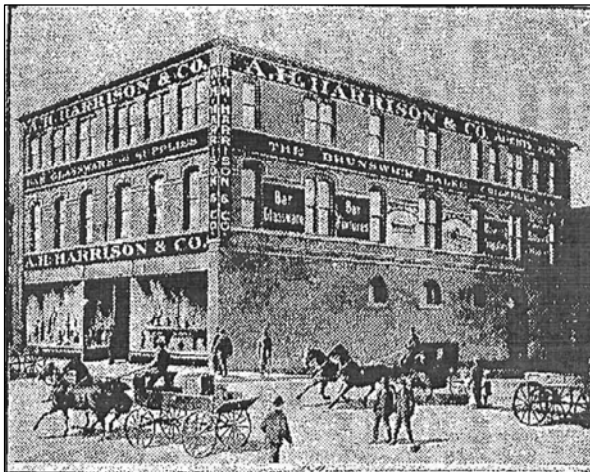


The J&M Hotel and Annex  
201-205 1<sup>st</sup> Avenue South  
Pioneer Square Historic District, Seattle  
Historic Review



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**The J&M Hotel and Annex**  
**Historic Review**  
**201-205 1<sup>st</sup> Avenue South**

**October 15, 2015**

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Cover: Views looking southwest at the building from the intersection of 1<sup>st</sup> Avenue S and S Washington Street: Seattle Times photograph, February 25, 1906; King County Tax Assessor's Property Record Card photograph, 1937; Contemporary photograph, BOLA, July 2015.

# **The J&M Hotel and Annex 201-205 1<sup>st</sup> Avenue South Pioneer Square Historic District, Seattle Historic Review**

**BOLA Architecture + Planning  
October 15, 2015**

## **1. INTRODUCTION**

### **Background**

This report on the J&M Hotel property has been developed as part of ongoing efforts by the new owner to rehabilitate the historic three-story building and its one and two-story annex. The building has long been associated with the J&M Cardroom, which occupies a portion of the first floor. At its upper floors, the original hotel layout remains, although the spaces have been vacant for many decades. The proposed rehabilitation will retain existing commercial and hotel uses within the building, while the basement will be upgraded for new occupancy as a speakeasy. The property, at the southwest corner of the intersection of 1<sup>st</sup> Avenue S and S Washington Street, is located within the Pioneer Square – Skid Road National Register Historic District and the Seattle’s Pioneer Square Preservation District. Both the building and the annex are identified as contributing resources in the District.

This project will be undertaken by the owner, J&M Capital Group, led by Kurt Fisher and Brittany Shulman. The owner’s project manager is David Bolin of the D Bolin Company. Weinstein A+U is the owner’s prime design consultant and architect, BOLA is the preservation architect, and Swenson Say Faget is the structural engineer.

The proposed project will seek approval from the Pioneer Square Preservation Board (PSPB) and the Director of the Department of Neighborhoods (DON) for the exterior rehabilitation, along with approval of a Certified Rehabilitation for historic tax credits (HTC) by the Washington State Department of Archaeology and Historic Preservation (DAHP) and the National Park Service (NPS). This report was developed to provide background information for the PSPB and the DON as part of the City of Seattle’s regulatory requirements for the District’s design review process and SEPA reviews.

### **Research**

Research for the report was undertaken in May through August 2015, led by Principal Susan Boyle and Megan Scott, along with the assessment of character-defining features by Principal Rhoda Lawrence. Additional input came from Weinstein A+U. Sources of historic information included the following:

- City of Seattle Department of Planning and Development (DPD) microfilm permit and drawing records, and Seattle Municipal Archives (SMA) photographic collection
- King County i-Map and property record cards from Puget Sound Regional Archives
- Historic photos from the digital collections of the University of Washington Libraries Special Collections (UWLSC) and Museum of History and Industry (MOHAI)
- Articles from the *Seattle Times* Historical Archives available on the Seattle Public Library website
- Historic Baist maps and Sanborn Insurance Company maps
- The National Register Nomination for the Pioneer Square – Skid Road Historic District
- City of Seattle DON historic site inventory forms and PSPB records
- Published and digital histories of Pioneer Square

### **Regulatory Framework**

The J&M Hotel and Annex are located within two historic districts – the National Register Historic District and the Pioneer Square Historic District. The City ordinance for the local district was initially developed in 1970, in recognition of the unique social character of Pioneer Square, and has been updated several times, most recently in 2007. Specific goals of the district are noted in SMC 23.66.100:

- to preserve, protect, and enhance the historic character of the Pioneer Square area and the buildings therein; to return unproductive structures to useful purposes;
- to attract visitors to the City; to avoid a proliferation of vehicular parking and vehicular-oriented uses; to provide regulations for existing on-street and off-street parking;
- to stabilize existing housing, and encourage a variety of new and rehabilitated housing types for all income groups;
- to encourage the use of transportation modes other than the private automobile;
- to protect existing commercial vehicle access; to improve visual and urban relationships between existing and future buildings and structures, parking spaces and public improvements within the area; and
- to encourage pedestrian uses, there is established as a special review district, the Pioneer Square Preservation District.

#### **The PSPB Rules (Design Review Guidelines)**

The ordinance calls for the review and approval of proposed changes to properties within the district, and cites the requirements for a Certificate of Approval (COA) application. An application must be provided when a property owner proposes work “that results in any change to the exterior appearance of any Pioneer Square District structure, including façade alterations, new construction, and demolition or remodeling.” The PSPB reviews COA applications and recommends approval, approval with conditions, or denial to the Director of the Department of Neighborhoods, who makes the final decision. The PSPB bases its decisions on the standards established in SMC 23.66, “Rules for the Pioneer Square Preservation District” in the “Pioneer Square Historic District FAQ,” (on the DON website, <http://www.seattle.gov/neighborhoods/preservation/pioneersquare.htm>).

The PSPB has jurisdiction over both use (including changes of use) and design, including demolition, alterations, reconstruction, restoration, remodeling, and changes to the exterior appearance of an existing structure or rights-of-way and signage. The Board’s advisory design review process cites a direct approval process and schedule, and a preliminary design review track. In addition to its adoption of *The Secretary of the Interior’s Standards for Rehabilitation with Guidelines for Rehabilitating Historic Buildings*, the Board has adopted the complete series of National Park Service Preservation Briefs to address exterior alterations and treatments, rehabilitation projects, and new construction. Specific elements in the PSPB Design Guidelines are cited below to support development of the project proposal and its permit process:

- Use, design and demolition approval is required before any building or other City permit or license can be granted. At the applicant’s option, use and design approvals can be requested at one time or in two separate steps. Applicants with major projects are encouraged to come before the Board for preliminary review and conceptual approval.
- New construction must be visually compatible with the predominant architectural styles, building materials, and inherent historic character of the District. Although new projects need



not attempt to duplicate original facades, the design process ought to involve serious consideration of the typical historic building character and detail within the District.

- In considering any new design, including penthouses and additions, the PSPB is interested in compatibility with existing historic features in the historic district: recognition of existing edge conditions; composed facades with horizontal and vertical elements; and use of brick masonry, stone, terra cotta, and tile, wood window sash, ornamental sheet metal, and carved stone and wood or cast iron for storefronts. Synthetic stucco siding is generally not permitted. Concrete, stone, and masonry are not to be painted, while wood framed, sheet metal, and cast iron elements typically are. Preferred colors include varied tones of red brick or gray sandstone.

*The Secretary of the Interior's Standards and Guidelines for Rehabilitation* and the Rules for the Pioneer Square Preservation District are available as separate supplementary documents. The PSPB staff has noted that the Pioneer Square Rules presently are being reorganized for clarity, but there is no timeline for when this revision will be complete.



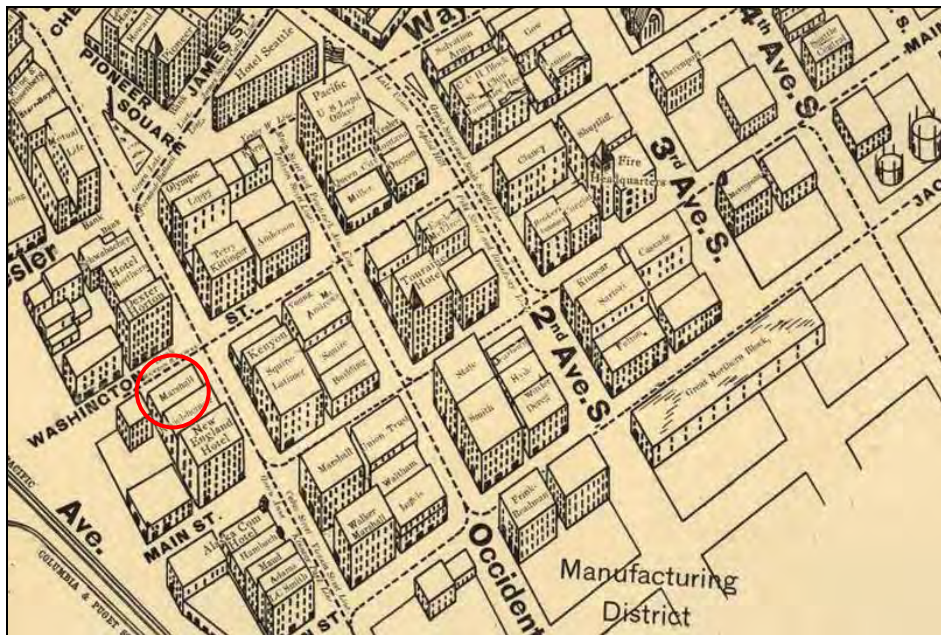
**Figure 1.** Above, an aerial view shows the subject building (marked with a red pin) within its neighborhood context. North is oriented up (Google Maps, 2015). The inset to the lower right is a more detailed view.

## 2. PROPERTY DATA

Original Names:	J. H. Marshall Building / ("Little") Walter Collins Building	
Common Names:	J&M Hotel, J&M Cafe, J&M Cardroom and Annex	
Address:	201 1 <sup>st</sup> Avenue S (also 203-205 1 <sup>st</sup> Avenue S), and 89 S Washington Street, Seattle, Washington 98104	
Location:	Southwest corner of the intersection of 1 <sup>st</sup> Avenue S and S Washington Street, between 1 <sup>st</sup> Avenue S and an alley to the west	
Tax Parcel Number:	524780-0130	
Legal Description:	D. S. Maynard's Plat Less Street, Block 2, Lot 8, except E 9' Cond for 1 <sup>st</sup> Avenue S under Co 1106	
Original Designer:	Comstock and Trotsche, Architects, San Diego	
Original Builder:	Unknown	
Original Construction Dates:	201-205 1 <sup>st</sup> Avenue S (J&M Building), ca. 1889 – 1900 89 S Washington (Annex addition), ca. 1893 - 1905	
Site Area:	6,600 gross square feet, 0.15 acre (King County Parcel Viewer)	
Building Size:	25,450 gross square feet: 7,730 GSF basement (storage), 6,600 1 <sup>st</sup> floor (restaurant) 11,060 2 <sup>nd</sup> & 3 <sup>rd</sup> floors (storage - 63 hotel rooms/vacant) (King County Parcel Viewer)	
Original and Later Owners:	Frye-Bruhn Company, ca. 1895 (property) Captain J. H. Marshall, ca. 1900 (property and buildings) Hines Est, 9-10-10 (fee owner noted on the 1935 property record) M. Shimokon, ca. 1940, owner of 203 1 <sup>st</sup> Avenue S (J & M Hotel), Junzo Nishimoto, ca. 1941 Harry Buttnick, and Jacob, Mavis, Gwendolyn Buttnick, and Meta Buttnick Kaplan, with Laurie and Robert Shapiro (ca. 1943 - )	
Historic and Current Occupants:	201 1 <sup>st</sup> Avenue S	A. H. Harrison, bar and pool room suppliers, ca. 1906 – 1909 Jameson & Moffat, lunchroom, ca. 1915 – J & M Café, 1922 – J & M Employment Agency, 1928 Sharkey Charles, 1939 – 1941 Herzog & Kibizoff, 1944 – 1945
	203 1 <sup>st</sup> Avenue S	Karl Hotel, 203 1 <sup>st</sup> Avenue S, 1913 – 1936 J & M Hotel, ca. 1937 –
	205 1 <sup>st</sup> Avenue S	Nara Store, 205 1 <sup>st</sup> Avenue S, ca. 1928 – 1937 Russo's Beverage Store, ca. 1954 Kline's Beverage Store, 1955 – 1963 Two-O-Five Antiques, 1975 – 1983 Crème Soda gift shop, ca. 1979 Tootsie's, vintage clothing store, 1985 Bagel Express Deli, ca. 1987 – 1995 Mediterranean Mix, café, ca. 1995 – present
	89 S Washington	Chicago Milwaukie & St. Paul Employment Agency, ca. 1919 – 1930
Present Owner:	J&M Capital Group, LLC, Seattle (Seneca Ventures)	

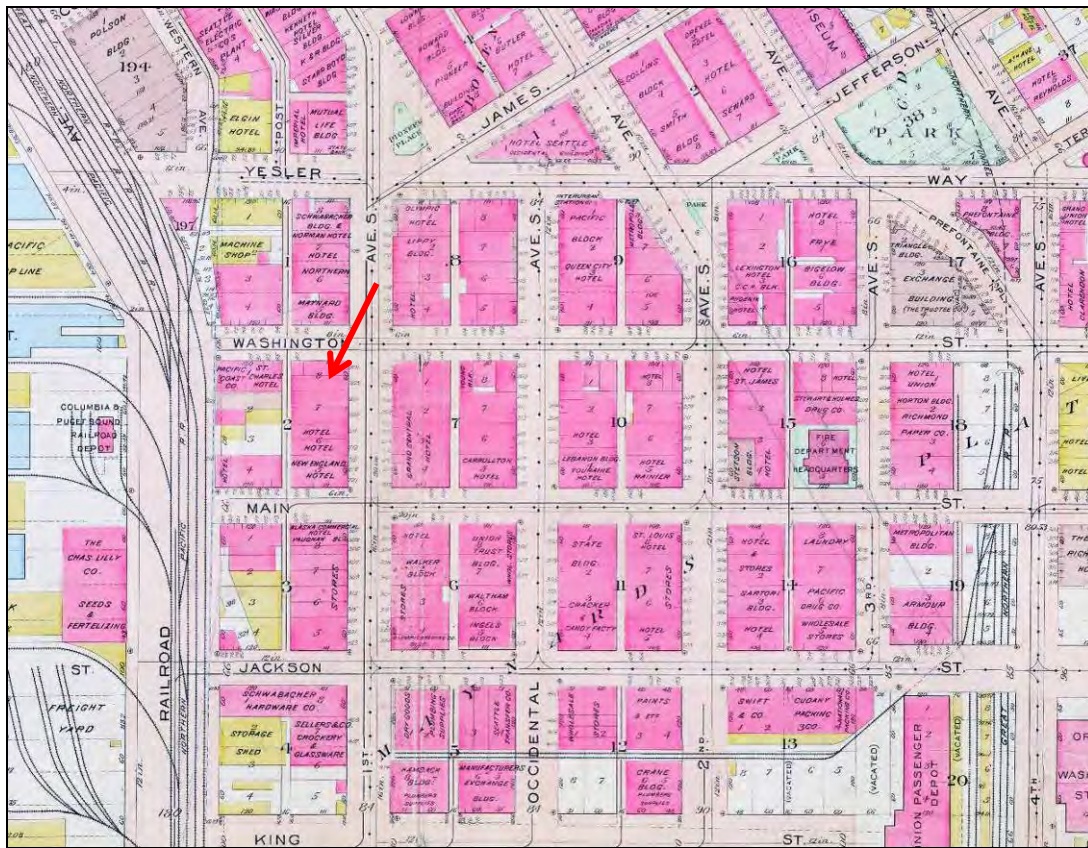
While referred to as Pioneer Square locally, the historic district is identified by both its common and historic names as “The Pioneer Square – Skid Road Historic District” in the National Register of Historic Places. This area was Seattle’s first town site. Beginning in the early 1850s, pioneers David Maynard, Henry Yesler, and Carson Boren acquired the area, attracted by the relatively flat topography and proximity to a deep harbor. Yesler established his sawmill approximately at the foot of present-day Yesler Way at 1<sup>st</sup> Avenue in 1853. The mill and wharf became the center of an early commercial district, made up primarily by vernacular wood-framed industrial and commercial buildings and residences.

