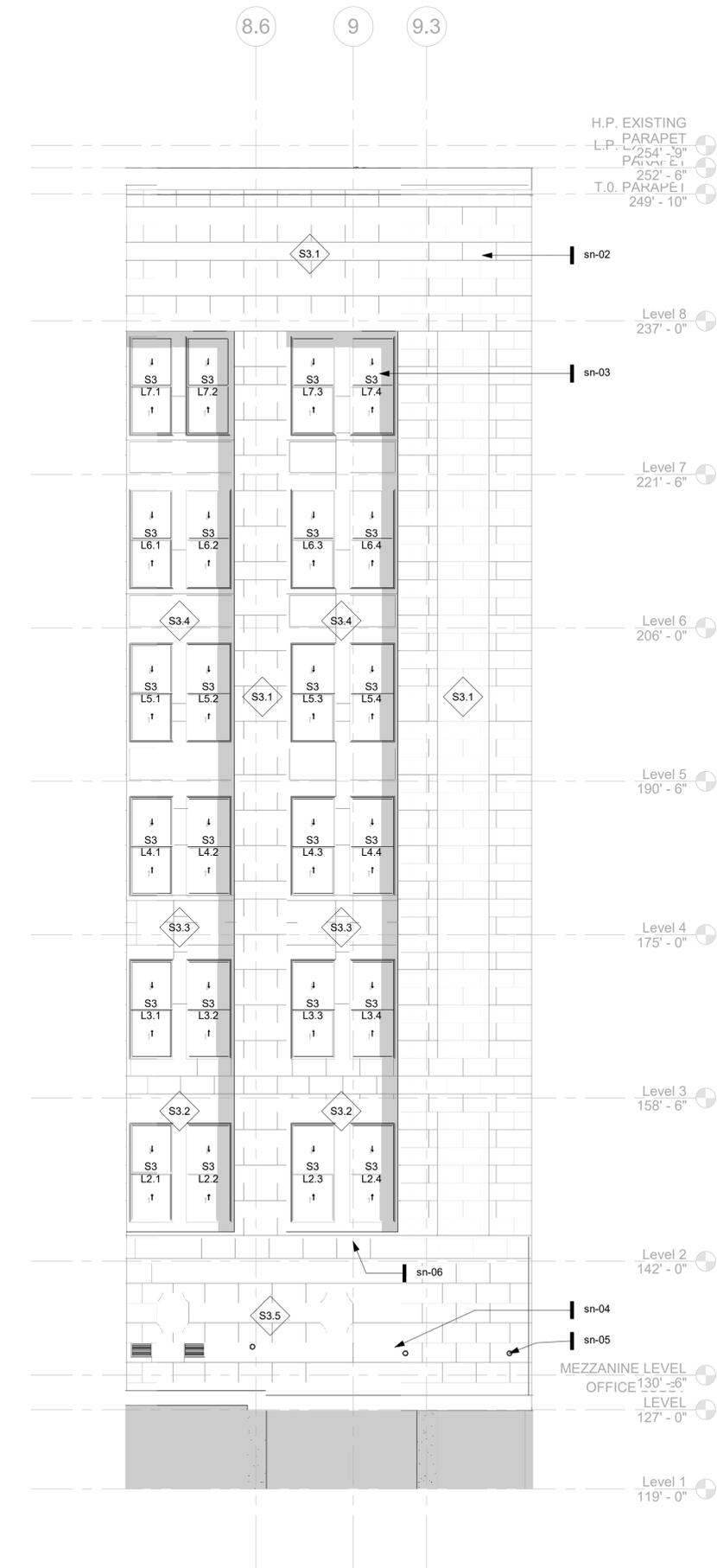
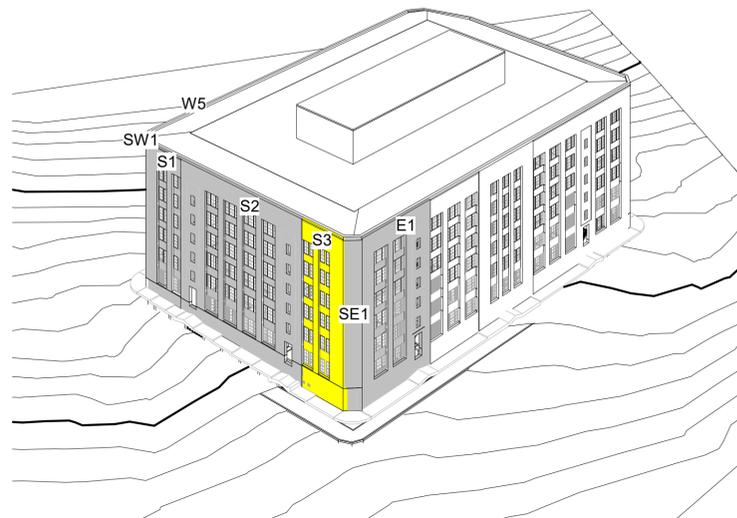
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#### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES

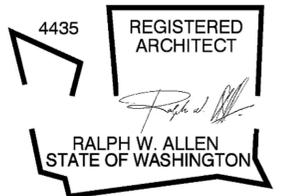


① S3 ELEVATION | sn-01  
1/8" = 1'-0"

