



U.S. IMMIGRANT STATION AND ASSAY OFFICE

INS Building | Seattle Landmarks Preservation Board | Designation Hearing





Historic Seattle | Northwest Vernacular | July 17, 2024




VICINITY



City of Seattle Districts

-  International District Special Review District (SMC 23.66)
-  Pioneer Square Preservation District

National and Washington Heritage Register Historic Districts

-  Seattle Chinatown Historic District
-  Pioneer Square--Skid Road Historic District (Including Boundary Increases)
-  Nominated property boundary (both parcels)



NOMINATED PROPERTY (SITE)

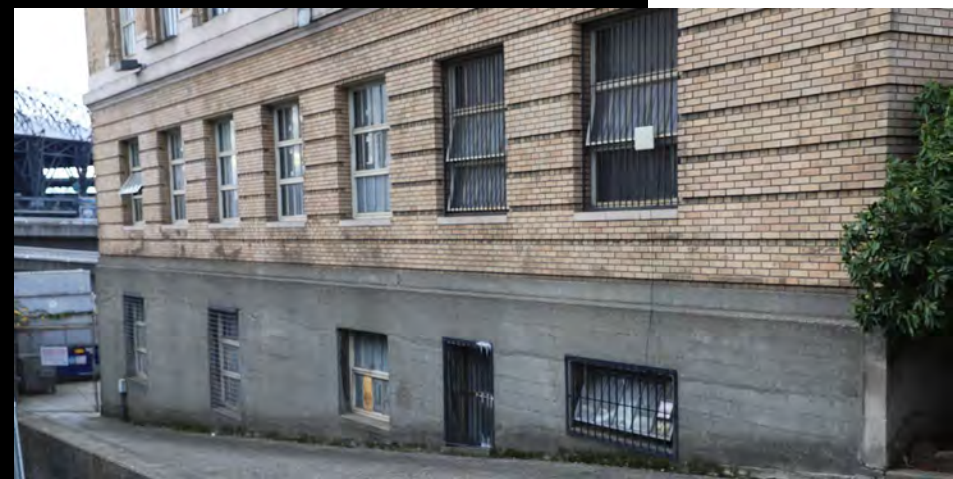


City of Seattle Districts

- International District Special Review District (SMC 23.66)
- Pioneer Square Preservation District
- Nominated property boundary (both parcels)
- U.S. Immigrant Station and Assay Office building footprint
- King County parcels