Seattle boomed as businesses were revived, and infrastructure and construction expanded to the north and east of the Pioneer Square area. The city's population nearly doubled in a single decade, from approximately 42,840 in 1890 to over 80,700 by 1900. Construction of railroad depot followed, with the completion of King Street Station in 1906, followed by Union Station in 1910-1911. By 1910, with immigration and annexations, Seattle's population approached 240,000. Steel-framed, high-rise buildings, such as the Frye Hotel (1906-1911) and the Hoge Building (completed in 1911) were built nearby on Yesler Way and 2<sup>nd</sup> Avenue, followed by the construction of the terra cotta clad, steel-framed Smith Tower, built by typewriter magnate L. C. Smith, in 1914.



**Figure 2.** Above, an excerpt from a 1903 Periscopic Map of Seattle showing the Pioneer Square area. By this date, nearly all the blocks were filled by large masonry buildings constructed after the Great Fire, which were served by streets, through-block alleys, streetcars, and nearby railroad lines. The J&M Property is shown as a single multi-story structure, cited as “Marshall,” and is circled in red (Library of Congress website).





**Figure 3.** Above, an excerpt from a 1912 Baist Map that identifies buildings, businesses, docks/piers, and railroad lines in the general Pioneer Square-Skid Row area. The pink color indicates masonry buildings, while yellow indicates wood or timber-frame structures. An arrow has been added to identify the J&M property (Baist map courtesy of DorpatSherrardLamont).

Pioneer Square served as the city center through the first decade of the 20<sup>th</sup> century. However, with the City regrade projects and general economic expansion, retail and service businesses gradually located to new buildings farther north on 2<sup>nd</sup> Avenue. This movement increased after the conclusion of World War I with further urban growth. Pioneer Square's economy began to diminish, and by the onset of the Great Depression in the early 1930s, the area had declined. Destitute residents created a "Hooverville" in a nearby abandoned ship building site at the southwest edge of S Atlantic Street. Many residents moved into the older single-room occupancy (SRO) buildings and resident hotels in the area in the 1940s and 1950s, along with low-income seasonal workers and retired men. Many commercial buildings were vacated while others remained occupied, but only by some light manufacturing. Older hotels, cafes, and pawnshops persisted. Many taverns arrived after Prohibition was lifted in 1933, but due to the economic stagnation, buildings were neglected, and deterioration set in throughout the 1940s and 1950s (Crowley, essay no. 3392).

The neighborhood became blighted in the post-World War II era, in part responding to the city's increased suburbanization and relocation of businesses to its outlying neighborhoods and nearby cities, while warehousing and light manufacturing moved to the city's south industrial area and Harbor Island. A major earthquake in 1949 resulted in the damage and demolition of many turn-of-the-century buildings, along with removal or loss of historic features, such as projecting parapets and masonry cornices, on those that remained. As a result, new parking lots were created on the subsequent vacated land.



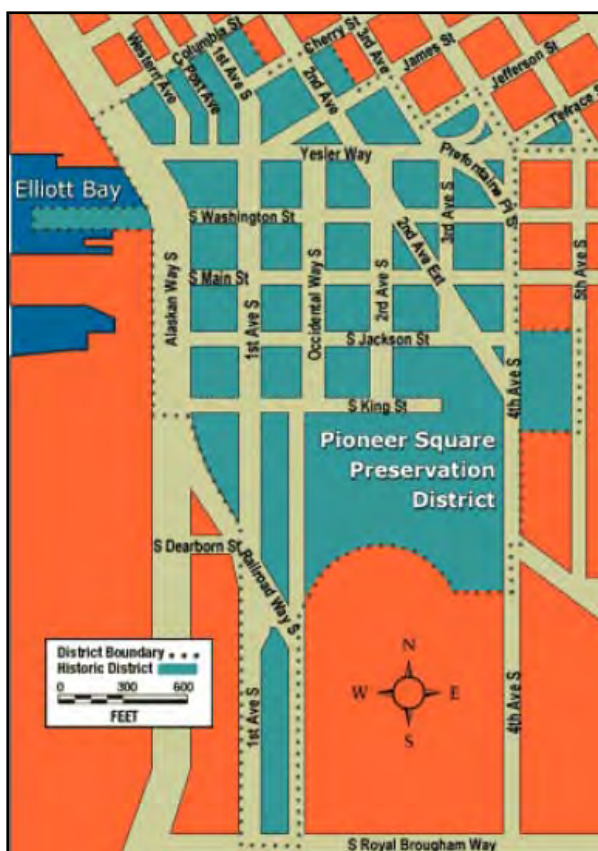
The area remained grimy and seemingly crime-ridden, with many taverns, pawn shops, cheap stores, and missions, but it also served as an affordable refuge for low-income urban dwellers in the 1960s and 1970s, along with some manufacturing. By the late 1960s, Pioneer Square had been discovered by the city's arts and LGBT communities, who were drawn to its unique character, out-of-the-way location, and the presence of bars and clubs. The area's first art gallery scene also emerged around this time.

Forces of urban renewal threatened the area in the late 1960s, with plans to raze many portions of it. These were fought successfully by advocates made up by progressive politicians, groups such as Allied Arts, and the efforts of a few visionaries—local developers, architects, and business owners—helping to initiate a new era.

### Creation of the Local Historic District

Preservation of the area was advocated by City Council member Myrtle Edwards in the mid-1950s, but few political leaders or property owners supported her proposal. In contrast, many saw the district as the appropriate location for parking, with its only revitalization to occur through the demolition and replacement of buildings with surface lots. The area's revival began in the late 1960s when a new group of urban reformers gained leadership positions with the election of Mayor Wes Uhlman in 1969 along with new city council members. A proposed Urban Renewal redevelopment plan, along with the 1962 demolition and replacement of the historic Seattle Hotel with a parking garage ("the sinking ship"), initiated further preservation efforts.

Architect and advocate Victor Steinbrueck prepared a seminal inventory of buildings in the area, and groups such as Allied Arts rallied for local preservation and protection. By the late 1960s, architects' offices and art galleries had been established in the area, followed by private rehabilitation efforts and development of commercial and multi-family lofts in mixed-use historic masonry buildings.



The City purchased a parking lot and several low-scale buildings along S Washington Street with Forward Thrust funds, and began developing Occidental Square. (Reportedly, the Salvation Army originated in one of these buildings in 1887, at 117 S Washington Street.) Soon afterwards, in 1971, the 1909 iron pergola in Pioneer Square was placed on the National Register. The structure was restored with funds donated by the locally-founded United Parcel Service (Sherwood).

**Figure 4.** Left, the district was nominated to the National Register of Historic Places in 1969, and listed on June 22, 1970. This was followed by the creation of a City of Seattle historic district by Seattle City Ordinance No. 98852 (also in 1970), and the establishment of the Pioneer Square Preservation Board in 1971. The local district designation offered protection to a 30-acre area. On July 7, 1978, the NRHP district boundaries were expanded, and on June 16, 1989, the district's area was increased again to its present 88 acres. The NRHP nomination was updated by the city with a new report on July 15, 2005 (SHPO revision date, November 2007).

### The Physical Setting of the Historic District

Pioneer Square is generally thought to be bounded by Elliott Bay on the west, S King Street on the south, 4<sup>th</sup> and 5<sup>th</sup> Avenues S on the east, and Yesler Way to Columbia Street on the north. It originally was laid out with a simple street grid that angled to follow the shoreline north of Yesler Way. The streets and buildings north and northwest of the King Street and Union Railroad Stations were impacted by changes to the grid in the late 1920s when a public project was undertaken to ease vehicle traffic near the two major train stations and to make them more visible. The reworking of roadbeds led to the creation of 2<sup>nd</sup> Avenue S Extension, and the removal and dramatic changes to several buildings along 2<sup>nd</sup> and 3<sup>rd</sup> Avenues S, south of Yesler Way.

Another major transportation project changed the western edge of the district in the late 1940s, when the construction of a by-pass highway with a raised roadbed was initiated. The Highway 99 Viaduct, built in 1947-1952, ran above Alaskan Way and through a tunnel at Battery Street, north of the Pike Place Market. The resulting traffic noise, grime, and shadows left property owners with lower property values, and reduced the quality of life for residents and businesses in the Pioneer Square area.

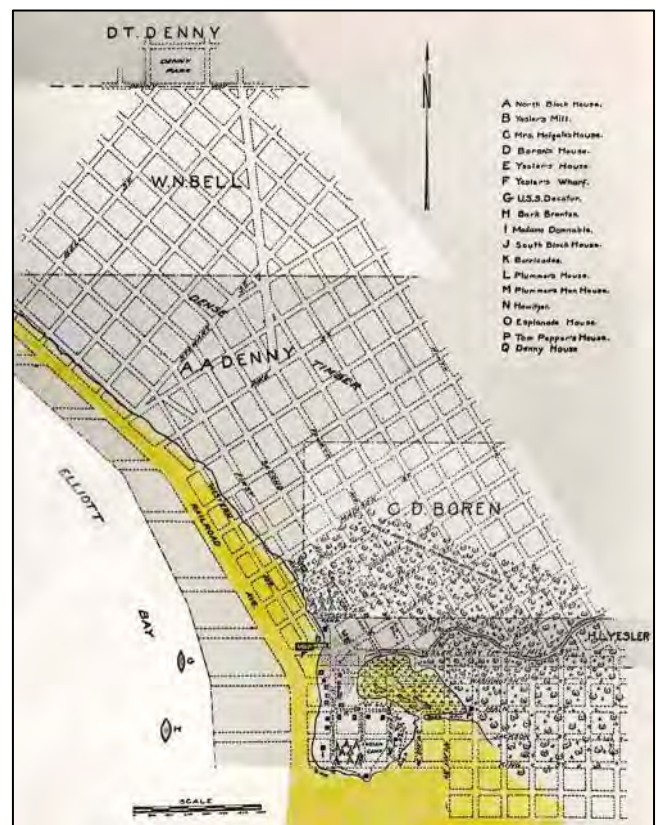
Many older buildings in the district were damaged by major earthquakes in 1949, 1964, and 2001, and the district's southern edge was negatively impacted by construction of the Kingdome stadium in 1976. The area surrounding 1<sup>st</sup> and 2<sup>nd</sup> Avenues and S Main and S Washington Streets benefitted from the closure of Occidental Avenue S to vehicles between S Washington and S Jackson Streets, along with the vacation of the mid-block street and the creation of Occidental Park. This open space was developed after the city acquired the 0.61-acre property in 1971, "for park, recreation and open space." The parking lot on the site was removed and the area paved with cobblestones. London Plane trees were added along with a glass-roofed bench shelter, a small grass plot, and fountain (some of these features have since been removed; Sherwood).

Similar paving treatment was installed on Occidental Avenue S, south of S Main Street, which was closed to vehicular traffic and developed as a pedestrian mall. Landscaping of mid-street medians along Occidental Avenue S, between Yesler Way and S Washington Street, and 1<sup>st</sup> Avenue S followed, along with provision of vintage-style lamp posts and street trees in the 1990s (Crowley, 1998, p. 36). Some of the street improvements accompanied the former Waterfront Streetcar project that resulted in the tracks and the roadbed passenger station just east of 1<sup>st</sup> Avenue S on S Main Street.

Financial stimulus led to considerable private redevelopment of historic properties due in part to two incentive programs – the Washington State Special Valuation Program, established in 1985 and administered by the City of Seattle, and the 1986 federal historic rehabilitation tax credit program for certified rehabilitation projects. These financial incentives, and the promotion of historic preservation in the local historic district, resulted in the presence of many additional buildings in the area that have been saved and rehabilitated in the past three decades.

**Figure 5.** Below left, the Plan of Seattle, 1855-1856 by Commander Thomas S. Phelps of the USS Decatur notes, "Showing the position occupied by the Crew..." This map shows the small peninsula of land that made up the original area, with the surrounding bay and tidelands. Yesler's Wharf projects into the bay (UWLSC Order SEA1382).

**Figure 6.** Below right, a later map from a 1910 book by Seattle pioneer A.A. Denny, *Pioneer Days on Puget Sound*, with the addition of platted areas. This map has been updated to show the tidelands in a yellow tone. The subject property appears to be on land.