**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

SE1 ELEV SEGMENT  
ph 2

**A-218**

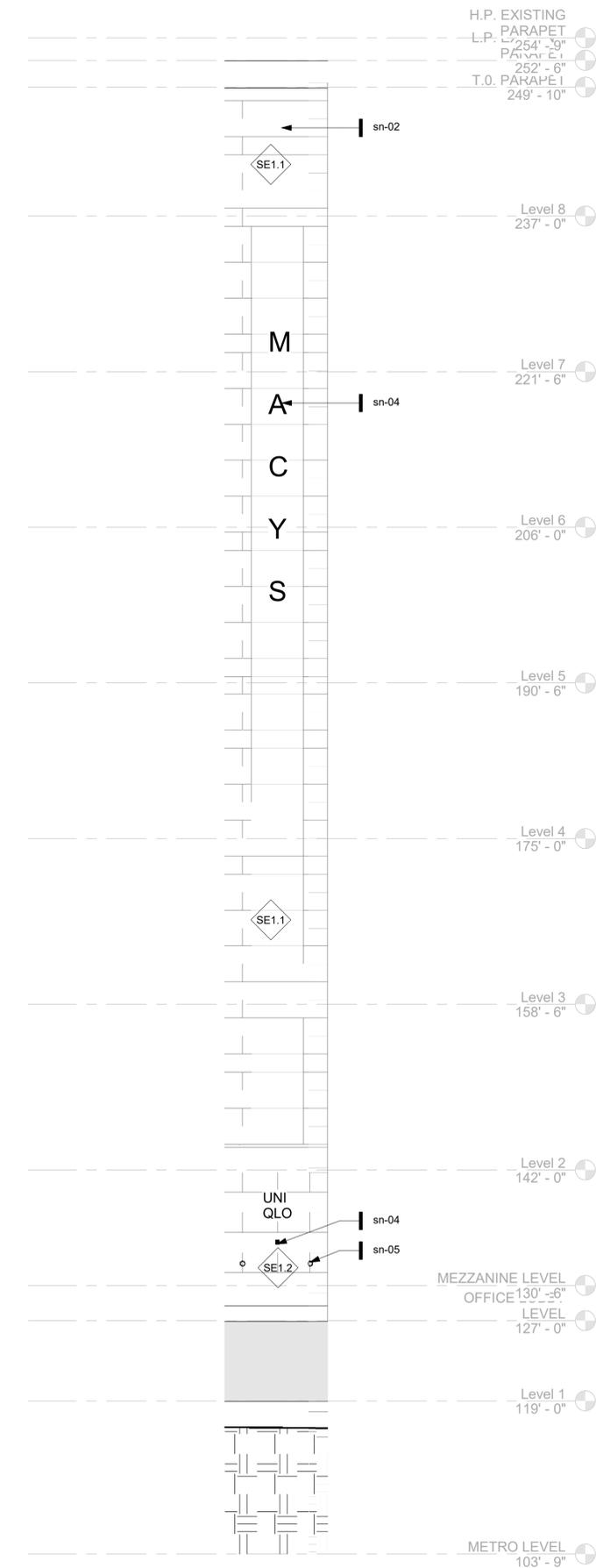
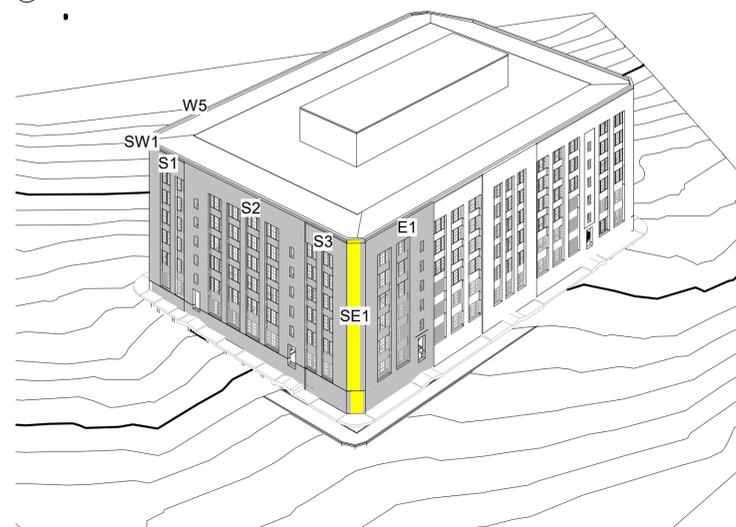
**SCOPE NOTES - sn-00**

- sn-01 Specific Phase definitions are indicated for the purposes of bidding the work. They are generally arrived at balancing relatively equal amounts of work within each phase with Phase 1 including the priority NW elevations. The Contractor shall bid the work in the phases indicated and may offer alternate phasing strategies prior to beginning the work if a financial and logistical advantage can be realized to the project.
- sn-02 Wall type designations shown at each building elevation segment indicate a variation in stone block sizes and pattern. The bidding basis for the work is shown as a percentage of the total amount of grout joint length at the individual segment. Contractor to assume typical grout joints are 1/2" wide and shall be routed out to a depth of 3/4" for repointing with grout to match
- sn-04 Miscellaenous connections and penetrations at the building to be cleaned, prep'd and sealed. These include but are not limited to the following: Transit electrical trolley wire anchors - Other public infrastructure - Signage - Flagpoles - Decoration anchorage, and skybridge at the 3rd ave exposure / Prep mockup for review at representative sample locations. This work will be charged under the Miscellaneous Anchors Allowance
- sn-05 Existing awning suspension rods. Prep and paint full length of the existing suspension rod and turnbuckle - Clean and seal anchorage point at building face and provide a open bottom, 24 ga (min) soldered lead flashing cawling, sealant set at the top of the turnbuckle and lapping over the base anchor at the awning surface - Mock up required for all three elements prior to full implementation.