0 75 150 ft





BUILDING EXTERIOR | NORTH FACADE



NORTH FACADE | ARCHITECTURAL DETAILS



NORTHEAST CORNER



EAST FACADE



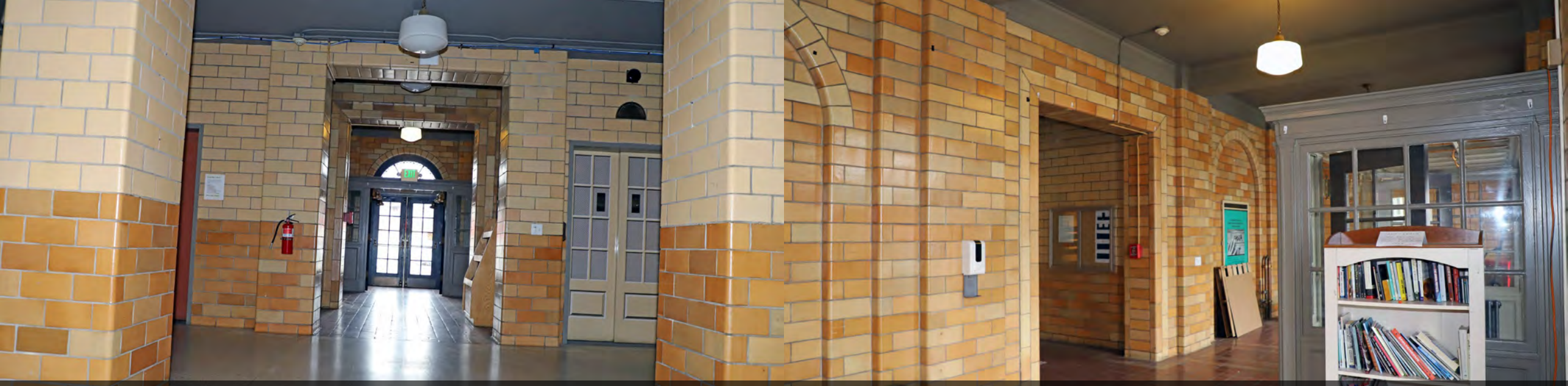
SOUTH FACADE



WEST FACADE



NORTHWEST CORNER

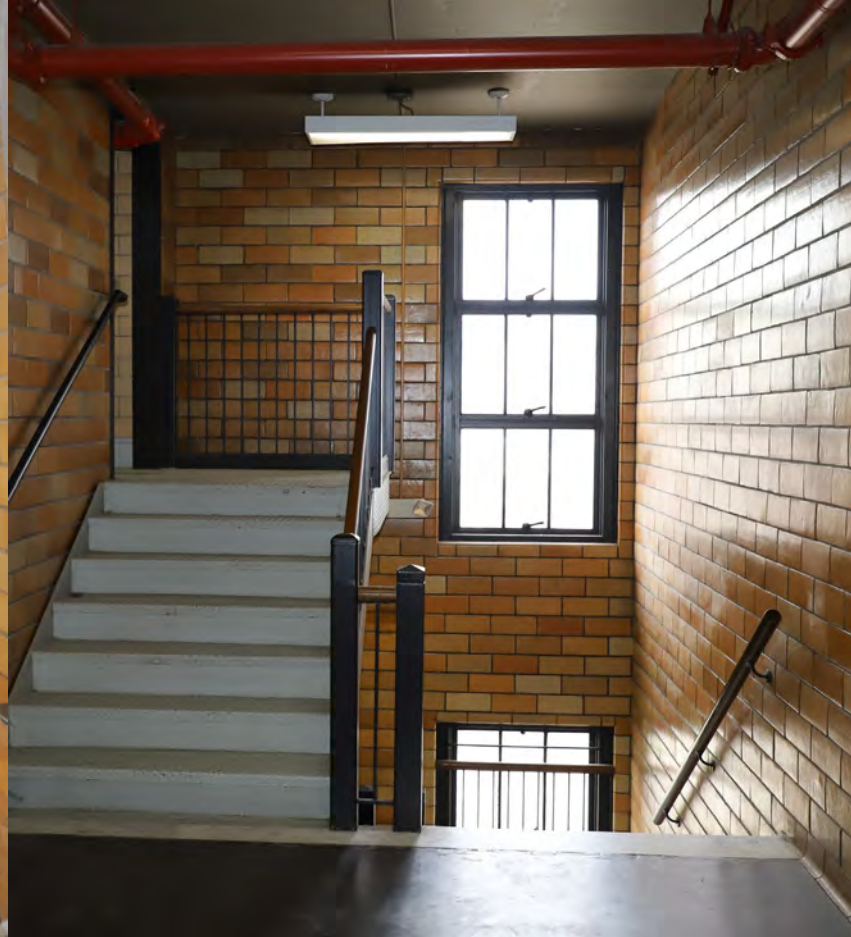


BUILDING INTERIOR | NORTH ENTRANCE





FIRST FLOOR



EAST AND WEST STAIRWAYS



BASEMENT



SECOND FLOOR