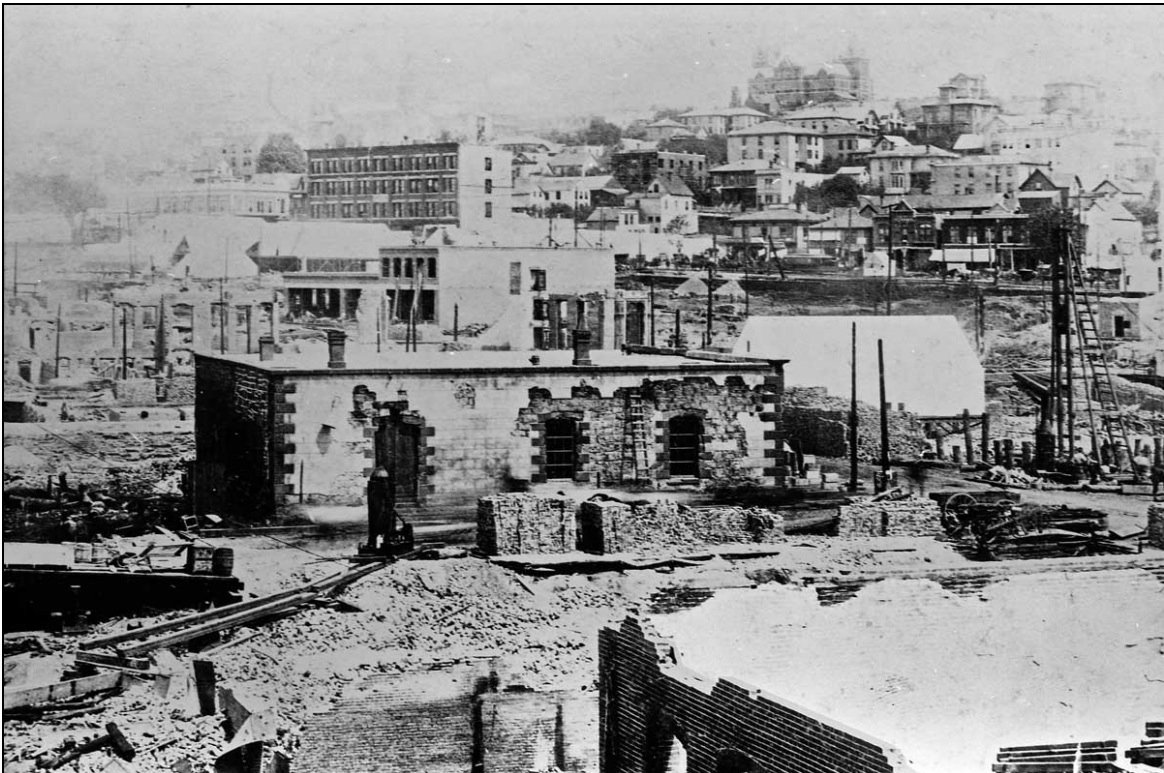


**Figure 7.** Left, a view of a parade on Commercial Street (1<sup>st</sup> Avenue S), south of Yesler Way in 1888. At this time the area was part of the city's center (DorpatSherrard Lamont, January 26, 2013).



**Figure 8.** Above, a view of ruins along Commercial Street after the Great Fire of 1889 (DorpatSherrardLamont, January 4, 2013).

**Figure 9.** Below, reconstruction of the area in late 1889. Shown in this view is the resumption of construction of the original Dexter Horton Bank (later known as the Maynard Building), directly north of the subject property at 119 1<sup>st</sup> Avenue S. The J&M property appears to be a rubble-filled site, while at the bottom (to the south) is the construction of a neighboring building (DorpatSherrardLamont, January 26, 2013).







**Figure 10.** Above, a rendering in the *West Shore* magazine of September 24, 1889, similar to the prior photograph. This drawing shows the rebuilding of the city center after the Great Fire. The single-story Dexter Horton Bank is shown under construction in the middle, and the lower floors of the Globe Building to the right, at the northeast corner of Commercial Street (1<sup>st</sup> Avenue S) and S Washington Street. In the foreground, the lower walls of the subject building (noted by a blue arrow) and an upper floor of the neighboring building to the south are illustrated.

**Figure 11.** Below left, a view of Commercial Street (later 1<sup>st</sup> Avenue S), looking north of Jackson Street, a block south of the subject property, in 1890 (UWLSC Order WAR0264).

**Figure 12.** Below right, a view looking northeast on 1<sup>st</sup> Avenue S from S Main Street in 1902 showing commercial activity on the street. The Globe building is shown in the center right (Aashel Curtis photograph, UWLSC Order CUR104).



## 4. HISTORY OF THE J&M HOTEL BUILDING

### Ownership History

The J&M building was initially constructed in 1889 for Captain J. H. Marshall (and known as the J. H. Marshall Building) according to a design attributed to architects Comstock and Trotsche. As a July 25, 1889 *Seattle Post-Intelligencer* article elaborated: "Captain J. H. Marshall will erect a brick building on the southwest corner of Commercial and Washington Streets, which will be used by a wholesales business house ... It will be built in a most substantial and durable manner and will present a massive and imposing appearance rather than ornamental. Architects Comstock and Trotsche are preparing the plans. The building will cost about \$20,000." (The construction is equivalent to \$518,990 in present value.)

A later article from the April 28, 1900 *Seattle Times* indicates that the Frye-Bruhn Company may have been the first tenants in the building: "coming to the Coast in 1888, they opened up a retail meat market at the southwest corner of Washington and Commercial [now First Avenue S] Streets. The big fire of 1889 destroyed their place of business, but they immediately opened up in a tent at 'the old stand.'" An ad three years later lists "a basement 30x120 at 106-109 Occidental avenue to let" (*Seattle Times*, July 5, 1902).

The property appears to have had many owners up until the early 1940s. According to records at the Department of Planning and Development (DPD), a permit was issued in 1895 to the Frye-Bruhn Company, indicating that Charles Frye and/or Charles Bruhn (owners of the company) owned the property at that time. The 1937 Assessor's property record card notes Agnes M. Anderson as the fee owner as of March 11, 1932. In 1939 the owner of 203 1<sup>st</sup> Avenue S was cited as Junzo Nishimoto, a Japanese immigrant while the 1940 *Polk Directory* lists an M. (Masaru F.) Shimokon as the owner. Of Japanese birth and ancestry, both men were interned in 1942 under Executive Order 9066, and had little time to settle their assets or sell their property.

Both Nishimoto, who immigrated to U.S. in 1905 at the age of 17, and Shimokon, who immigrated in 1904 at the age of 16, were interned with their families at Minidoka (JapaneseRelocation.org). It appears that both families returned to Seattle after the war ended. The 1960 *Polk Directory* noted Mr. Nishimoto's residence as the Main Hotel at 208 2<sup>nd</sup> Avenue S. Mr. Masaru and his wife, Mitsuma, became strong supporters of Seattle Buddhist Church (Seattle Betsuin), at 1427 S Main Street and donated a scholarship fund and sculpture of the founder to it.

An article in the 1944 *Seattle Times* notes "Harry Buttnick, S. N. Laurie and Robert Shapiro purchased the property occupied by the J. & M. Hotel and Café at the southwest corner of First Avenue and Washington Street" (January 9, 1944). The King County Tax Assessor's property record card notes a "lease – 5 yrs. Rental, \$700 per mo." to Joe MiRulichich, et al on June 13, 1944. The record card also cites a number of individuals, who appear to be Buttnick family members, as receiving ownership in June and July, 1972: Jacob, Mavis, Gwendolyn Buttnick, and later Meta Buttnick Kaplan. The property was sold in 1990 for \$186,000, and again in 1991 for \$575,000, apparently to others in the Buttnick family. As a note on the Assessor's value analysis worksheet of November 27, 1991 notes about the 1991 transaction, "Talked to manager, sale was 1/3 interest of est. Marker Value – mostly a shell sale."

In 2014, the present owners purchased the property from the Buttnick estate.

### The Original Designers, Architects Comstock & Trotsche

Many architects arrived in Seattle during the boom that accompanied the rebuilding of Seattle in 1889 and the early 1890s. Among them were Nelson Alanson Comstock, from Jackson, Michigan (ca. 1851-unknown) and Carl Trotsche, an immigrant from Mecklenburg, Germany (ca 1856 - 1906). Both men

lived and worked initially in San Diego. Together they had established Comstock & Trotsche, Architekten, soon after Carl Trotsche won an 1886 design competition sponsored by Carpentry and Building magazine, the “Moderate Price Frame Dwelling Contest” (Jennings, p. 105-106).

Advertising their services for the “preparation of plans, specifications, as well as supervision of construction,” the partners undertook the design of an estimated 60 buildings during a boom in the San Diego area between 1886 and 1889. These included the Pierce-Morse Block (1887-1888, destroyed), and the Whalen-Dalton and Nesmith Greely buildings. Their work also included the Villa Montezuma (1887-1888), designed for composer Jesse Shepherd (National Register Landmark, listed in 1971). Their other notable buildings constructed during the boom in downtown San Diego include the San Diego and Unitarian Church and three public schools, along with the Sherman-Gilbert House (1887, in historic Heritage Park), the Timken House, and the Horton Grand Hotel. Excelling in eclectic Victorian design these projects spanned a range of styles – from Eastlake and Stick Style to Chalet and Gothic Revival, and Baroque/Second Empire style (Freeley, p. 4). The Nesmith Greely Building was the subject of a HABS documentation project in 1971. This San Diego landmark is notable for its Romanesque Revival style, somewhat similar to the two other Pioneer Square buildings designed by Comstock Trotsche.

A connection with Seattle Judge Thomas Burke brought the architects to Seattle in early 1889, where they designed the J&M Hotel building at 201-205 1<sup>st</sup> Avenue S, the Latimer Hotel/Grand Central Building at 216 1<sup>st</sup> Avenue S (ca. 1890), as well as a commercial building for John Leary (1889-1890, destroyed) at 3<sup>rd</sup> and Marion (Ochsner, 2014, p. 428). The partners left Seattle soon afterwards and dissolved their firm in 1891 after Trotsche had returned to practice in San Diego. Comstock opened a practice in San Francisco in that same year, and later worked in Santa Cruz where he design two well known buildings – the Santa Cruz County Courthouse (1894), and the Cooper Residence. He later moved to El Paso, Texas, where he worked as a building inspector. In 1916 Comstock served as the vice-president and secretary-treasurer of the El Paso Composition Tile and Terra Cotta Company (Chase, p. 297-298).

Carl Trotsche later moved to Chicago, where he resided for some time. Late in his career, Trotsche was known for the design of breweries, and was associated with the architect and engineering firm of I. Schreiber & Sons Co. of Cincinnati, and with the Cincinnati Brewery Engineering Construction Company. He died in New Orleans at the age of 50 (*American Brewers’ Review*, 1906).

### **The Building’s Construction History**

The building was constructed in phases, largely between 1889 and ca. 1905, after the Great Fire that destroyed most of the city center in June. Specific dates vary in some of the historic property tax records, photographs, and Sanborn Insurance Company maps. An early Sanborn map indicates two separate buildings, with a property line between them. The front property was a two-story masonry structure with cast iron storefront on the east at the first floor level along 1<sup>st</sup> Avenue S, with stairs to the basement in the back. Occupants cited included a jeweler, several restaurants, lodging (“Furnished. Rms” on the second floor), and a liquor business at the first floor and basement. Originally this building did not fill the entire site, but was limited to a footprint of 60’ by 92’. The Sanborn map shows a separate structure to the west of it, which was cited as a small restaurant facing north toward S Washington Street. A small separate shed in the southwest corner.

A slightly later post-fire Sanborn map from 1893 indicates the J&M building was made up by two stories with a basement. Its first floor occupants were noted: a saloon (“Sal”) in the front portion of the north space facing onto 1<sup>st</sup> Avenue S, and “Whol. Liquors” behind it, again with a stairs to the basement, and a “Restaur’t” and “Bar” in the southern front retail space. An office was situated between them. These occupants were within what appears to have been the original 92’-deep building. To the back there was a separate store (“S”) in a one story building with basement (on the northern, one-story portion of the

present Annex). Occupants of upper floors were not cited. By this date the southwest corner of the property was vacant.

The 1905 Sanborn Map indicates that, by that date, the building had three stories along with a two-story section constructed to fill the back southwest portion of the property, south of a saloon in a one-story structure (the Annex) in the northwest corner of the property. This saloon structure had its height noted as 18', and it had a basement, but no access stairs. All three floors were occupied with bar fixture sales and cabinet shop with varnish room on upper floors, above a saloon/lunch café and store. (If the third floor of the building was constructed after early 1891, its design may have been undertaken by a different architect or by a contractor, as architects Comstock and Trotsche had by then left Seattle.)

A later map, dating from 1916, indicates that there were three stores at the first floor, one of which was in the Annex, then cited as a 15' structure with basement at 109 S Washington Street. Two other stores face east at 201 and 205 1<sup>st</sup> Avenue S. An office, presumably to the hotel, was between them at 203. New light wells were indicated, along with three fire escapes on the back, all of which suggest the change of use on the upper floors to a hotel, confirming the hotel occupancy cited initially in a 1913 *Polk Directory*. (By this date, Washington State had already enacted state-wide prohibition. While consumption was allowed by permit, it was only for liquor manufactured out of state. This was followed a more restrictive State amendment in 1918, and the federal ratification of the 18<sup>th</sup> Amendment (Prohibition) in 1919. All of these restrictions had impacts on earlier building occupants and on other Pioneer Square's drinking establishments.) What is known presently as the Annex was indicated on this map with a store at the first floor and basement, along with an opening between the primary structure and a two-story structure at the southwest corner. A projecting awning was shown along the east side of 201, which wrapped the northeast corner.

An update of the 1916 map notes the Annex as a two-part, one and two story structure. The front (north) facade held back from the north property line. Use of this space was cited as storage, and openings were made in the back of both the south store and north restaurant spaces. The projecting awning remains along the northeast corner.

Several historic photographs, dating from 1919-1920, show a recessed entry space at the front (north portion) of the Annex. Its occupant, as indicated by signage, was the Chicago Milwaukie & St. Paul Employment Agency. The photograph also shows the presence of a metal-framed marquee on the north facade of the primary J&M building, facing north onto S Washington Street. The street contained an elevated timber and steel-framed trolley track that extended over and above most of the roadbed. According to a later photograph, from the late 1920s or early 1930s, the north marquee had been removed. Cloth awnings extended in several locations.

### **The Occupants**

Regardless of its specific ownership, the building has been long associated with the operators and occupants of the upper floor hotel and with the first retail tenants, particularly with the J&M Cardroom and Cafe. The following information provides a record of occupants in each space by address rather than chronologically for the building as a whole.

#### 201 1<sup>st</sup> Avenue S – The Cafe and Cardroom

A newspaper article from February 25, 1906 announced that the A. H. Harrison Company, with sales of bar goods, fixtures, pool and billard tables, was to occupy 4,000 square feet of the building. Signage suggests that they had all three floors. The J&M Cafe was listed as a tenant at 201 1<sup>st</sup> Avenue S for the first time in the 1922 *Polk Directory*, and remains so until at least 1990, with the single exception of 1973, when the entire subject building was listed as "vacant." The 1926 directory noted "restaurant and soft drinks," but over the years it has carried the label "restaurant," "card room," "parlor," "beer parlor,"



“tavern,” and “cocktail lounge.” A 1916 *Seattle Times* article elaborates on the restaurant: “Jameson & Moffat, 201 First Avenue South: first floor of three-story brick hotel building; firm continues with lunch room and legitimate refreshments” (July 2, 1916).

In addition to the J&M Cafe, various *Polk* Directories list other restaurants: Sharkey Charles (1939 – 1941) and Herzog & Kibizoff (1944 – 1945). In addition to *Polk* Directory listings, the 1928 *Grey’s Directory* also listed the J&M Employment Agency at 201 1<sup>st</sup> Avenue S. However, the name of the business has remained the J&M Café and Cardroom since the early 20<sup>th</sup> century.

In 2009, the J&M Cafe and Cardroom, a tenant in the building, went bankrupt and owed nearly \$1.2 million to its creditors. Much of the interior was auctioned. Skye Belline, the vice president of special assets for Evergreen Bank, purchased the carved bar back, front bars, metal and glass chandeliers, a painting of a reclining nude, and the trade name – J&M Café and Cardroom – for approximately \$140,000. Other individuals purchased large mirrors and other furnishings among the 90 items that were sold (*Seattle Times*, May 22, 2009). While records have not been discovered to indicate the location of the prior furnishings, the business was later opened under new management.

