

7 August 2023

Minh Chau Le, Coordinator Pike Place Market Historical Commission City of Seattle PO Box 94649 Seattle WA 98124-4649

RE: Beecher's Cheese Renovation Description of Proposed Work

Dear Minh Chau:

The following is an update for Beecher's Handmade Cheese Certificate of Approval for Preliminary Design dated 4 October 2022. The next steps include construction permit documentation review and DON approval for the upcoming construction permits.

Two sets of construction permit application documents are included. One is for the cafe relocation which is dated 20 April 2023 and is SDCI project number 6958580-CN. The second is for the cheese production area which is dated 28 April 2023 and is SDCI project number 6944991-CN. Also included is a 28 April 2023 Phase Diagram drawing illustrating the phased construction plan for the project. The complete project will be what was proposed in the fall. Beecher's has chosen to take advantage of the empty cafe space and build the project in two phases to keep a market retail space open and the market block busy almost continuously during the renovation project.

The description below is from the fall presentation. The proposed project has not changed, except for the two phase approach.

The Beecher's Cheese Renovation Project will expand the existing cheese production space to address worker safety and improve working conditions. The existing cafe/retail space will move north to the adjacent cafe/retail space, and most of the existing cafe/retail space will become new production space. Existing cafe/retail and production uses will remain, and the project is not a change of use per land use code or building code.

Existing Cafe/Retail	1,030 SF	New Cafe/Retail	1,038 SF
Existing Production	1,274 SF	New Production	2,089 SF

The north, west and south storefronts will be renovated to accommodate the cafe/retail relocation and production expansion. The cafe/retail will have a single entry/exit door at the north end, a sectional roll-up door in the middle, and a double entry/exit door inset on the south end. The production space will continue to use the cafe doors for production deliveries, and the production space will also have a new egress only door in the south storefront. The exiting diagram on drawing T1 indicates occupancy, occupancy numbers and exit paths. Because of these changes, the suite will have renovated storefront on the north, west and south sides, using existing components such as doors and sectional doors where possible. The new storefront layout will be designed and constructed to match existing style, construction, and finishes.

The cafe/retail space will move from its existing location to the north retail space. The intent of the project is to reuse virtually all the existing casework, signage, equipment, seating, and finishes. The new cafe/retail should look virtually identical to the existing.

Cardinal Architecture PC 1326 5th Avenue #440 Seattle WA 98101 206 624-2365 cardinalarchitecture.com



The production space will be in its current location at the southwest corner of the building; however, the space will expand to the north. The reasons for the renovation and expansion are to make the cheese production workplace safer for the production employees. The space will continue to have large windows open from the street and sidewalk so that ongoing cheese production is prominent and visible. The two main vessels – the make vat/agitation and the drain table/agitation – will be located adjacent to the south and west windows, as well as the south window of the cafe space. Additional equipment such as the raw milk storage tank, cheese press, and curd auger, will be located further back in the production space. The intent of the project is to match all existing stainless-steel equipment, flooring, and finishes. The new production layout will be designed and constructed to look identical to the existing.

We continue to develop lighting for the cafe and production space. The cafe will include (3) pendant fixtures that will have a traditional cafe look and will have warm temperature lamps. The production space is required by Washington State and the federal Food & Drug Administration requirements to meet minimum lighting levels & minimum Color Rendering Index levels. The fixtures must also be sealed and avoid food hazards such as glass. We are developing a plan to light the production area to fit into the market and meet NSF standards.

The back of house will be reconfigured to accommodate the new retail/cafe space and the expanded production space. This area is not open to the public and will be finished to match existing finishes.

Finishes List

Exterior Finishes:

- Off-White Field Paint Match Existing
- Dark Green Trim, Door & Door Frame, Window Paint Match Existing
- Large Insulated Glazing Units Match Existing
- Green Steel & Translucent Glass Awning To Remain

Interior Finishes

Cafe/Retail

- Floor Transparent Finish Oak & Polished Concrete to Match Existing
- Floor Base White Painted Wood to Match Existing
- Wall Paint Yellow Paint to Match Existing
- Ceiling Paint White Paint to Match Existing
- Vertical Wood Siding to Match Existing, Stained T&G Fir
- Exposed Timber Construction to Match Existing
- Lighting Install New Glass Pendants Similar to Existing, Install New Retail Lighting to Match Existing, Color Temperature to be 2,700 K.
- Signage Move Existing Signage to New Cafe/Retail

Production

- Floor Gray Epoxy Crete & Coved Base to Match Existing
- Walls White Food-Grade Production Panels to Match Existing
- Ceiling White Food-Grade Production Panels to Match Existing
- Equipment & Food-Grade Finishes Stainless Steel to Match Existing
- Lighting Existing light fixtures do not meet FDA & NSF requirements. Currently developing plan to meet
 market requirements and color temperature, and provide safe lighting for cheese production (sealed, no
 glass, minimum fc, minimum CRI)