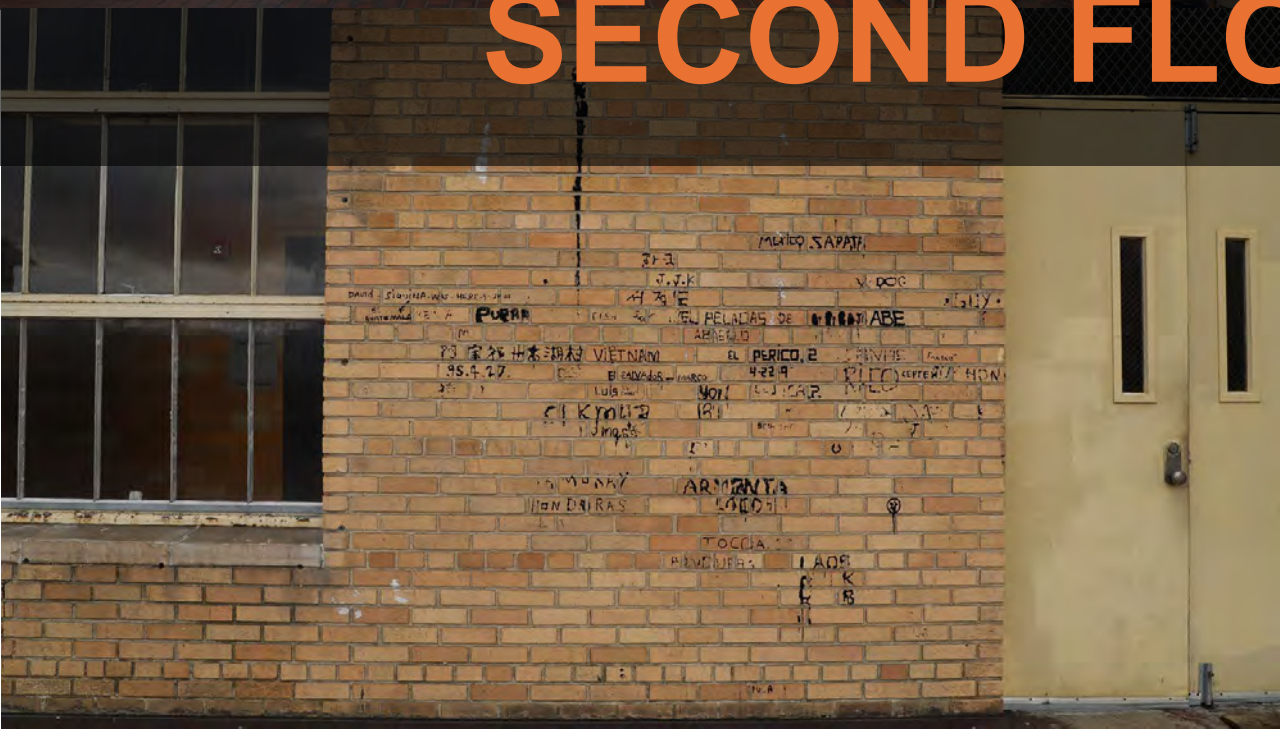


SECOND FLOOR | PATIOS





SECOND FLOOR | PATIOS





THIRD FLOOR



THIRD FLOOR



FOURTH FLOOR

THE CHINATOWN- INTERNATIONAL DISTRICT



Property of The Seattle Public Library

Property of The Seattle Public Library

Property of The Seattle Public Library

Property of The Seattle Public Library

Cost \$

580,000

U.S. IMMIGRATION
BUILDING MAKING
PROGRESS.