#### 89 S Washington Street

The one and two-story brick structures at the back of the property were built as a separate property, but later became part of the hotel building. Historic records remain unclear as to the specific construction date of the Annex. However, photographs dating from the period of ca. 1919 to the early 1930s indicate that the occupant, identified by signage, was the Chicago Milwaukie & St. Paul Employment Agency. At a later date, the northern portion of the first floor space was used as a store, and was subsequently combined with the J&M Café and Cardroom.

#### 203 1<sup>st</sup> Avenue S – The Hotel

Sanborn maps indicate the upper floors were occupied by non-hotel tenants for some time. These included storerooms for a supplier of bar goods and pool tables, and a cabinet shop, both of which may have been part of the A. H. Harrison Company. The first indication of a hotel occupant cites The Karl Hotel, which occupied the lobby at 203 1<sup>st</sup> Avenue S and upper floors, from at least 1913 to 1936, according to various *Seattle Times* articles. The J&M Hotel appears at the address of 203 in the 1936 – 1969 *Polk Directories*. The upper two floors were vacant until 1977 when an art studio, Don R. Morrow Studio Gallery, moved in for two years. For over four decades the hotel guestroom floors have remained vacant, but largely intact.

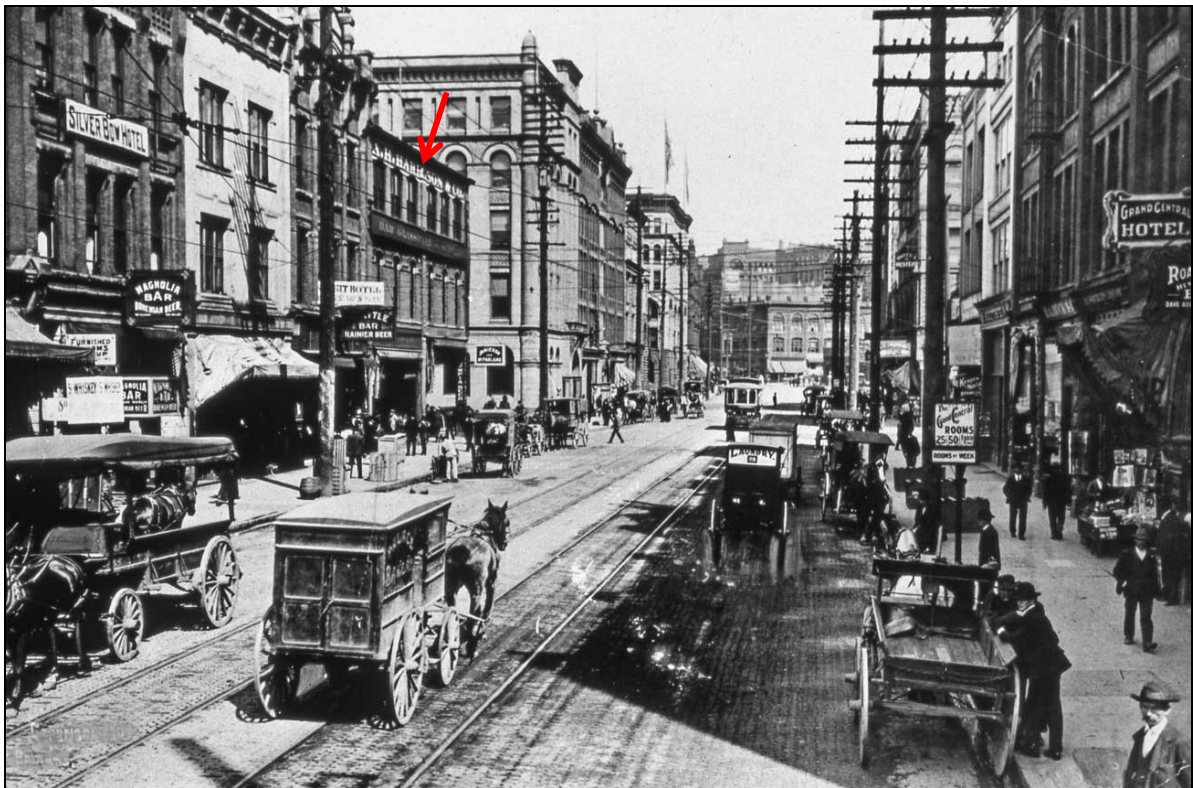
#### 205 1<sup>st</sup> Avenue S – The Retail Space

Nara Co, a clothing store, was a tenant at 205 1<sup>st</sup> Avenue S by at least 1928 and remained until at least 1931. A 1919 ad places Nara at 215 1st Avenue S, at the south end of the block. The space at 203 was vacant by 1938, according to that year’s *Polk Directory*, and remained so until 1954, when Russo’s Beverage Store is listed. Kline’s Beverage Store occupied the space from 1955 – 1963; it was then vacant until 1975, when Two-O-Five Antiques is listed. It remained until 1983. The 1979 directory lists the Crème Soda gift shop and Tootsie’s (a vintage clothing store) in 1985, and the Bagel Express Deli from 1987 (when the space provided additional storage) to at least 1990 (the property was vacant during the intermittent years). The Bagel Express Deli expanded into the space at 203 starting in 1987. Permit records indicate the present tenant, Mediterranean Mix, has occupied the space since ca. 1995, including the original hotel lobby space at the grade level of 203 1<sup>st</sup> Avenue S.



Figure 13. Left, a view looking north on 1<sup>st</sup> Avenue S from S Main Street in the 1902, showing the subject building as a two-story structure on the left, behind the horse-drawn wagon (Aashel Curtis photo, UWLSC Order 00492).

Figure 14. Below left, a similar view from a slightly later date by which time the third story had been constructed. To the north of it the taller, Dexter Horton bank, with its arched head windows is clearly visible (DorpatSherrardLamont, November 19, 2011).







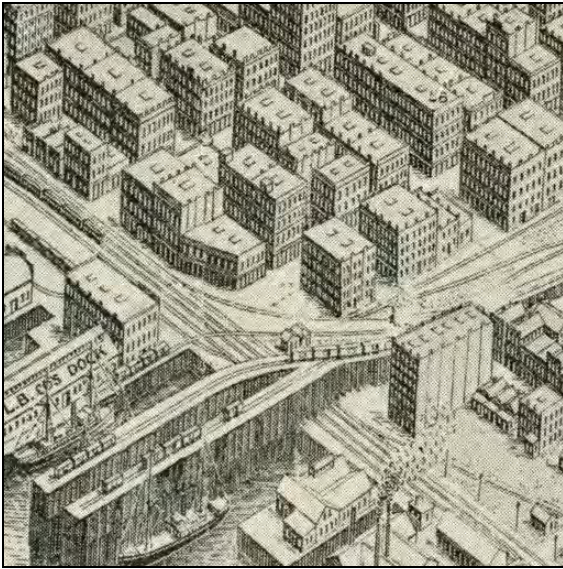
**Figure 15.** Upper left, a view looking east from the foot of S Washington Street with native dug-out canoes along the dock in ca. 1890. (Tanner, p. 38, courtesy of Paul Dorpat).



**Figure 16.** Middle left, a view looking east on S Jackson Street in 1896 (SMA Item No. 29984). By this date the recently reconstructed area contained many hotels and furnished rooms for visitors and transient residents.



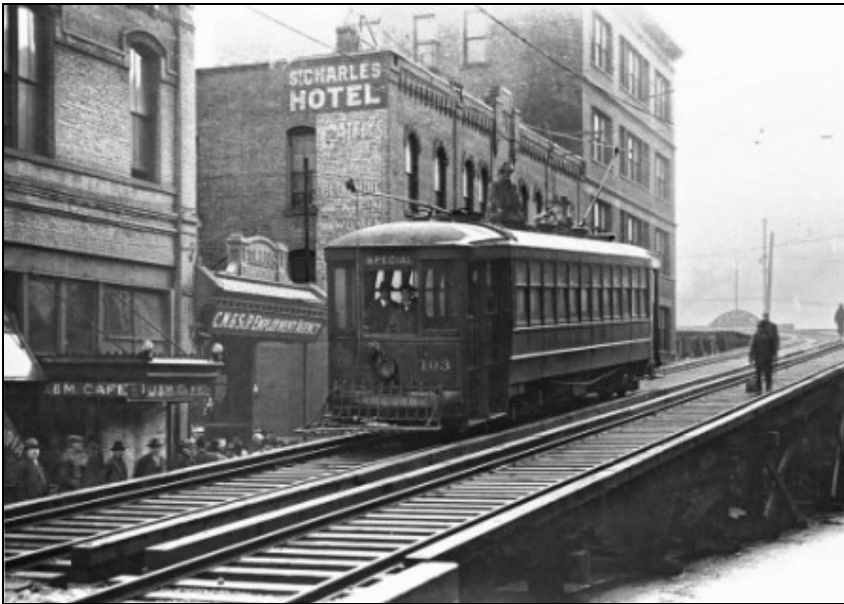
**Figure 17.** Below, a view looking west on S Washington Street from 2<sup>nd</sup> Avenue S towards the waterfront in ca. 1902. The subject building, at the southwest corner of 1<sup>st</sup> Avenue S and S Washington Street, is partially visible in the background, left (Body Braas photograph, DorpatSherrard-Lamont, January 26, 2013).



**Figure 18.** Upper left, Seattle's business district ca. 1905, showing one of the many streetcar trestles that led to waterfront docks and wharfs (Washington State University No. 528 F899 S44T7).

**Figure 19.** Middle left, the Annex and nearby elevated streetcar trestle on Washington Street in 1919-1920. Partially visible behind the elevated line is the Chicago Milwaukie & St. Paul Employment Agency in the one-story annex, and the north entry to the J&M Cafe. (DorpatSherrardLamont, November 19, 2011).

**Figure 20.** Below, the elevated line and the J&M Cafe ca. 1930, by which time the projecting north marquee had been removed (DorpatSherrardLamont, November 19, 2011). The raised trestles were demolished in the early 1930s.



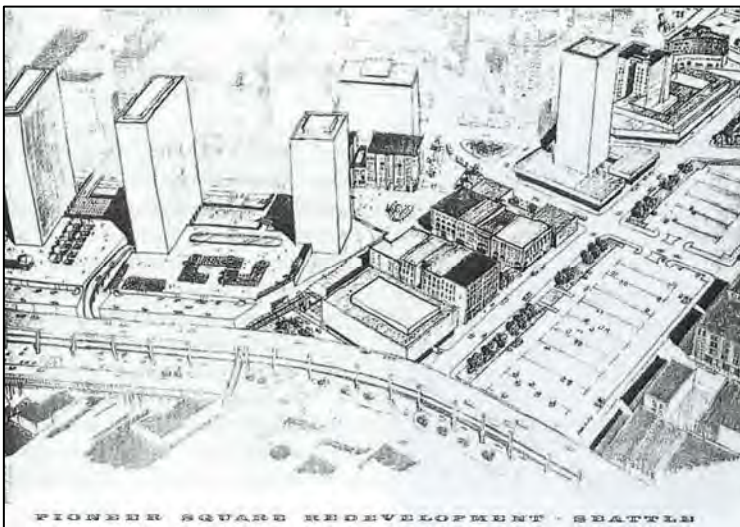




**Figure 21.** Above, an Asahel Curtis photograph looking north on 1<sup>st</sup> Avenue S from S Main Street in 1902 (UWLSC Order CUR104).

**Figure 22.** Below left, an unrealized proposal, the Graham Plan, from 1966 to remove buildings from Pioneer Square and replace them under an Urban Renewal plan (drawing from Tanner, p. 180, courtesy of the DLR Group).

**Figure 23.** Below right, a 1958 aerial photo, looking northwest at the central waterfront, Highway 99, the railroad yards, and Pioneer Square area south of the city's urban center to the north (SMA Item No. 57682).





**Figure 24.** Above the 1937 Tax Assessor's photo (King County Assessor's Office, Puget Sound Regional Archives). The J&M Cafe became the occupant of the northeast 1<sup>st</sup> floor space in 1923. As shown in this image, portions of the exterior masonry were painted. The other tenants were the NARA Store, at 205 1<sup>st</sup> Avenue S, and the hotel with its entry in at 203 1<sup>st</sup> Avenue S. Also shown is the one-story building to the west (far right) facing S Washington Street, known as "the Annex." The two buildings were assembled later as a single tax parcel.

**Figure 25.** Below, a view looking north on 1<sup>st</sup> Avenue S from S Jackson Street in early February 1961 (Frank Shaw photographer, DorpatSherrardLamont, February 4, 2014).



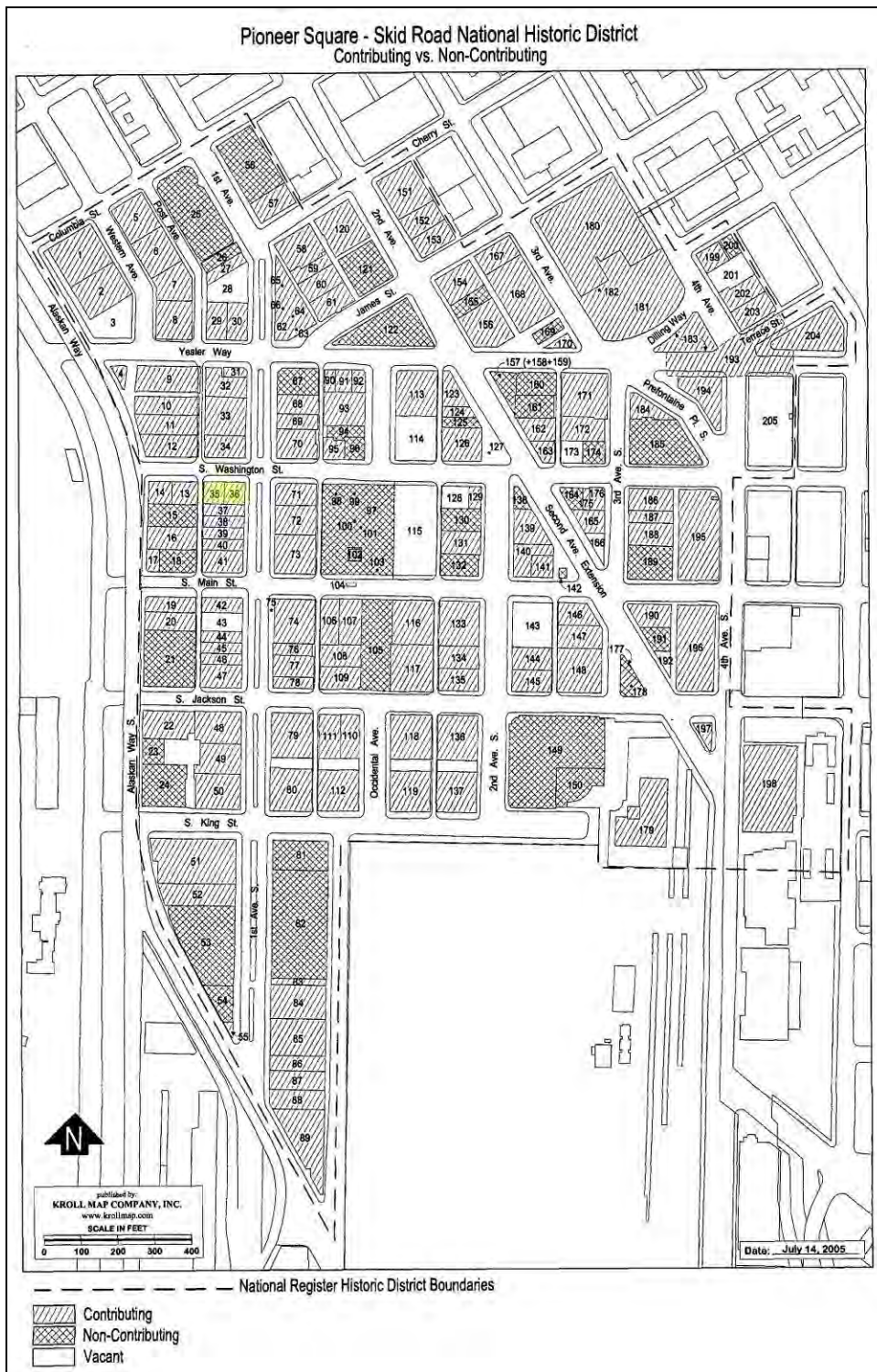


**Figure 26.** Above, the building in 1969. By this date, the J&M Cardroom, at 201 1<sup>st</sup> Avenue S, had become a cocktail lounge, with plywood covering the original display windows to comply with State liquor laws. The J&M Hotel, at 203, had its lobby accessible through storefront doors. A small grocery store was in the retail space to the south (left) at 205 1<sup>st</sup> Avenue S (Victor Steinbrueck photograph, UWLCS Order SEA3055).