**WALL ANCHORAGE LEGEND**

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



1 SE1 ELEVATION | sn-01  
1/8" = 1'-0"

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

E1 ELEV SEGMENT  
ph 2

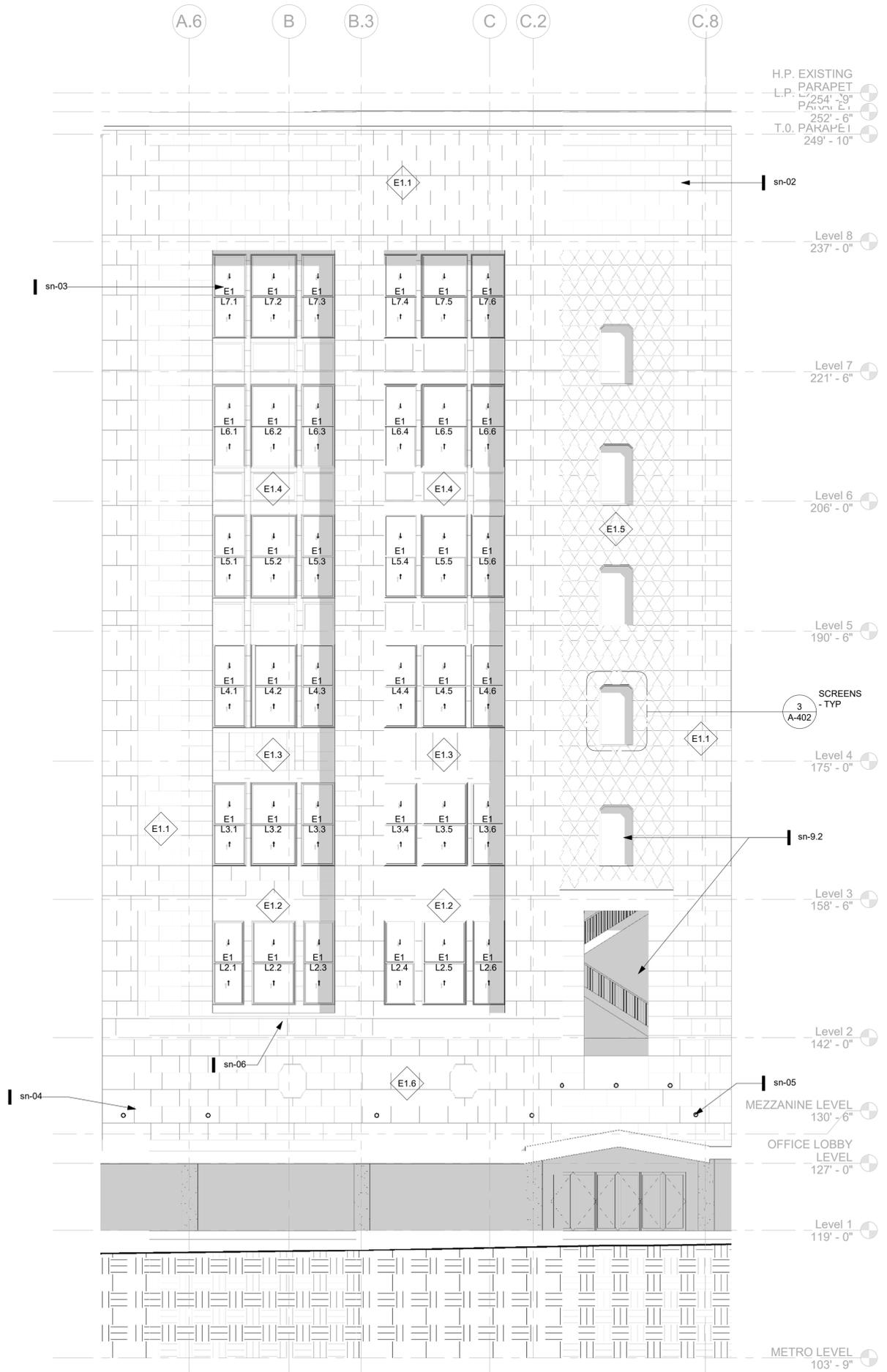
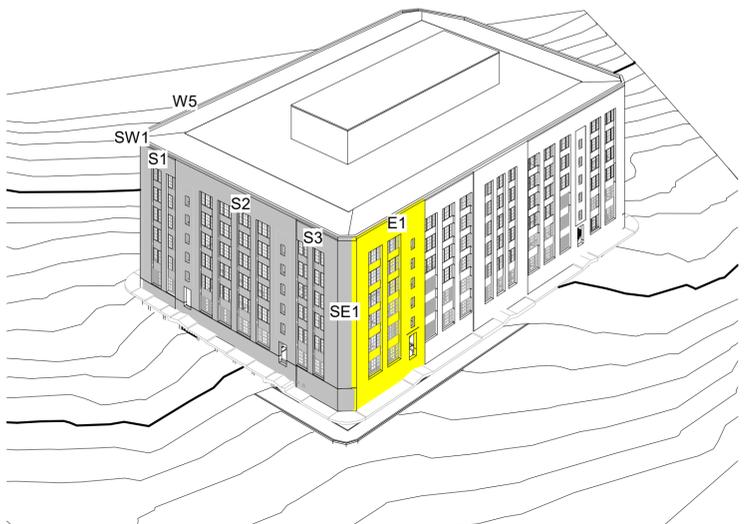
## A-219

### SCOPE NOTES - sn-00

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- sn-03 Windows and louvers are identified individually at each elevation segment for condition review and repair tracking during construction. - Provide new rod and sealant joints at the Head, Jamb and sill conditions of all windows and louvers. - The louvers are set behind the existing wood window frames at all locations. Assume joint width at 1/2" wide. - Prep and paint all window frames, (including those at the louvers) sash and exterior trim and paint all louvers under the base bid. - Clean prep and seal as directed at all window washer anchors (typically 2 at each window opening location)
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- sn-06 At projected window sill conditions typically at level 2 only - re-point all skyward facing joints at these conditions - These are generally at all elevations of the building around the entire 1200 lf perimeter.
- sn-9.2 Existing decorative screens - refer to detail for associated work

### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



② E1 ELEVATION | sn-01  
1/8" = 1'-0"

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST, SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

E2 ELEV SEGMENT  
ph 3

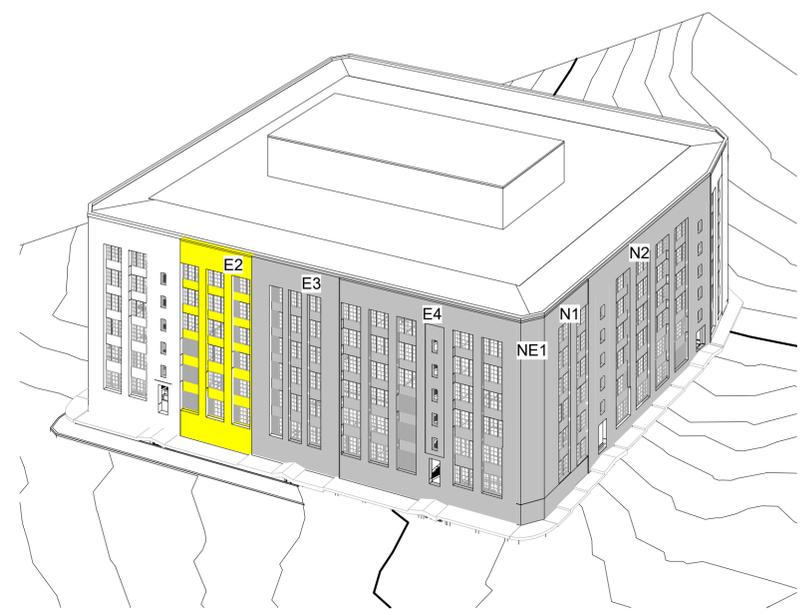
## A-220

### SCOPE NOTES - sn-00

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### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