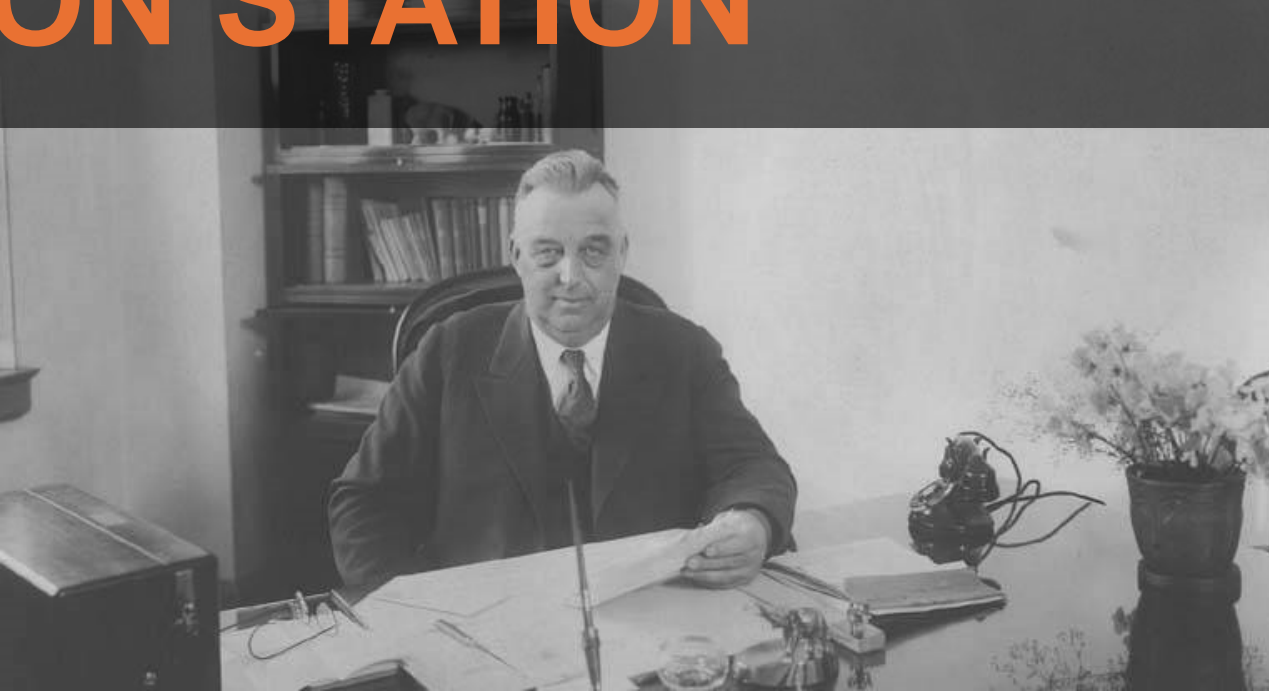
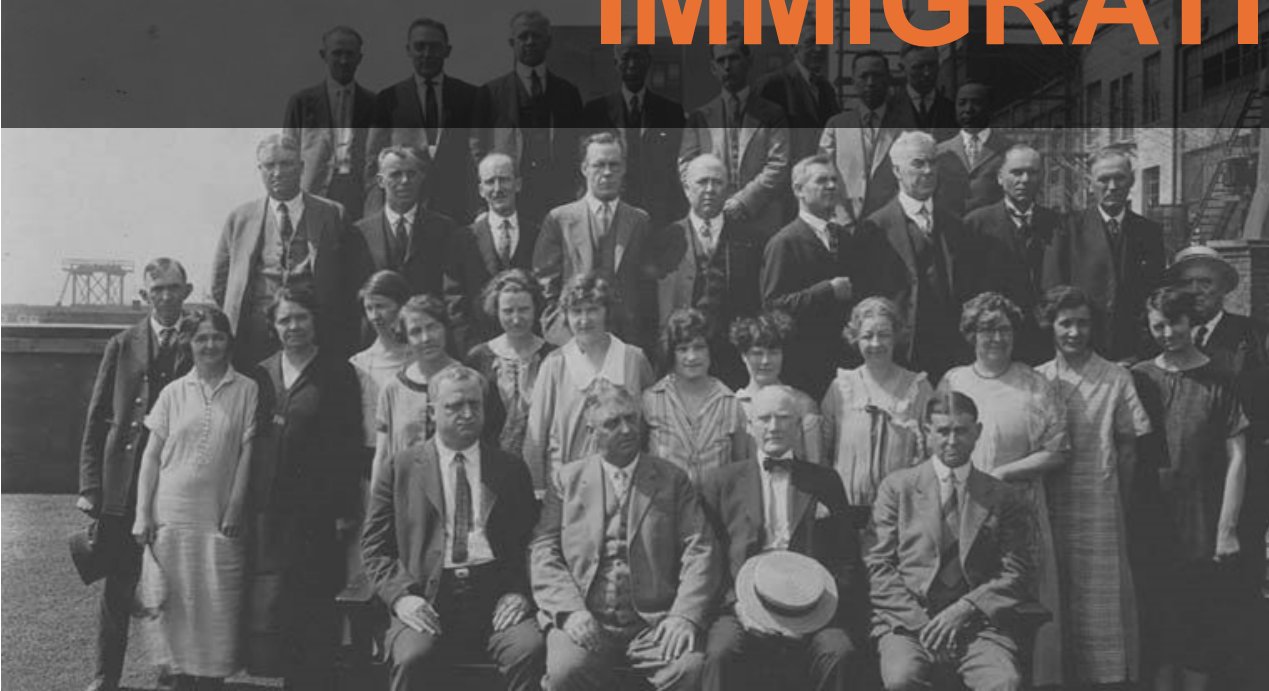


—Courtesy Seattle Times.