**Figure 27.** Below, a 1968 sketch of the east facades in the block along 1<sup>st</sup> Avenue with the J&M to the far north (right), by Victor Steinbrueck (UWLCS Order ARC0518).







**Figure 28.** Above, the subject building, at 201 1<sup>st</sup> Avenue S, is cited as a historic, contributing building within the district. The property is identified in yellow and as Sites #35 and #36 on this map (Annex and J&M Cardroom) in the National Register Historic District nomination.



## 5. ARCHITECTURAL DESCRIPTION

### The Site

The site is an urban location at the southwest corner of S Washington Street and 1<sup>st</sup> Avenue S in a primary location in the Pioneer Square Historic District. Yesler Way is one block to the north, and Elliott Avenue and Seattle's central waterfront are one to two blocks to the west. Early maps indicate when Seattle was first settled, this area was just east of the western shoreline of Elliott Bay.

The 60' by 113' heavy timber and masonry building has a concrete foundation, and a footprint of approximately 6,660 square feet. With the addition of areaways, the basement is 7,730 square feet. This virtually fills the property made up by Lot 8, and rises to a height of 57'-9' above the west grade along 1<sup>st</sup> Avenue S. (Areas are those cited on the King County Assessor's i-Map website. Dimensions are those cited in the Assessor's historic property record card, or in the owner's as-built drawings.)

The site is relatively flat along the front (east) facade of the building, but it slopes downward along the north facade to a grade level some three feet lower at the northwest corner, and further down along the alley along the west side. Grades in the alley and along the north sidewalk have been adjusted and re-paved as indicated by infill of original windows that once opened into basement spaces. The perimeter north and east sidewalks are paved concrete. Although they are over areaways, they contain no prism glass panels. The alley surface, once paved with brick, is paved with concrete and asphalt as well.

### The Structure

The 24,450 square foot structure consists of heavy timber in a post and beam system, with bearing brick perimeter walls. Construction is cited as "Ordinary Masonry. Mill Medium" in the Tax Assessor's 1935 property record card; the card also notes, "Exterior Frame, 10x21 only Rustic" which may indicate a portion of the original Annex addition. The building has a flat roof, originally treated with tar and gravel, and a metal cornice and coping. The facades extend 1'-6", according to a 1936 cross-section in the Assessor's property record cards, to serve as a fire wall.

Perimeter brick masonry walls are multiple wythes, approximately 12" thick, and laid in a running bond pattern. The bricks create a corbelled horizontal bond at the second floor line, which may indicate the cornice line of the original, two-story construction.

Brick masonry walls also separate the one and two-story Annex spaces from one another, and from the main, original building. Historic records and observation suggest that the south wall was a party wall constructed initially as part of the neighboring building at 207 1<sup>st</sup> Avenue S. Similarly, the two-story Annex space appears to have been constructed as the one story, northern portion, with the southern portion built as a slightly later addition. A plan sketch in the Tax Assessor's property tax record card notes the overall building dimensions as 60' by 113' feet with the Annex ("Add") made up by two separate spaces, both 21' deep, and the primary three-story building 92' deep. This record indicates the one-story portion of the Annex addition is 32' by 21', while the two-story is 28' by 21'. (The one-story addition is distinguished also by its height, 11', which is far lower than the first story of the primary building. The second floor of the two story Annex section also has a lower height of 11'.)

Within the building, some of the roof framing is exposed at the third floor where sections of the ceiling have been removed or have fallen. Heavy timber framing is exposed in some areas of the first floor J&M Cafe, and in the basement the structure, where there are sistered/stacked 2x joists.

Further description of the structure system may be provided with input from the project's structural engineers.

### Exterior Facades

Much of the building's character and style is embodied in the design of its primary east and north facades. The east facade features brick pilasters at its end walls and midpoint, and sandstone base and small capitals at the second floor line, along with some decorative brick masonry details at the second floor ceiling line.

Double doors in recessed entries are provided at three locations, one to the north of the primary central pilaster and two to the south. The recessed entry at 203 1<sup>st</sup> Avenue S dates from the original construction, and identifies the hotel entry. In contrast, the painted wood storefronts at 201 and 205, with glazed and unfilled sections, are not original. Transom windows were provided originally above the first floor display windows and entries. Some of these were replaced by leaded glass panels by the mid-1930s, and by the leaded glass transom sign band above the J&M Cafe storefront. (Original prism glass in the transom area has been removed, and the current leaded glass is not original.)

Original wood framed windows and sash remain on the second and third floors and in some first floor openings. The upper floor windows are all double-hung, operable types. Cited in the remarks section of the property record card as "double strength glass, wood frame," and storefront as "Plate Glass, Firm Trim Sash, Marble Bulk Hd [bulkhead] [and] Marble Base." The windows include arched head wood windows at the second floor on the east and north facades, each with a decorative segmental arch and stone voussiors and keystone, and projecting sandstone sill. These windows feature 2:2 divided lites, and connecting paired horizontal bands at their heads. At the third floor, the windows are simpler, with flat heads and 2:2 divided lites.

The present north facade represents the building phased construction with the three-story flat roof mass and the smaller single-story Annex. This facade features a brick pilaster at the far west end wall with a small sandstone capital at the second floor line, decorative brick detailing above at the second floor ceiling line, and a projecting horizontal masonry band at the first floor ceiling. Windows and window sizes at the first floor presently vary. It appears that several have been changed or infilled. There are three small arched head window openings with brick sills and corbelled end supports.

The flat roof features the original skylight over the front stairwell, along with a large roof-mounted exhaust that extends from along the north facade, several exhausts for a hood and air conditioning unit. The roof parapet, as shown in historic tax records, rises 1'-6". The cornice extends beyond the outer plane of the facades below.

The north and west facades of the Annex vary, in both the one and two story massed sections. The two story section was constructed with load bearing brick masonry, laid in a running bond with a header row at each seventh course. Second floor windows include five paired 2:2 wood windows with triple coursed segmental rowlock brick arches and projecting brick window sills. At the first floor, the windows are simpler with three single windows with 1:1 lites and double-coursed segmental rowlock arched heads and projecting brick sills on the west facade. In addition, there is an infilled arched head window with a projecting brick sill, similar to the three on the south facade.

The single story Annex is distinguished by the masonry construction, which is setback 5" +/- from the north property line, with the wood infill wall in front of it. (The original projecting parapet and sign board shown in photos from ca. 1919-1920 may be beneath this cladding; only explorative work will reveal it.) Presently, the west side of this infill wall is treated with a representative graffiti portrait, painted directly on the wood. The running bond masonry on this section is set with a header row at every sixth course, in subtle contrast with the masonry bond on the two-story section. (At the south edge of its west facade, the one-story wall is vertically separated from the two story section by a joint in the original masonry party wall.) Three equally spaced window openings at the 1<sup>st</sup> floor on the west facade feature

double-coursed segmental arched brick headers and projecting brick sills. Lacking glass and some missing sash, these windows presumably had 1:1 glazing. Below these there are three equally spaced infilled windows with arched head openings, which presently are below the alley grade.

### The Interior Layout and Finishes

The original building featured a nearly full basement with areaways below the north and east sidewalks of S Washington and 1<sup>st</sup> Avenue S, approximately 10' and 13' in depth respectively. The overall interior of this space is 68'-10" by 122'-0". Due to the grade change, small windows were provided along the western portion of the north facade and along the west facade; raised paving and brick masonry has infilled those along the alley on the west. The basement contains storage space among the heavy timber columns, along with an exit to the rear to S Post Alley. A small space is recessed at the southwest corner, where it provides access from the alley through a security screen to trash containers. The building's electrical panel is located near the south end of the east wall.

Deep commercial spaces occupied the first floor, where they were accessed from entries on the east facade. Historic photographs show the presence of a separate north entry, with a projecting rod-supported marquee on the north side up until ca. 1920, which was removed at some later date. Apparently, entry was provided with steps that led up to the space, which is approximately 30" above the grade at this point. The photographs also indicate that the Annex, the approximate 20' by 30' single-story structure on the back, north side, at 89 S Washington Street, was occupied by a different retail tenant, at least up through ca. 1930. (The southern, two-story portion of the Annex appears to have been part of and occupied by the retail tenants and hotel.)

The building's structure divided it originally into two side-by-side spaces, but it featured three entries on the primary east façade. Once the hotel occupancy was introduced, in ca. 1913, its lobby took up the entry in the center at 203 1<sup>st</sup> Avenue S. There remained two spaces – one in the northern half, and one in southern portion, which were occupied by retail businesses. A narrow bay, approximately 9'-10" wide, provided an entry to the hotel lobby and access to the hotel guestrooms on the upper floors. The present commercial spaces are somewhat similar, but the Mediterranean Mix on the south side also occupies the former hotel lobby, having fixed the entry doors and installing a partition and door to the original hotel stairwell.

Along the south side of the first floor there are restrooms, a walk-in refrigerator, and storage and service spaces for both retail businesses. (These spaces are not original, and interior finishes and fixtures are not described in this report.)

Second and third floors are similar but for the additional 27' by 119'-3" additional space at the southwest corner of the second floor (the second floor of the two-story Annex). There is no similar space on the third floor. The upper floors featured a primary stair in open stairwell situated in the third bay from the front (east facade) of the building, along with another open stairwell near the back that leads to the lower back exit on the west facades. The staircases were originally finished with stained fir risers and treads (presently carpeted), balustrades, and handrails. The front stairwell was provided with daylight from a metal-framed pyramidal skylight on the rooftop, which is presently covered at the roof.

The King County Tax Assessor's historic property record card from the mid-1930s lists the building as "Hotel and Store," with a total of 63 rooms including "59 apartments – 57 one room aparts, 2 Three Rm Aparts." Presently double-loaded corridors lead to the vacant guestrooms. The corridor on the north side extends the full depth of the building on both floors, and terminating at a window on the front and window or door on the back (and from there to fire escapes). This northern corridor appears to be the primary one due to its width (approximately 6'-6" at the front section, 5'-8" in the building's center, and 6'-10" at the back), with contrast to the more narrow, 4'-11" +/- wide southern corridor. The two



corridors were linked at three locations by intermediate halls. These original spatial relationships remain on the upper two floors.

The corridors lead directly to guest rooms or access them via four narrow hallways, 3'-9" to 4'-5" wide. There were sixteen to eighteen original guest rooms situated along the perimeter east, north and south sides, where operable windows provide daylight and ventilation; eight rooms along the south side, with windows that opened into one of three day lit light wells; and nine rooms located directly along the north side of the primary corridor, or were centrally located between and accessed off either the north or south corridor. These central rooms were provided with daylight and ventilation from light wells, approximately 9' +/- by 2.5' in size. At least one of the rooms, situated near the front stair, served as an office or supply space, rather than guestroom.

While at least some of the guestrooms were provided with a lavatory and some may have had private toilet rooms or baths, there were also two small restrooms, each approximately 4'-1" by 6'-3", located between the corridors near the back stairs. The historic property record card of 1937 notes a total of 87 plumbing fixtures: "2 Tub-Leg, 16 Toilets, 83 Basins, 2 Sinks, 2 Urinals, 2 Hoppers (med)." In addition to these fixtures, there are exhaust fans that served the J&M kitchen space, which included one (later two) square metal ducts affixed to the north facade. (Kitchen vent ducting from the south restaurant space reportedly exhausts into the upper floors, although there is an exhaust unit on the roof above.)

The interior volumes are lofty, with ceiling heights of 14'-6" at the basement, 17'-9" at the first floor, 15'-11" at the second floor, and 11' at the third floor, according to the historic property record card. Some of ceilings are finished with painted, stamped tin panels, of varied patterns. Other upper floor original finishes included painted plaster-on-lath walls (some with wall coverings) and ceilings; T & G fir flooring; painted and stained wood base with base show molding; dark stained interior door, window trim, and chair rail in the corridors; and flat, stained wood trim, sill and aprons at interior single-hung windows. According to one historic property record card, a portion of the floors was finished with "Magnasite," while presently there are a few upper floor rooms with sheet linoleum, and old but non-original carpeting on the front stairs.

Interior doors are typically five-panel types, made of fir, with stained and painted finishes. Transom windows along the corridors were originally glazed to bring additional light into the guest room and corridor spaces. These doors feature painted flat trim, and jambs on plinth blocks at the floor. In addition to these, there are metal-paneled fire doors in concealed pockets, held on fusible links that would separate the spaces in case of a fire.

Cast iron radiators speak to the original steam heating system, with a Barker oil burner and auxiliary boiler providing the heat, as do ceiling-mounted electrical lights of the building's early electrification. Light fixtures in the retail spaces appear to be non-original, although some could be vintage fixtures, or of vintage character. On the upper floors some of the fixtures consist of an exposed wire and bare bulb.

At the first floor, the hotel entry lobby space retains some of its hexagonal-shaped and 1-inch square glazed ceramic mosaic, and portions of the early Greek Key perimeter pattern in the white and green tiles. This former lobby space also features stained wood column capitals with shaped trim.