2 E2 ELEVATION 1/8" = 1'-0" | sn-01

# 300 PINE ST - EXTERIOR RESTORATION

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET

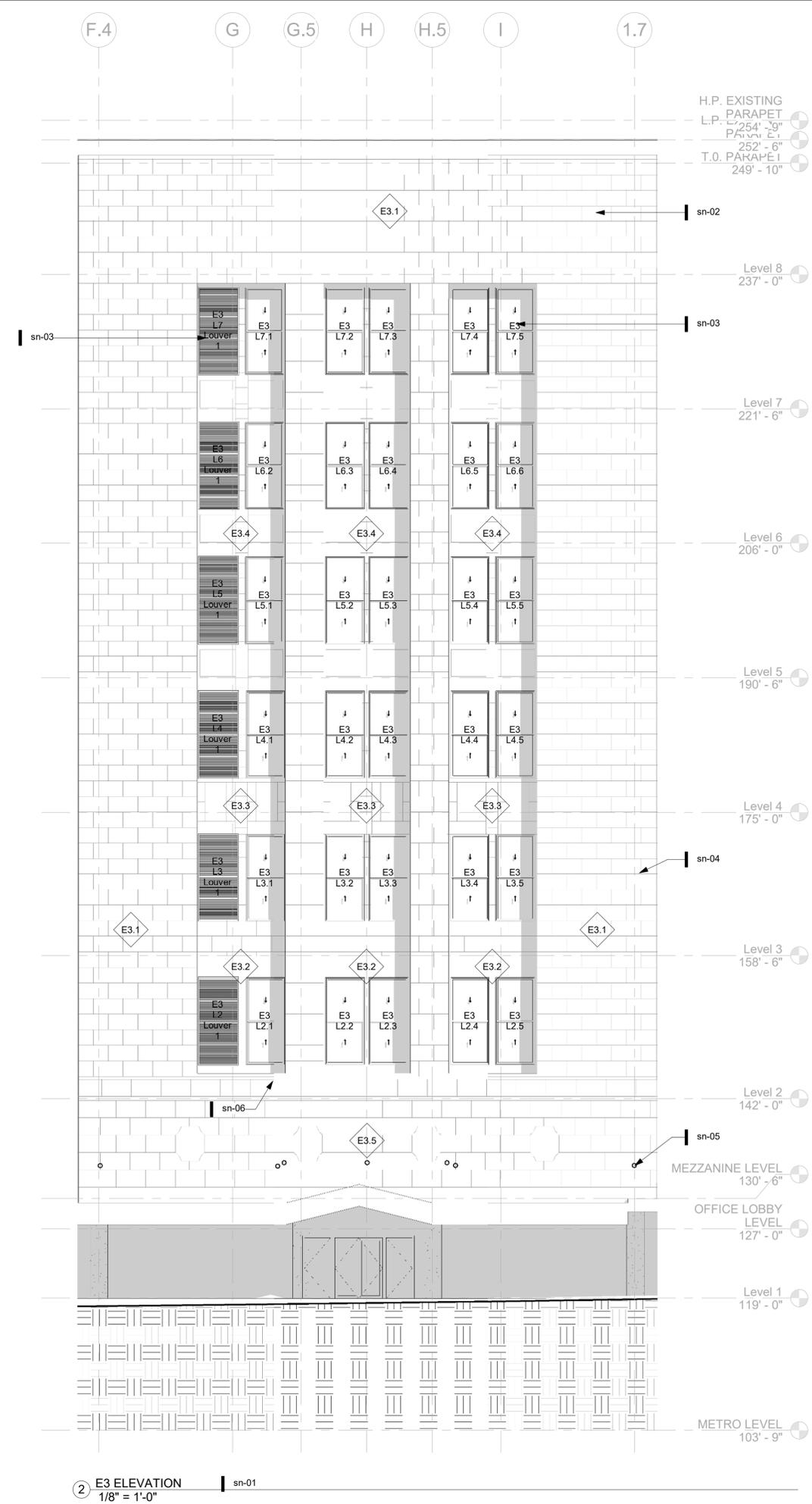


REVISION SCHEDULE	
REV	DESCRIPTION

2200901

E3 ELEV SEGMENT  
ph 3

## A-221

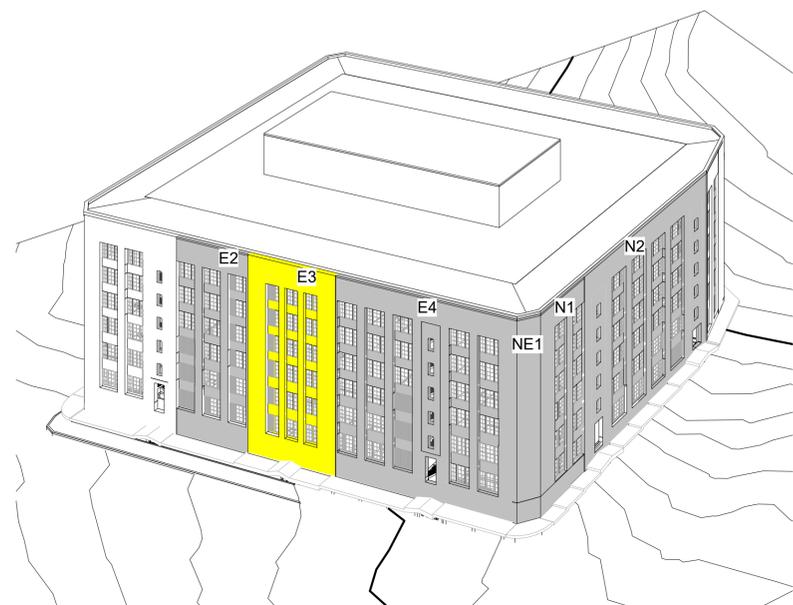


### SCOPE NOTES - sn-00

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### WALL ANCHORAGE LEGEND

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



② E3 ELEVATION  
1/8" = 1'-0" | sn-01