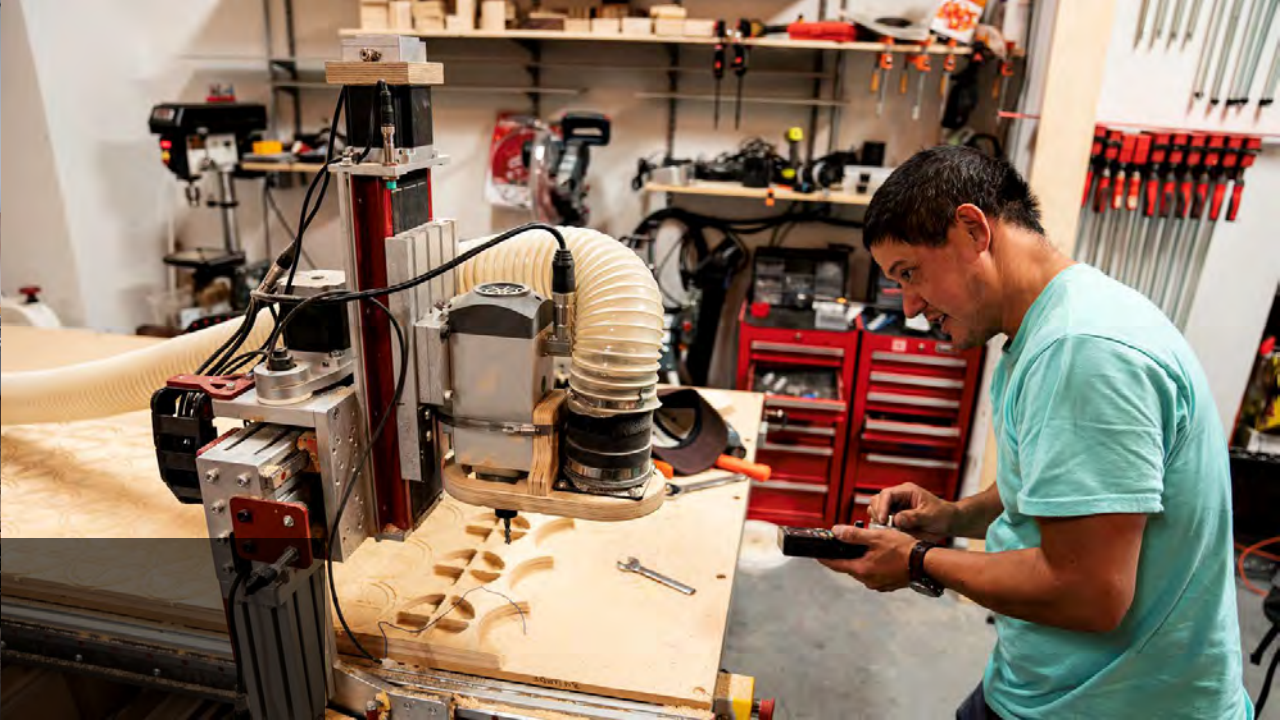


IMMIGRATION STATION





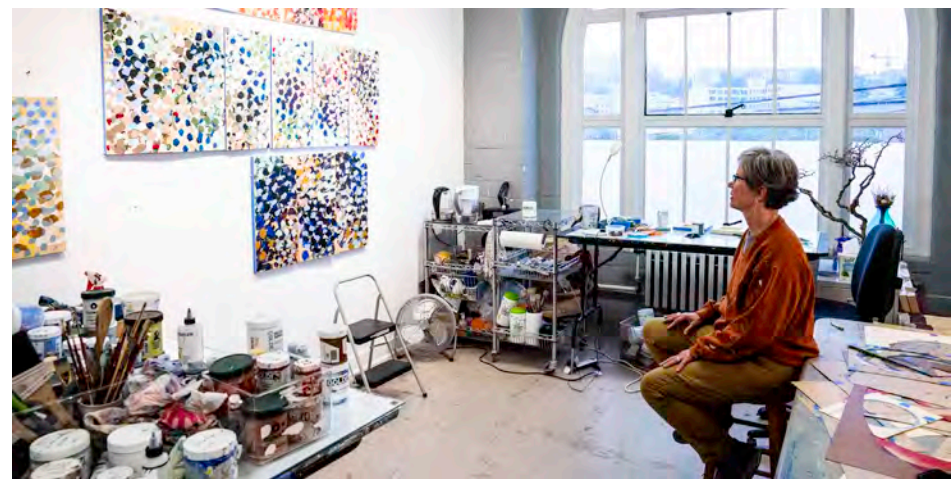
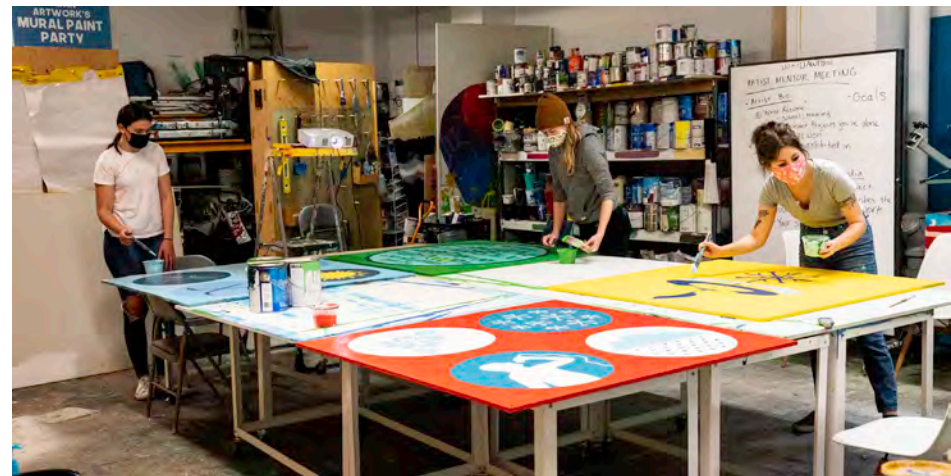
ASSAY OFFICE