Other first floor areas have resilient flooring, presumably over wood, or exposed stained wood flooring. The J&M space has wood flooring, exposed timber beams with shaped ceiling molding, and exposed beam-to-column connections, though some of these may not be an original. Records indicate that the bar in the front space of the J&M café space is not original, as it replaced one sold in 2009. The back room of the J&M, within in the original single-story Annex space, is finished with stained wood paneling of recent vintage.

The basement and areaway are utilitarian in character and feature concrete floors, exposed brick masonry walls with arched head openings in the building's perimeter walls, heavy timber framing. The areaway ceilings are made up with exposed brick vaults, and steel beams.

(The building's current character-defining features are cited in the attached memo of August 12, 2015, prepared by BOLA.)

### Changes through Time

A *Seattle Times* article from April 28, 1899 describes work, which appears to have been an early alteration to the building: "stone masons are cutting a doorway through the heavy stone wall of the Marshall Block at Main and First Avenue S." As previously indicated, the building's original construction and use underwent changes as it was built in phases and the primary building and Annex in separate sections. Furthermore, the upper floor uses changed, with introduction of the hotel guestrooms 12 to 15 years after the original structure was completed.

Newspaper articles and the King County Tax Assessor's records indicate the changes that were made to the building assembly in response to changes in ownership and use. Other records from DPD permits and Certificates of Approval applications and items from the Department of Neighborhoods file records indicate other changes have been made to the building, while some proposals have not been realized.

11.4.1972	Paint sign on storefront glass
9.10.1973	Repair parapet walls; apply plywood at north, east, and west walls; reroof entire building
10.7.1975	Rebuild storefront woodwork; add etched glass windows, new doors, and stained glass sign the entire length of the transom on north and east elevations
8.17.1977	Establish sidewalk café
11.1.1978	Application of a new business logo and scrollwork painted on street level glazing on each side of entry
3.19.1979	New colors for logo and scrollwork on 1 <sup>st</sup> Avenue S street level windows
7.19.1979	Tuckpointing of east and west facades; replacement of missing brick
3.3.1980	Construct skylight and interior alterations to existing restaurant (1 <sup>st</sup> floor)
6.30.1980	Sandblasting of north facade
8.16.1980	Removal of existing stained glass window on north facade; installation of a 6'x4' window just below stained glass window
3.23.1981	Paint wall sign (10'x10') on north facade
10.23.1982	Signing and repointing
4.11.1983	Alter existing store and occupy as restaurant (SE corner)
4.22.1983	Establish a new sidewalk café for the J&M Café
4.20.1984	Establish a new sidewalk café for the Bagel Express
8.16.1985	Alter retail space and change use from retail to restaurant
7.12.1989	Preliminary COA proposal (unrealized) for the New Orleans Performance Hall in the basement including a new exterior stairwell into the north areaway on the Washington Street sidewalk, by Lee Singleton, the Singleton Associates Architects
9.13.1990	Interior alterations; change basement use from storage to dance hall
6.24.1992	Structural repairs to building
11.20.1992	Structural repairs to building
1.29.1993	Structural repair of floor joists and footing repair for masonry walls
2.16.1995	Interior alterations to J&M Hotel Bar & Grill to replace features previously removed without permits (re: violation PS 943834)

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- |           |  |
|-----------|--|
| 4.14.1995 | Structural repairs to building [This project appears to have been limited, and it may have included bracing of the masonry walls along the west facade/alley, and/or addition of some thru-wall ties.] |
| 3.16.2001 | Earthquake related repair [This work may have been limited to stabilization in the areaways or along the west, alley facade masonry.]  |
| 3.26.2003 | Repair/strengthen earthquake-damaged building; complete & final work of expired permit (re: 3.16.2001 permit); renewed 4.23.2003 and 9.23.2004   |
| n.d.      | Proposal for seismic upgrade and substantial alteration; new R-1 occupancy on upper floors [This project was not realized.]  |
| n.d.      | Proposal, "Rehabilitate the existing 1889 Hotel and bring it up to 2012 codes" [This work was not undertaken.]   |

The following records are Certificates of Approval in the Department of Neighborhood project files:

- |               |   |
|---------------|---|
| 3.26.1998     | COA Proposal for change of use in the basement, from storage, by the Bistro, with Skip Downing Architect  |
| 5.12, 24.1999 | Change of use review and recommended approval by the PSPB for the proposed Bistro (tenant) plan for use of the basement as a disco/dance hall/bar including approximately 40' in switch-back ramps in the basement for ADA access from a west entry on the alley, designed by the Singleton Associates Architects |
| 7.11.2006     | Preliminary inquiry to the PSPB staff by Buttnick regarding a major addition of up to six stories, the height of the nearby Maynard Building, with Jeremy Miller Architect  |
| ca. 8.24.2009 | An article in the <i>Daily Journal of Commerce</i> on August 24, 2009, indicated that the property was to be auctioned. Additional information indicates that the bar in the J&M Cafe was purchased and removed from the building. The current interior features a replacement.                                   |
| 5.28.2013     | Preliminary design proposal to remove and replace the 1 and 2 story annex with six new floors, and add three additional floors to the existing 3-story building by Scott Clark, Architect, the Clark Design Group. This design proposal was not pursued.  |

Despite the changes that have been made over the past 126 years, the present building retains intact features from the period of significance, which has been established by the National Register nomination of the Pioneer Square Historic District as the eras from the late 1880s up through the early 1930s.



## 5. CURRENT IMAGES

### Photographs

Unless otherwise noted, all current photographs are by Susan Boyle and Rhoda Lawrence of BOLA Architecture + Planning and date from July 2015.



**Figure 28.** Above, the primary east facade.



**Figure 29.** Left, looking southwest at the primary east and part of the primary north facades.

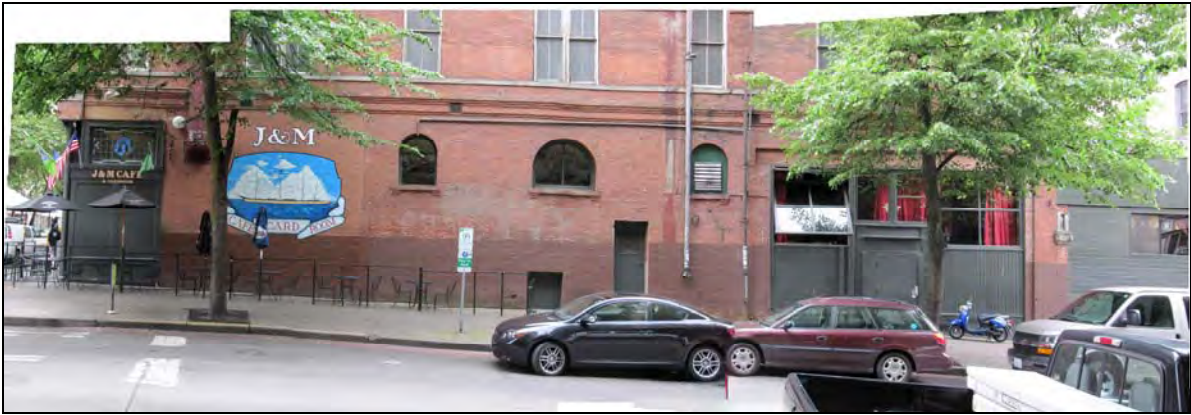


Figure 30. Above, a composite view of the secondary north facade.

Figure 31. Below left, looking southeast at the north and west (alley) facades of the Annex, and the upper floors of the west facade of the Hotel.

Figure 32. Below right, looking east on the sidewalk at the north facade.







**Figure 33.** Left, looking southeast at the west (alley) facade of the Annex.

**Figure 34.** Below, a portion of the west (alley) facade.







**Figure 35.** Left, detail view, south end of the west facade.

**Figure 36.** Below, view of the upper west facade and the first floor west facade of the Annex, and its second floor north facade.

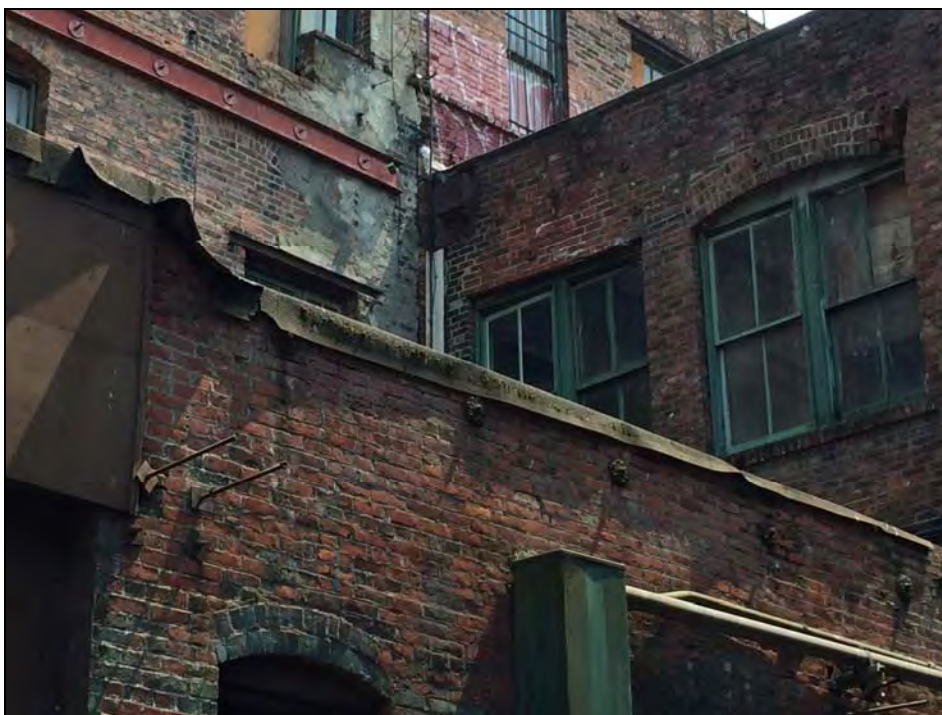




Figure 37. Above left, view looking up at the northeast corner.



Figure 38. Above right, view looking up at the southeast corner and cornice and the adjacent building.

Figure 39. Below, detail view of the masonry pilaster, first floor sign band and second floor window, east facade.







Figure 40. Above left, view looking east in the basement.



Figure 41. Above right, view looking west in the north areaway.

Figure 42. Below, infilled arched head opening between the basement and areaway.





Figure 43. Above, view looking northwest at the primary east facade, J&M Cafe storefront and entry.

Figure 44. Right, view looking east within the J&M Cafe space.

Figure 45. Right inset, detail view of the ceiling and light fixture.







**Figure 46.** Left, looking southwest into the southern commercial space from the sidewalk along the primary east facade.

**Figure 47.** Below, interior view looking northeast in the same space toward the original hotel entry and lobby space. Note the original ceramic floor tile pattern.





Figure 48. Above left, edge detail in the ceramic tile floor.

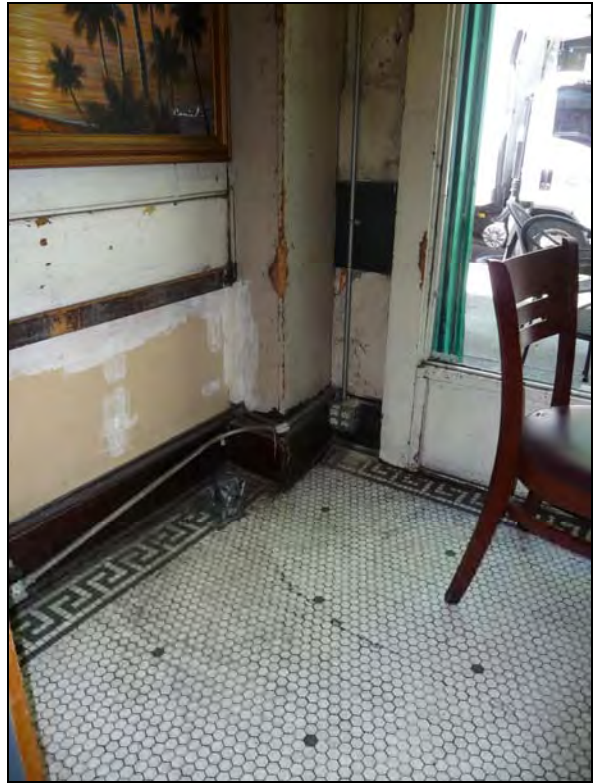
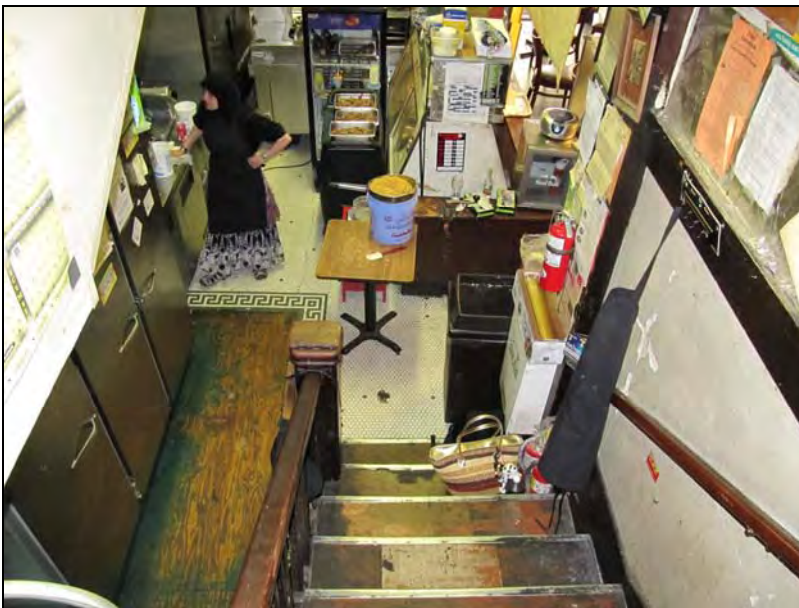


Figure 49. Above right, view of portions of the corner, pilaster, base trim, and ceramic tile floor.

Figure 50. Below, view of the lower portion of the original hotel stairs, presently within the cafe kitchen.







**Figure 51.** Above, view looking up from the third floor at the original skylight over the primary stairwell.



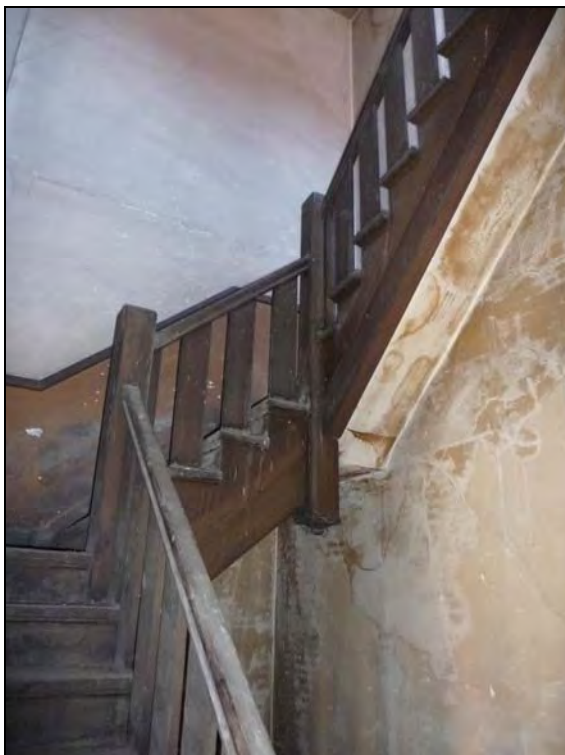
**Figure 52.** Left, view looking southwest at the stairwell and balustrade at the third floor.