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**WALL ANCHORAGE LEGEND**

**BASE BID**

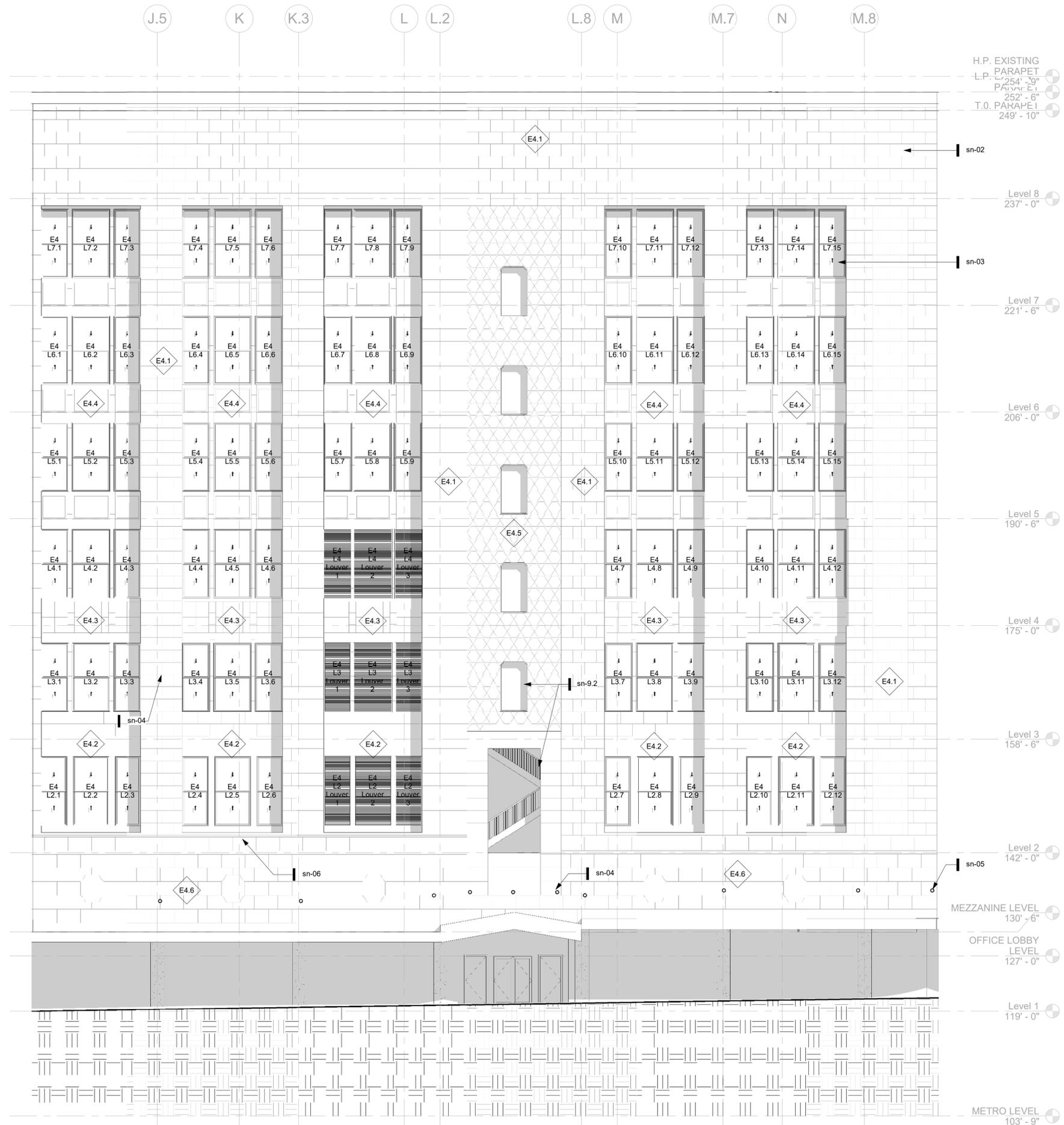
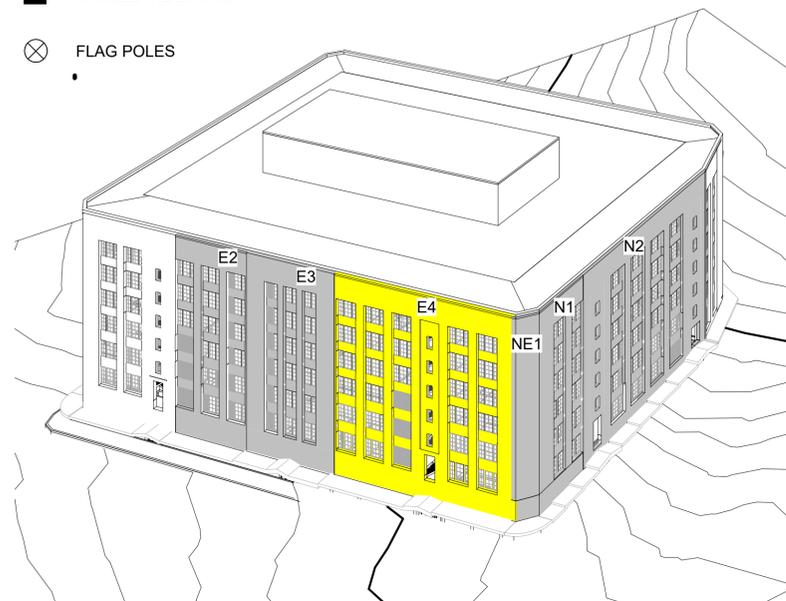
○ CANOPY SUSPENSION RODS

**ALLOWANCE**

● TRANSPORTATION TIE BACKS

■ UNUSED TIE BACKS

⊗ FLAG POLES



H.P. EXISTING  
L.P. PARAPET  
P.P. PARAPET  
T.O. PARAPET



**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

**E4 ELEV SEGMENT  
ph 3**

**A-222**

EVOLUTION ARCHITECTURE  
3100 AIRPORT WAY SOUTH  
SEATTLE, WA 98134  
P: 206.588.1282  
E: info@evolutionarchitecture.net