RECENT USE



RECENT USE





HABS No. WA-215-1



IMMIGRATION IN SEATTLE



CHINESE IMMIGRATION AND POLITICAL DETAINEES



DURING RECESS—Thomas S. Masuda, on trial in federal court as an unregistered representative of Japanese government, and his wife look over one of the exhibits to be introduced in case.

—(Picture by Post-Intelligencer Staff Photographer)



JAPANESE IMMIGRATION AND INCARCERATION



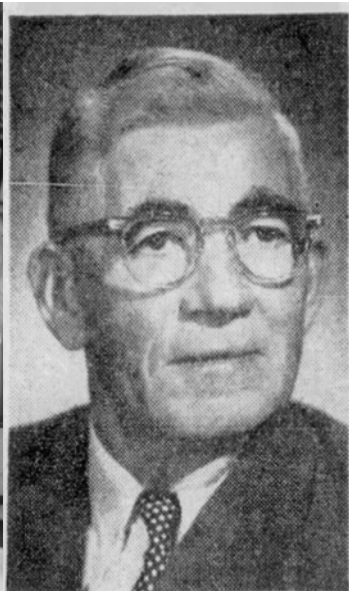
COLD WAR ERA IMMIGRATION



POST-COLD WAR ERA IMMIGRATION

MEDITERRANEAN REVIVAL





EIVIND ANDERSON



SUPERVISING ARCHITECT AND BUILDER

DESIGNATION STANDARDS (SMC 25.12.350)

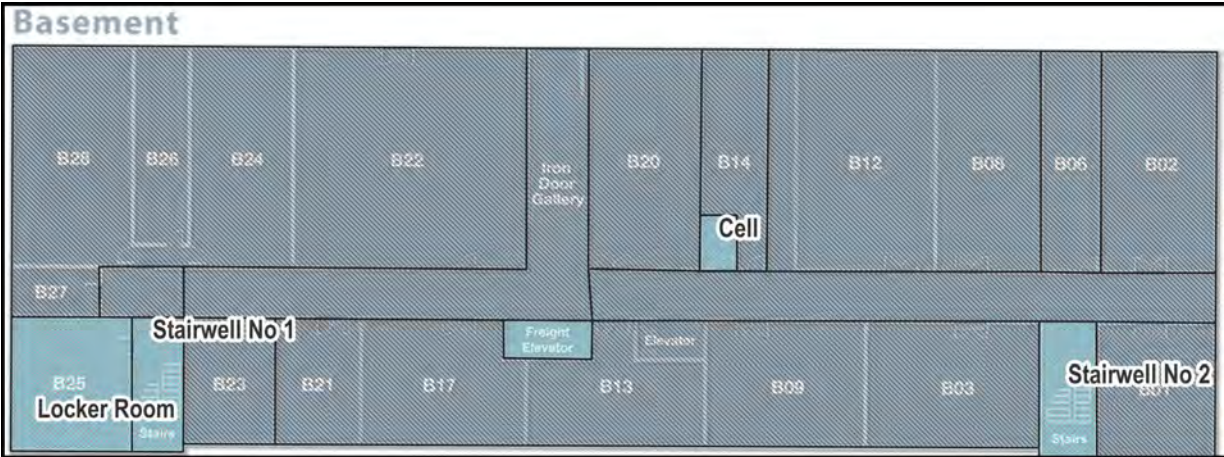
- a) It is the location of, or is associated in a significant way with, a historic event with a significant effect upon the community, City, state, or nation; or
- b) It is associated in a significant way with the life of a person important in the history of the City, state, or nation; or
- c) It is associated in a significant way with a significant aspect of the cultural, political, or economic heritage of the community, City, state or nation; or
- d) It embodies the distinctive visible characteristics of an architectural style, or period, or a method of construction; or
- e) It is an outstanding work of a designer or builder; or
- f) Because of its prominence of spatial location, contrasts of siting, age, or scale, it is an easily identifiable visual feature of its neighborhood or the city and contributes to the distinctive quality or identity of such neighborhood or the City.