Figure 53. Above left, detail view of the primary stairwell balustrade.

Figure 54. Above right, view of the intermediate hall and primary stair at the second floor.

Figure 55. Below, the secondary stairwell.







**Figure 56.** Left, view looking west in the secondary corridor, upper floor.

**Figure 57.** Below, looking west in the primary corridor, upper floor.





**Figure 58.** Left, view of the corridors showing typical finishes.

**Figure 59.** Below, typical five-panel wood door. Note the glazed transom window above the door, which has been infilled and painted.



Figure 60. Below, painted metal ceiling panel.

Figure 61. Right, view within a perimeter guestroom showing the window, original radiator, and sink. Partitions suggest the space was subdivided at a later date.

Figure 62. Bottom left, detail view of a ceiling fixture and ceiling panel.

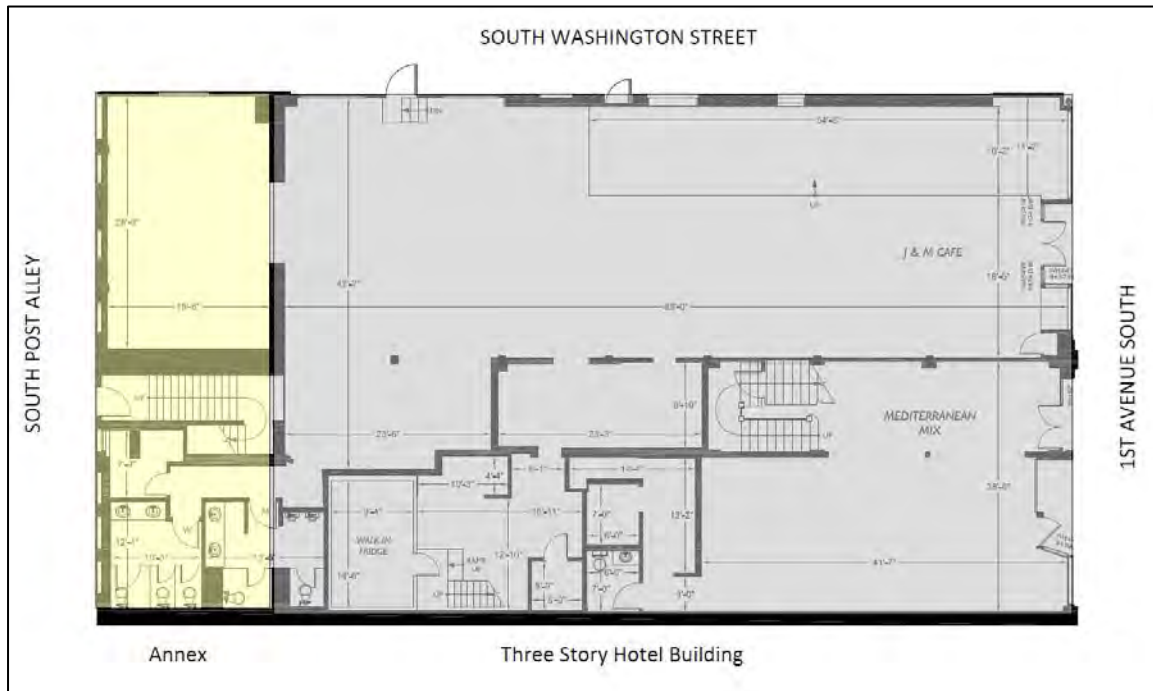
Figure 63. Bottom right, detail of a corner guestroom where plaster has been removed from walls, and the ceiling removed to access framing.





### Drawings of Phased Construction

**Figure 64.** Below, the tones on the owner's present as-built plan of the first floor indicate the buildings phased construction, with the yellow tone shown on the one and two-story Annex, which followed the completion of the primary building. (North is oriented up in this drawing.)



**Figure 65.** Below, a rendering of building's construction phases, in a view looking southeast on S Washington Street (by Weinstein A+U):

- The primary building (shown in dark gray) was built in ca. 1889-1900 as two-stories with a basement, and areaways on the north and east sides.
- The northern, one-story Annex section (shown in pale yellow) followed ca. 1893, also constructed with a basement and areaway. The original annex structure was setback from the street, with a slightly recessed north façade.
- A third floor (shown in pale orange), had been added to the original building by 1905 with the two-story southern portion of the Annex some time between 1900 and 1905 (shown in pink).





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## MEMORANDUM

**DATE:** August 12, 2015

**RE:** J & M Hotel Historic Character-Defining Features

**TO:** Matt Aalfs, Weinstein A+U & David Bolin, D. Bolin Company

**FROM:** Rhoda Lawrence and Susan Boyle

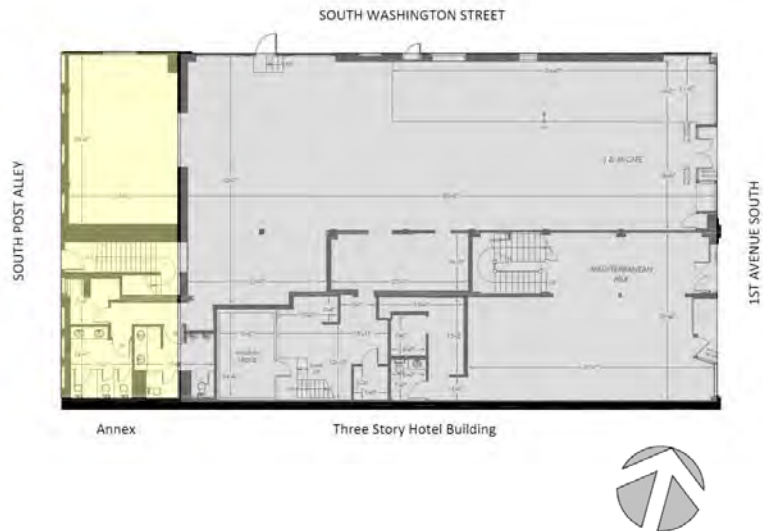
Matt,

The purpose of this memo is to assist you, as the design architect, and the building owner/developer, in understanding the character-defining features of the J&M Hotel building in order to preserve and/or restore the historic materials and the physical features that distinguish it. These features include the overall shape and massing of the building, the exterior masonry materials and details, and the interior floor arrangement, materials and features. We anticipate that this list will guide the proposed rehabilitation and preservation treatments and will be used to develop the future Part 2 for the Historic Preservation Tax Incentive Application scope.

Based on the preliminary structural and masonry reports, our on-site observations and the historic research we have undertaken, we have the following general historic preservation recommendations:

- 1) Document and salvage the masonry elements of the unreinforced brick masonry of the one and two-story annex portion; reuse the cleaned masonry to rebuild the annex to include the identified character-defining features, but constructed as masonry veneer over structural framing.
- 2) Retain, clean and repair as required the exterior masonry elements (brick and sandstone) on the east and north primary façades and on the west secondary façade of the three-story unreinforced masonry hotel building.
- 3) Replace double/single-hung wood windows in-kind, or with approved alternate material in the existing size and configuration.
- 4) Retain and repair existing wood storefront components at primary north façade (large pivot windows and transom) and replace tongue and groove paneling and solid door with glazed elements.
- 5) Retain non-original wood and glass storefront elements on the primary east façade or replace with new compatible wood storefront elements; retain cast iron corner column at NW corner.

cc: file



## MEMORANDUM – J & M Building Historic Character-Defining Features

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### EXTERIOR

#### J &M Café and Hotel Building – Primary East Facade

- Three-story flat roof mass, possibly constructed in two phases (2 story + 1 story), comprised of load-bearing red brick masonry, approximately 12” thick, laid in a running bond
- Brick masonry pilasters at midpoint and end walls with sandstone base and small sandstone capitals at 2<sup>nd</sup> floor line and decorative brick detail at the 2<sup>nd</sup> floor ceiling line
- Corbelled horizontal brick band at 2<sup>nd</sup> floor ceiling line (possibly the cornice line of the original two story construction)
- Painted wood storefront with glazed and infilled portions (shown in historic photographs; current storefronts are not original)
- Six (6) single double-hung, arched head, 2:2 wood windows at the 2<sup>nd</sup> floor, with decorated segmental arch and sandstone keystone and voussoirs at bottom edge, continuous projecting sandstone sill and connecting paired horizontal brick band at window heads
- Six (6) paired double-hung, flat head, 2:2 wood windows at 3<sup>rd</sup> floor, with arched brick lintel
- Recessed storefront entry with diagonal side walls
- Leaded glass transom signage band above J &M Café storefront (original prism glass has been removed; current leaded glass is not original)
- Large cast iron column with decorative capital at 1<sup>st</sup> floor, northeast corner of the building

#### J &M Café and Hotel Building – North Facade

- Three-story flat roof mass, possibly constructed in two phases (2 story + 1 story), comprised of load-bearing red brick masonry, approximately 12” thick, laid in a running bond
- Brick pilaster at west building end wall with small sandstone capital at 2<sup>nd</sup> floor line and decorative brick detail at the 2<sup>nd</sup> floor ceiling line
- Projecting horizontal brick band at 1<sup>st</sup> floor ceiling line
- Corbelled horizontal brick band at 2<sup>nd</sup> floor ceiling level (possibly a cornice line of original two story construction)
- Leaded glass transom above wood storefront (not original to building)
- Three (3) punched arched high window openings with brick sills and corbelled end supports

## MEMORANDUM – J & M Building Historic Character-Defining Features

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- Wood storefront assembly (currently partially infilled) at the west bay with large center pivot windows
- Three (3) paired double-hung, arched head, 2:2 wood windows at the 2<sup>nd</sup> floor , with decorated segmental arch and sandstone keystone and voussoirs at bottom edge, continuous projecting sandstone sill and connecting paired horizontal brick band at window heads
- Three (3) paired double-hung, flat head, 2:2 wood windows at 3<sup>rd</sup> floor with arched brick lintel
- Six (6) single double-hung, flat head, 2:2 wood windows with arched brick lintel at 3<sup>rd</sup> floor
- Slightly projecting flat sheet metal cornice

### J & M Café and Hotel Building – Secondary West Facade

- Three-story flat roof mass, possibly constructed in two phases (2 story + 1 story), comprised of load-bearing red brick masonry, approximately 12” thick, laid in a running bond
- Two (2) single double-hung, flat head, 4:4 wood windows with arched brick lintels and sloped brick sill at 2<sup>nd</sup> floor
- Four (4) single double-hung, flat head, 2:2 wood windows with arched brick lintels and continuous horizontal projecting brick sill at 3<sup>rd</sup> floor
- Three (3) door openings with glazed sidelights and transoms, two (2) at the 3<sup>rd</sup> floor and one (1) at the 2<sup>nd</sup> floor, likely previous fire escape access

### J & M Annex – Two (2) Story Secondary West and North Facades

- Two-story flat roof mass
- Load-bearing brick masonry, approximately 12” thick , laid in a running bond with a header course every 7<sup>th</sup> course
- Five (5) paired double-hung 2:2 wood windows at 2<sup>nd</sup> floor west and north facades with triple coursed segmental row-lock arched brick header and projecting brick sills
- Three (3) single double-hung 1:1 wood windows with double coursed segmental row-lock arched brick headers and projecting brick sills at 1<sup>st</sup> floor west façade
- One (1) infilled arched top opening with projecting brick sill (appears to have been a similar sized opening to the three on the south side)

### J & M Annex – One (1) story West and North Facades

- One-story flat roof mass, vertically separated from the two-story section with original masonry party wall at south end



## MEMORANDUM – J & M Building Historic Character-Defining Features

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- Load-bearing brick masonry, approximately 12" thick, laid in a running bond with a header course every 6<sup>th</sup> course
- Three (3) equally-spaced window openings at 1<sup>st</sup> floor west façade with double-coursed segmental arched brick headers and projecting brick sills (glass and some sash missing, assumed to have been 1:1 originally)
- Three (3) equally spaced infilled arched top openings on west façade at and below alley grade
- Masonry setback ±5' from north property line (identified by wood infill wall)
- Previous parapet and projecting sign board maybe revealed below existing north wall cladding (partly visible on west façade; requires exploratory selective demo)

### INTERIOR

#### J & M Hotel Building Upper Floors

- One (1) centrally-located, wide, double-loaded hallway, running east-to-west with a narrower, with secondary, narrower, parallel double-loaded hallways on each side, all lined with small residence or utility rooms and small connecting hallways between; central hallway has wide projecting pilasters @ ±12' o.c.
- Two (2) enclosed lightwells on the south side and four (4) interior lightwells (original skylights may no longer exist)
- Open primary stair from 1<sup>st</sup> Floor to 3<sup>rd</sup> Floor in the front of the building, with skylight frame above; secondary stair from 2<sup>nd</sup> Floor to 3<sup>rd</sup> Floor
- Tall floor-to-floor heights in rooms and corridors
- Plaster wall surface with paint or wall covering
- T&G wood flooring (some below carpet or linoleum, or non-original VAT)
- Five (5)-panel stained or painted wood doors with transom windows at the corridors and 1" x painted flat trim and 1" x flat plinth blocks
- Dark stained 1" x flat window and door trim at corridors
- 1" x painted or stained flat wood base with ¼ round shoe molding
- 1" x continuous flat chair rail trim on corridor walls
- Interior single-hung 1:1 wood windows with 1" x flat stained trim and with flat sill and apron below
- Stained stair railings with block shaped newel posts, shaped top rail and paired flat-stock balustrade with keyhole cutout detail and dropped corner detail

## MEMORANDUM – J & M Building Historic Character-Defining Features

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- 1" x flat continuous chair rail trim at stairwell walls
- Painted tin ceilings at 3<sup>rd</sup> floor rooms (in ribbon or link pattern) and some corridors
- Metal-paneled fire doors in concealed pockets

### J & M Café and 1<sup>st</sup> Floor Restaurant

- Tall floor-to-floor heights, with painted pressed tin ceiling with edge band and shaped cornice at J & M Café (partially missing, probably not original), and exposed heavy timber beams with shaped ceiling molding; exposed beam connections above columns
- White hexagonal and 1x1 white and green mosaic in Greek Key pattern floor tile at Mediterranean Mix Café
- 1" x stained wood base trim with ¼ round base shoe and shaped top cap
- Stained wood 1" x columns capitals with shaped trim