② E4 ELEVATION  
1/8" = 1'-0" | sn-01

**SCOPE NOTES - sn-00**

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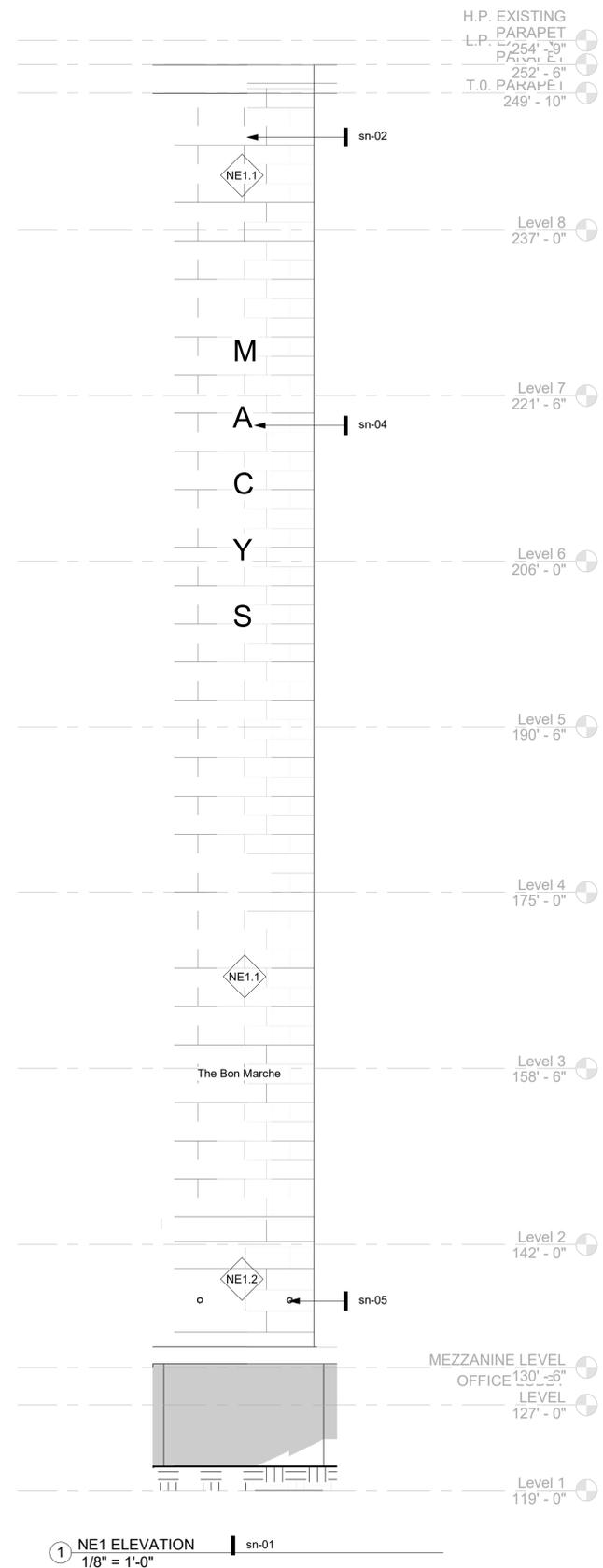
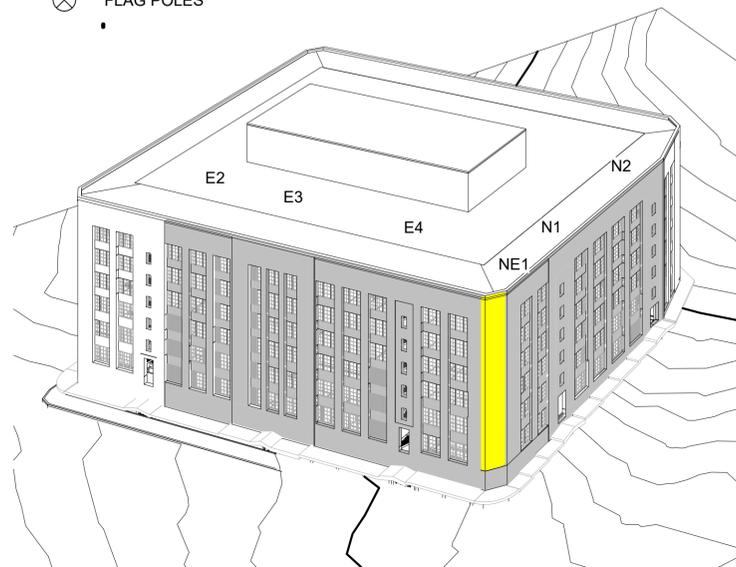
**WALL ANCHORAGE LEGEND**

**BASE BID**

- CANOPY SUSPENSION RODS

**ALLOWANCE**

- TRANSPORTATION TIE BACKS
- UNUSED TIE BACKS
- ⊗ FLAG POLES



1 NE1 ELEVATION  
1/8" = 1'-0"

**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE		
REV	DATE	DESCRIPTION

2200901

**NE1 ELEV SEGMENT**  
ph 3

**A-223**

**SCOPE NOTES - sn-00**

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**WALL ANCHORAGE LEGEND**

**BASE BID**

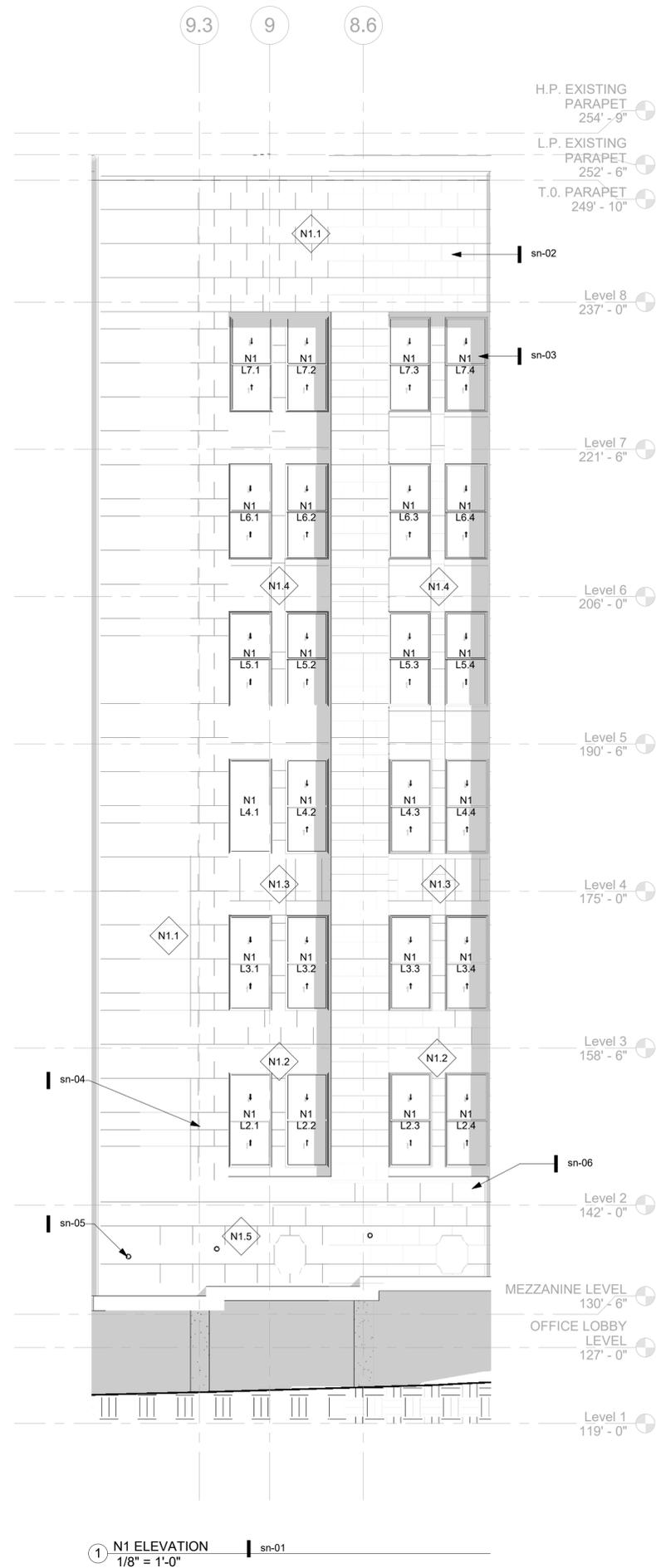
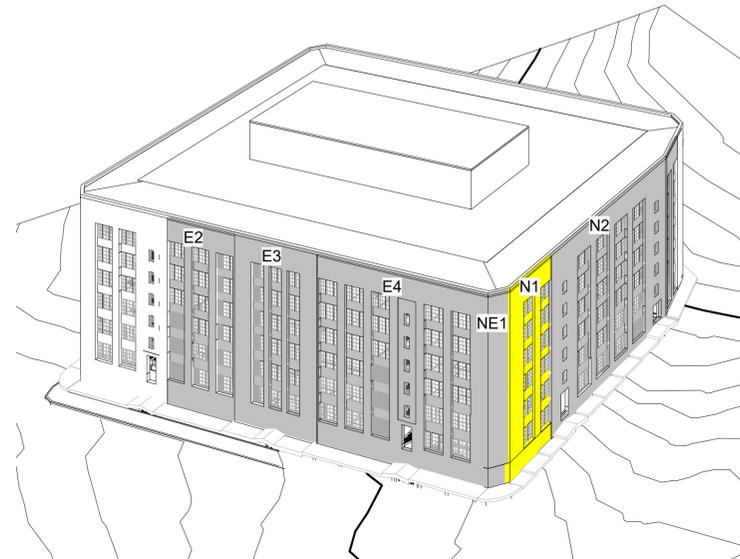
○ CANOPY SUSPENSION RODS