In addition to meeting at least one of the above standards, the object, site, or improvement must also possess integrity or the ability to convey its significance.

- **Zone 1 (preservation)** includes exterior building elements. The character and qualities of this zone are to be maintained and preserved.
- **Zone 2 (preservation)** includes interior spaces on the first-floor vestibule/reception area, corridors adjacent to the vestibule. Every effort should be made to maintain and preserve the character and qualities of this zone.
- **Zone 3 (rehabilitation)** includes the majority of the interior space on the first floor through third floors. All work in these areas is to be undertaken as sensitively as possible with original materials preserved where possible.
- **Zone 4 (free)** the basement and office spaces on the fourth floor. Work in this area should be sympathetic to the historic qualities and character of the building but may include extensive changes or total replacement.

MOA Preservation Covenant Zones

(page A.60 at the end of the nomination)



Due to the existing room numbering on the drawing, the drawing is oriented with the front of the building at the bottom and the back at the top.



Basement MOA zones

- 3
- 4

Basement



Due to the existing room numbering on the drawing, the drawing is oriented with the front of the building at the bottom and the back at the top.



- First floor MOA zones
- 2
 - 3
 - 4

First Floor

- **Zone 1 (preservation)** includes exterior building elements. The character and qualities of this zone are to be maintained and preserved.
- **Zone 2 (preservation)** includes interior spaces on the first-floor vestibule/reception area, corridors adjacent to the vestibule. Every effort should be made to maintain and preserve the character and qualities of this zone.
- **Zone 3 (rehabilitation)** includes the majority of the interior space on the first floor through third floors. All work in these areas is to be undertaken as sensitively as possible with original materials preserved where possible.
- **Zone 4 (free)** the basement and office spaces on the fourth floor. Work in this area should be sympathetic to the historic qualities and character of the building but may include extensive changes or total replacement.

MOA Preservation Covenant Zones

(page A.60 at the end of the nomination)



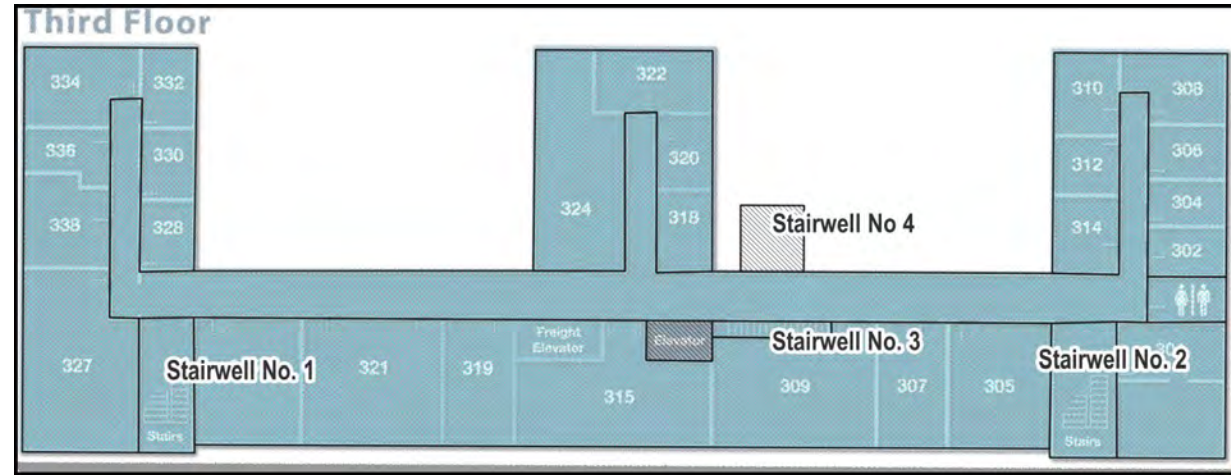
Due to the existing room numbering on the drawing, the drawing is oriented with the front of the building at the bottom and the back at the top.