### J & M Basement

- Exposed brick masonry walls, with arched brick openings to areaway on north and east
- Heavy timber posts and beams
- Exposed brick vaults at areaway ceilings
- Exposed steel beams at areaway ceilings

Attachment: Annotated Photos for Exterior Features (3 pages)

END OF MEMO

## J & M Annex Historic Character-Defining Features – Secondary West Façade



- Two-story flat roof mass at South Section, comprised of load-bearing brick masonry, approximately 12" thick, laid in a running bond with a header course every 7<sup>th</sup> course
- Three (3) paired double-hung 2:2 wood windows at 2nd floor west facade with triple coursed segmental row-lock arched brick header and projecting brick sills
- One-story flat roof mass at North Section, vertically separated from the two-story section with original masonry party wall at south end, comprised of load-bearing brick masonry, approximately 12" thick, laid in a running bond with a header course every 6<sup>th</sup> course
- One (1) infilled arched top opening with projecting brick sill (appears to have been a similar sized opening to the three on the south side)
- Three (3) single double-hung 1:1 wood windows with double coursed segmental row-lock arched brick headers and projecting brick sills @ 1st floor west façade
- Three (3) equally-spaced window openings at 1st floor west façade with double-coursed segmental arched brick headers and projecting brick sills (glass and some sash missing, assumed to have been 1:1 originally)

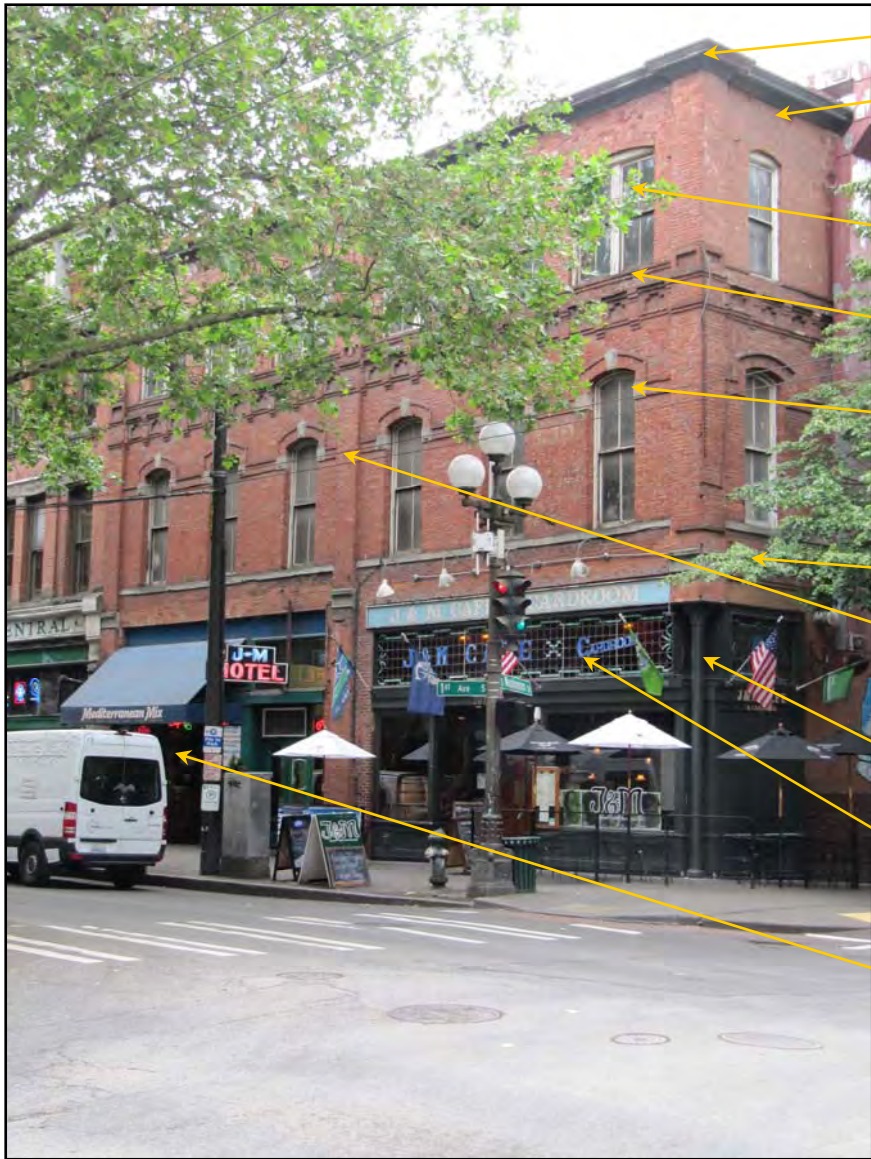


## J & M Annex Historic Character-Defining Features – Secondary West & North Façades



- Previous parapet and projecting sign board maybe revealed below existing north wall cladding (partly visible on west façade; requires exploratory selective demo)
- Two (2) pairs of double-hung 2:2 wood windows at 2nd floor north facade with triple coursed segmental row-lock arched brick header and projecting brick sills
- One-story flat roof mass at North Section, vertically separated from the two-story section with original masonry party wall at south end, comprised of load-bearing brick masonry, approximately 12" thick, laid in a running bond with a header course every 6th course
- Three (3) equally spaced infilled arched top openings on west façade at and below alley grade
- Masonry setback  $\pm 5'$  from north property line (identified by wood infill wall)

## J & M Building Historic Character-Defining Features – East & North Façades



- Slightly projecting flat sheet metal cornice
- Three-story flat roof mass, possibly constructed in two phases (2 story + 1 story), comprised of load-bearing red brick masonry, approximately 12" thick, laid in a running bond
- Paired and single double-hung 2:2 wood windows at 3<sup>rd</sup> floor level east façade with arched brick lintel
- Corbelled horizontal brick band at 2<sup>nd</sup> floor ceiling line (possibly the cornice line of the original two story construction)
- Single double-hung 2:2 wood windows at the 2<sup>nd</sup> floor level east façade, with decorated segmental arch and sandstone keystone and voussoirs at bottom edge, continuous projecting sandstone sill and connecting paired horizontal brick band at window heads
- Projecting horizontal brick band at 1<sup>st</sup> floor ceiling line
- Brick pilasters at midpoint and end walls with sandstone base and small sandstone capitals at 2<sup>nd</sup> floor line and decorative brick detail at the 2<sup>nd</sup> floor ceiling line
- Large cast iron column with decorative capital at 1<sup>st</sup> floor, northeast corner of the building
- Painted wood storefront with glazed and infilled portions and leaded glass transom signage band above (original prism glass has been removed; current storefront and leaded glass is not original)
- Recessed entry with diagonal side walls
- Three (3) punched arched high window openings with brick sills and corbelled end supports, on north façade (not visible in photo)
- Wood storefront assembly (currently partially infilled) at the west bay with large center pivot windows, on north façade (not visible in photo)



## Summary for 201 1st AVE / Parcel ID / Inv #

J & M Hotel. J & M Bar and Cardroom, Jamieson & Moffett Saloon, (Jamieson & McFarland, Proprietors) Seattle Bar Saloon

**Historic Name:** J & M Hotel  
**Common Name:** J & M Hotel

**Style:** [Commercial, Queen Anne - Richardsonian Romanesque](#)  
**Neighborhood:** [Pioneer Square](#)

**Built By:**  
**Year Built:** [1889](#)

### Significance

**In the opinion of the survey, this property is located in a potential historic districe (National and/or local).**

The lower two floors of the J & M Café, also known as the J & M Hotel Building, were originally built in 1889 for Captain J. H. Marshall. The King County Assessor's Records also indicate that there was an alteration in 1900, which may correspond to the third level of the building. Another report gives the date for the third floor addition as 1903. The original J. H. Marshall Building was designed for a wholesale business by Comstock and Troetsche, known mainly as San Diego architects, who were also responsible for the Squire Latimer Building, now "Grand Central on the Park." The decorative band at the top of the second level is most probably the cornice of the original 1889 building. The July 25, 1889 Post Intelligencer made clear that this was to be a utilitarian building: "Captain J. H. Marshall will erect a brick building on the southwest corner of Commercial and Washington Streets, which will be used by a wholesale business house...It will be built in a most substantial and durable manner and will present a massive and imposing appearance rather than ornamental. Architects Comstock and Troetsche are preparing the plans. The building will cost about \$ 20,000. According to records at the Seattle Department of Planning and Development, in 1895, a permit was issued to Frye and Bruhn, allowing them to build a "two story" building, with a 10' by 20' footprint at this address. This probably refers to the small structure to the west of the main building, known as the "J & M Annex," and which is still standing (# 34). In any case, it indicates that Charles Frye and his associate Charles Bruhn, who in 1891 created the Frye and Bruhn Meat Packing Company, owned the building in 1895. The Frye and Bruhn Meat Packing Company Headquarters are thought to have occupied 15 acres of tideflats on the present site of Seahawks Football Stadium. They also gained possession of the building, originally commissioned by Cyrus Walker, on Occidental Avenue South, that currently houses "Al & Bob's Saweway." Not long after, by the time of the Klondike Gold Rush, this building, like all the buildings on the block was occupied by a business on the ground floor and a hotel on the top levels. The building is typical of the buildings that were erected in 1889, right after the Great Fire of June 6, 1889. The shape and detailing of its second floor window openings, in particular, have a Victorian quality, characteristic of many buildings of this period in Seattle (and its environs). With the other buildings on the western block from Main Street to Washington Street, this building presents a unified façade and a powerful sense of early Seattle, as it rose from the ashes right after the Fire of 1889. The building, of course, is of the same construction type as these buildings: brick exterior walls with heavy timber construction on its interior. Its ground floor business, at some point abbreviated to "J & M," has been a bar and card room (when the Seattle was a "wide-open" city and allowed card playing), since the Gold Rush. During the "wide-open" times, from 1906 to 1916, it was known simply as the "J & M Saloon." Several versions of what "J & M" stands for are documented: "Jamieson & Moffett," "Jamieson and McFarland" (around 1901) and then "Joe and Mary McConagin." In any case, the "J & M" name appears to have been associated with the building for some time. Located on a block which included several hotels, in particular 213, 211 and 209 First Avenue, popular during the Gold Rush, its hotel, housed in the upper stories, also served the same sort of clientele. By 1921, the J & M Café sold "soft drinks" and meals. From 1936 to 1970, the hotel was officially known as the J & M Hotel. Comstock and Troetsche were known mainly for their work in San Diego, where their practice thrived in the mid 1880s. As a result of an acquaintanceship with Judge Thomas Burke, an important early Seattle figure, they also opened a Seattle office. They contributed to the rebuilding of Seattle after the Fire of 1889, although their partnership dissolved in 1890, so that the 1900 alteration is probably not by them.

### Appearance

This is a three story brick clad building with a small amount of stone trim. It is located on the southwest corner of First Avenue South and Washington Street. The plan of the building is rectangular. Its roof is not visible and it has a parapet, enhanced by a thin projecting cornice. The main elevation on First Avenue has a storefront with stained glass windows in the clerestory. On the second floor, the First Avenue facade consists of six single double-hung windows topped by segmental arches. The arches are further emphasized by ornamental keystone shapes in stone and small stone rectangular trim pieces on each side of the window opening. Thin raised bands link these rectangles visually and also follow the upper contours of the segmental shapes of the windows. Above the second floor, is a band of arched corbelled forms, topped by a series of slightly projecting bands. This was probably the original cornice of the 1889 portion of the building. Surmounting this, is a third level with six paired double-hung windows, surmounted by flatter segmental arches. The Washington Street elevation has similar window configuration and detailing in its eastern bay, but then has mainly paired windows with flat segmental arches on the second and third levels. The composition of this elevation is less regular. The ground level has several irregularly placed arched openings and two large trabeated openings toward the west. The interior of the café is known for its period metal ceiling.

Photo collection for 201 1st AVE / Parcel ID / Inv #



Photo taken Oct 26, 2004



## Summary for 89 S Washington ST S / Parcel ID 5247800130 / Inv #

**Historic Name:** J & M Annex/ Walter Collins Building

**Common Name:** J & M Annex (part of J & M Hotel Building)

**Style:** [Commercial, Queen Anne - Richardsonian Romanesque](#)

**Neighborhood:** [Pioneer Square](#)

**Built By:**

**Year Built:** [1890](#)

### Significance

**In the opinion of the survey, this property is located in a potential historic districe (National and/or local).**

Although listed separately in the original National Register nomination for the Pioneer Square-Skid Road Historic District, the building is part of the J & M Building parcel. By itself, the annex building is not distinguished architecturally. It may date from as early as 1889-1890 and therefore from the rebuilding of the "burnt district," right after the Fire or most likely from slightly later, around 1895. The remnant of the pier on the Washington Street elevation suggests that there may be more details of architectural interest below the wood siding, but at present, this has not been proven. According to records at the Seattle Department of Planning and Development, in 1895, a permit was issued to Frye and Bruhn, allowing them to build a "two story" building, with a 10' by 10' footprint at 201 Commercial Street, the historical address of the J & M Café. This may very well refer to this structure, whose front dimension is about 10 feet (and the lowest level to the south may be considered a basement). This would give it a slightly later date than the original J & M Building. In any case, it indicates that Charles Frye and his associate Charles Bruhn, who in 1891 created the Frye and Bruhn Meat Packing Company, probably owned the building site in 1895. Now commonly known as the J & M Building Annex, which is its role today, the building appears to have been known as the Walter Collins Building by the 1910s. At least by 1919, the Collins Building housed an employment Agency, known as the C. M. & St. P. Employment Agency, which provided work to shipbuilders. The Collins Building can be seen in contemporary photographs of the elevated Seattle Municipal Street railway, which was completed on September 4, 1919. At that time, the north elevation had an overhanging awning indicating both the name of the agency, with, above it, an ornamental sign in raised letters with the name "Collins." The elevated railway line ran east and west along Washington Street from and to the former Railway Avenue, now Alaskan Way, past what is now the Lutheran Compass Center, the St. Charles Hotel (its name in 1919), the "little Collins Building" and the J & M Building. The railway was built in large part to speed the arrival of workers involved in shipbuilding in Seattle's southern harbor, where they built ships for the war effort during World War I. Since the building is considered physically part of the J & M property and it has historical significance, it should keep its contributing status. Also, vestiges of its original fabric may well be underneath the siding of the north façade.

### Appearance

This small building adjoins the J & M Building and is currently considered part of the same parcel. It faces north on Washington Street and has an alley elevation facing west. The northern half of the building is one story, while the southern portion of the building, because of a grade change is three stories. The one story portion of the west elevation has three segmental window openings. The southern three story portion of the west elevation has segmental openings on its two upper stories and is filled in with new concrete block at the ground level. Currently, the north elevation is covered with horizontal tongue and groove siding and has a remnant of an original brick pier with a stone capital and a cast-iron base.

## Photo collection for 89 S Washington ST S / Parcel ID 5247800130 / Inv #



Photo taken Oct 26, 2004