**ALLOWANCE**

● TRANSPORTATION TIE BACKS

■ UNUSED TIE BACKS

⊗ FLAG POLES



**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

**N1 ELEV SEGMENT ph 3**

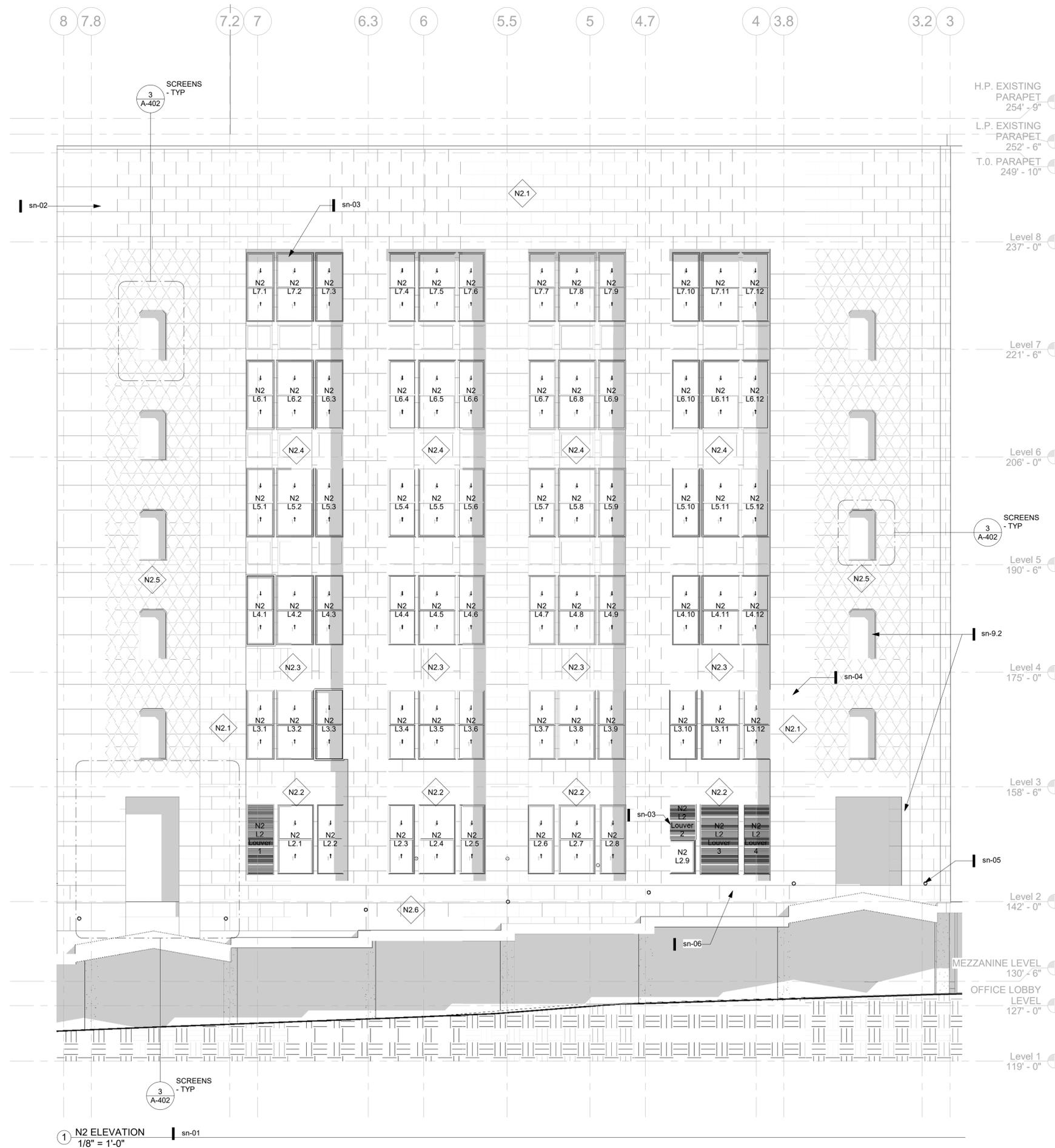
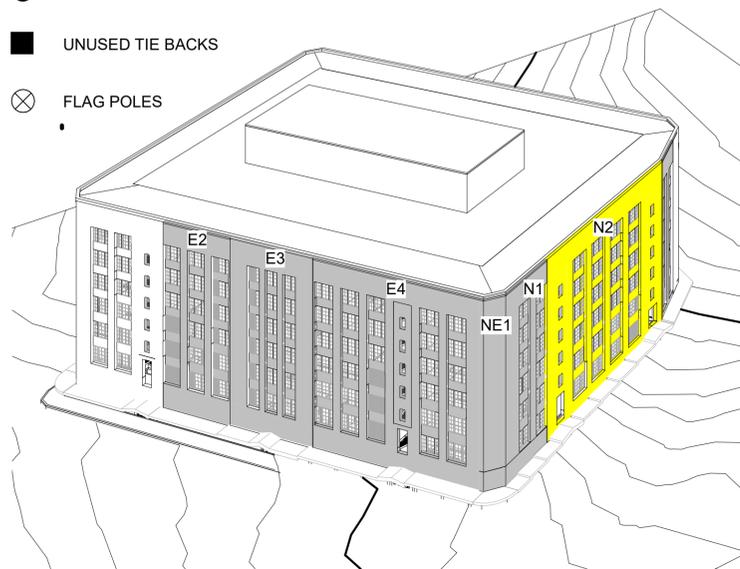
**A-224**