Second floor MOA zones

- 3
- 4



Second Floor



Due to the existing room numbering on the drawing, the drawing is oriented with the front of the building at the bottom and the back at the top.

Third floor MOA zones

- 3
- 4

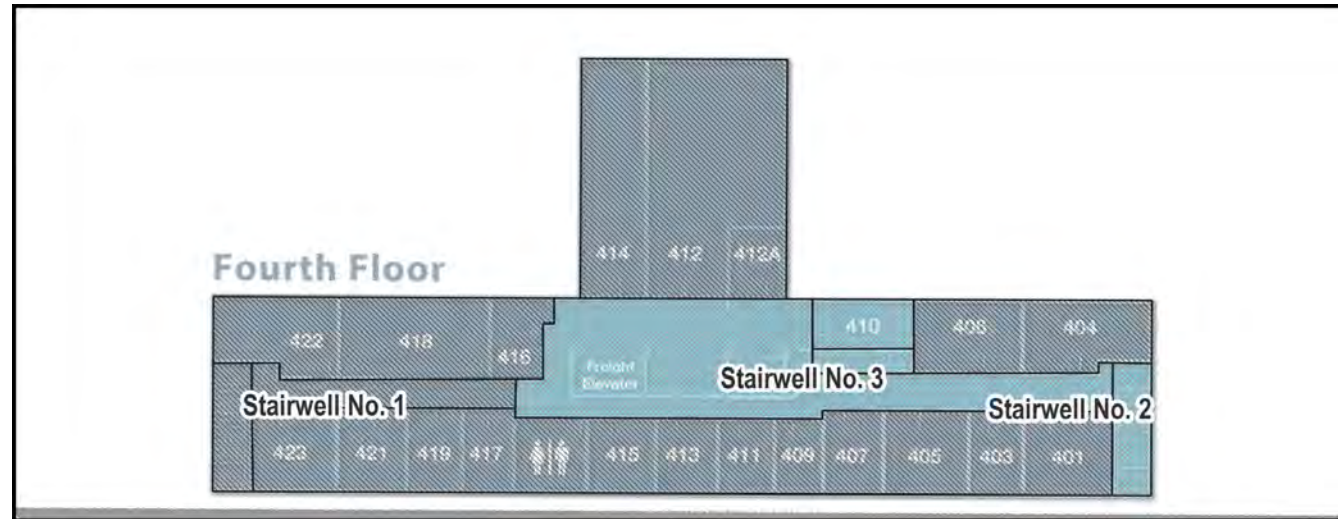


Third Floor

- **Zone 1 (preservation)** includes exterior building elements. The character and qualities of this zone are to be maintained and preserved.
- **Zone 2 (preservation)** includes interior spaces on the first-floor vestibule/reception area, corridors adjacent to the vestibule. Every effort should be made to maintain and preserve the character and qualities of this zone.
- **Zone 3 (rehabilitation)** includes the majority of the interior space on the first floor through third floors. All work in these areas is to be undertaken as sensitively as possible with original materials preserved where possible.
- **Zone 4 (free)** the basement and office spaces on the fourth floor. Work in this area should be sympathetic to the historic qualities and character of the building but may include extensive changes or total replacement.

MOA Preservation Covenant Zones

(page A.60 at the end of the nomination)



Due to the existing room numbering on the drawing, the drawing is oriented with the front of the building at the bottom and the back at the top.



Fourth Floor

Fourth floor MOA zones

- 3
- 4