**SCOPE NOTES - sn-00**

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**WALL ANCHORAGE LEGEND**

- BASE BID**
- CANOPY SUSPENSION RODS
- ALLOWANCE**
- TRANSPORTATION TIE BACKS
  - UNUSED TIE BACKS
  - ⊗ FLAG POLES



**300 PINE ST -  
EXTERIOR  
RESTORATION**

300 PINE ST, SEATTLE, WA  
98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

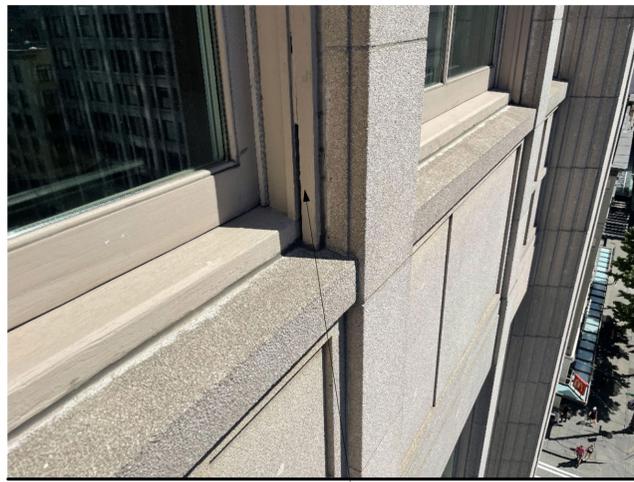
**N2 ELEV SEGMENT  
ph 3**

**A-225**



sn-03

1 WINDOW - TYPICAL  
3" = 1'-0"



sn-03.1



sn-03

SCOPE NOTES - sn-00

- sn-03 Windows and louvers are identified individually at each elevation segment for condition review and repair tracking during construction. - Provide new rod and sealant joints at the Head, Jamb and sill conditions of all windows and louvers. - The louvers are set behind the existing wood window frames at all locations. Assume joint width at 1/2" wide. - Prep and paint all window frames, (including those at the louvers) sash and exterior trim and paint all louvers under the base bid. - Clean prep and seal as directed at all window washer anchors (typically 2 at each window opening location)
- sn-03.1 Each window / louver opening shall be inspected for repair or restoration work including by not limited to the following: - Missing or decayed elements shall be replaced with like materials, with installation consistent with the adjacent original materials and primed and finished as part of the painting of the frames. - Any sill flashing work required at the louvers will be field determined at the individual locations. - This work will be performed under the Window / Louver repair allowance.
- sn-03.2 The condition at the louvers requires an additional rod and sealant joint at the Jamb and head conditions to be installed under the base bid. Removal of the original weatherstripping materials and joint prep to receive the new work will be required at all of these locations.
- sn-04 Miscellaneous connections and penetrations at the building to be cleaned, prep'd and sealed. These include but are not limited to the following: Transit electrical trolley wire anchors - Other public infrastructure - Signage - Flagpoles - Decoration anchorage, and skybridge at the 3rd ave exposure / Prep mockup for review at representative sample locations. This work will be charged under the Miscellaneous Anchors Allowance
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- sn-05.1 the illustration shows the lead flashing concept to be finalized during the initial mock-up stage. The element will be sealant set against the turnbuckle and mechanically self-anchored in the final installation.
- sn-06 At projected window sill conditions typically at level 2 only - re-point all skyward facing joints at these conditions - These are generally at all elevations of the building around the entire 1200 lf perimeter.
- sn-12 Joints at the Coping "stones" shall be inspected, and replaced under the Roof Coping allowance. Assume 50% of the skyward facing joints and vertical return joints will require re-pointing.



sn-03

3 LOUVERS - TYPICAL  
3" = 1'-0"



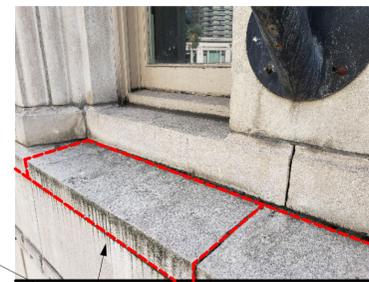
sn-03.2



sn-03.1

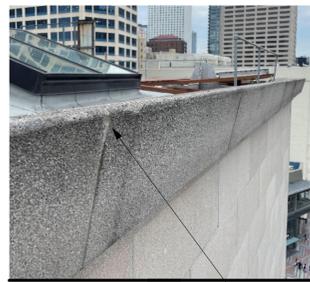


sn-04



sn-06

2 SKYWARD FACING JOINTS  
3" = 1'-0"



sn-12

5 COPING JOINTS  
3" = 1'-0"



sn-05



sn-05.1

4 AWNING SUSPENSION ROD - TYP  
3" = 1'-0"

300 PINE ST -  
EXTERIOR  
RESTORATION

300 PINE ST. SEATTLE, WA  
98101

01/23/23  
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REVISION SCHEDULE	
REV	DESCRIPTION

2200901

DETAILS

A-401

**300 PINE ST - EXTERIOR RESTORATION**

300 PINE ST. SEATTLE, WA 98101

01/23/23  
C.O.A. SET



REVISION SCHEDULE	
REV	DESCRIPTION

2200901

DETAILS

**A-402**

**SCOPE NOTES - sn-00**

- sn-04 Miscellaenous connections and penetrations at the building to be cleaned, prep'd and sealed. These include but are not limited to the following: Transit electrical trolley wire anchors - Other public infrastructure - Signage - Flagpoles - Decoration anchorage, and skybridge at the 3rd ave exposure / Prep mockup for review at representative sample locations. This work will be charged under the Miscellaneous Anchors Allowance
- sn-09 The area of the existing decorative screens will be cleaned of "bird dirt" by qualified personell prior to beginning the work at these elements. The existing screens will be removed intact from their existing locations, prep'd and painted off site and made ready for reinstallation. Additionally, the steel WWM frames (frames only) currently intalled behind the will be prep'd and painted under the base bid work.
- sn-9.1 Screen reinstallation will require additional anchorage backing (concealed from sight) and eliminating the operable elements (any remaining hinges and lock-sets) to a fixed condition. The extent and configuration of this work and any supplemental work at the sill flashing that may be indicated will be determined with the contractor and will be performed under the Screen Modification Allowance.
- sn-13 Existing perimeter gutter at awning. Clean existing gutter completely, Initially vaccum clean all built up debris - from all gutters, drain transition sections and adjacent awning surfaces - flush wash entire length of each gutter section - Inspect entire length and make patch repairs at areas of deficient waterproofing. This will be charged under the Awning Gutter allowance.



3 SCREENS  
3" = 1'-0"



4 MISC WL ANCHORS  
3" = 1'-0"



1 GUTTER - TYPICAL  
3" = 1'-0"