ENERGY CODE INFORMA	TION
APPLICABLE CODE:	2018 SEATTLE ENERGY CODE
EXISTING BUILDINGS	CHAPTER 5 - EXISTING BUILDINGS
C503 - ALTERATIONS	NO CHANGE OF SPACE CONDITION NO CHANGE OF USE NO CHANGE TO BUILDING ENVELOF



PROJECT LOCATION AT



















FINISH SCHEDULE		FINISH MATERIALS		FINISH MATE	FINISH MATERIALS CONTINUED		
RETAIL:	FLOOR: CONCRETE	FLOOR			FRP		
	WALLS: SEE INTERIOR ELEVATIONS SHEET A4.1 CEILING: GWB	CONCRETE	MATERIAL: FINISH:	POLISHED CONCRETE CLEAR SEALER	FRP	MATERIAL: MANUFACTURER: PRODUCT:	FIBER REINFORCED PANEL NUDO FIBER-LITE PANEL
	BASE: WB-I	CEILING				FINISH:	SMOOTH PEARL
SCULLERY FLC WAL	FLOOR: CONCRETE	GWB	MATERIAL:	EXISTING GWB CEILING		HEIGHT:	TOP OF WALL BASE TO CEILING
	WALLS: FRP	WALL BASE					
	BASE: WB-2	WB-I	MATERIAL: FINISH:	WOOD WALL BASE PAINT	PT	MANUFACTURER: PRODUCT:	TBD ENAMEL PAINT
COOLER	FLOOR: CONCRETE WALLS: FACTORY		PROFILE:	6" HIGH		COLOR: SHEEN:	TBD EGGSHELL/SATIN
	CEILING: FACTORY	WB-2	MATERIAL: FINISH: PROFILE:	RUBBER WALL BASE BLACK 6" HIGH SEAL TO FLOOR IN SCULLERY	PAINT NOTES I) PAINT (I) 2) METAL D 3) SEMI-GLO	<u>S:</u> COAT PRIME (2) COA OOR FRAMES: MATCH OSS FINISH ON DOOR F	TS PAINT WALL PAINT COLOR FRAMES

DOOR SCHEDULE

#	TYPE	DOOR SIZE (W x H)	HARDWARE TYPE	FINISH	NOTES
001	TYPE A	4'-0" × 7'-0"	PASSAGE	PAINTED STEEL DOOR	HOLLOW METAL FRAME
002	TYPE B	3'-0" x 3'-11"	CAFE	ALUMINUM	ELIASON LWP-CAFE DOORS PAIR, 12" CLEAR BETWEEN BOTTOM OF DOOR & FLOOR
003	N/A	2'-0" × 7'-0"	COOLER	FACTORY FINISH	REACH-IN DOOR BY COOLER MANUFACTURER
004	N/A	2'-0" × 7'-0"	COOLER	FACTORY FINISH	REACH-IN DOOR BY COOLER MANUFACTURER
005	N/A	4'-0" × 7'-0"	SLIDING COOLER	FACTORY FINISH	SLIDING DOOR BY COOLER MANUFACTURER

FLOOR PLAN 3/8" = 1'-0"







RETAIL EQUIPMENT SCHEDULE						
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	DIMENSIONS L \times D \times H	NOTES:
		REFRIGERATED DISPLAY MERCHANDISER				
2		FOOD WARMER				
4		FOOD WARMER				
6		REFRIGERATED DISPLAY MERCHANDISER	TURBO AIR	TOM-75LS-N	75 5/8" X 34 5/8" X 46 1/8"	
8	2	REFRIGERATED DISPLAY MERCHANDISER				
9		DELI SLICER				
0		REACH-IN FREEZER	ATOSA	MBF8501	27" X 3 7/10" X 83 1/10"	
		UNDERCOUNTER REFRIGERATOR	TRUE	TUC-72-HC	72 3/8" X 30 I/8" X 29 3/4"	
4		UNDERCOUNTER REFRIGERATOR	TRUE	TUC-67D-4-HC	67 /4" X 32 /4" X 29 3/4"	
15		PANINI SANDWICH GRILL	PRO-MAX	PGT28IEGT	34" X 23 I/2" X I3"	
6	2	UNDERCOUNTER MICROWAVE				
1		HOLDING CABINET	HATCO	FSHC-7-1	22.76" X 3I.97" X 35.I2"	
8		NEW REFRIGERATOR				
19		UNDERCOUNTER FREEZER				
			•	1		

EQUIPMENT NOTES: * ALL EQUIPMENT IS EXISTING UNLESS NOTED AS "NEW"

DETAIL CAGEMORK GCHEDINE

LITEM	QTY	DESCRIPTION	DIMENSIONS L X D X H	COUNTERTOP MATERIAL	NOTES:	
3		HOT FOOD COUNTER	8'-0" L × 3'-6" D × 3'-0" H	STAINLESS STEEL	CORNER - SEE PLAN	
5		POS COUNTER	4'-6" L × 2'-9" D × 2'-8" H	WOOD	ACCESSIBLE COUNTER	
7		POS COUNTER	3'-0" L × 2'-9" D × 3'-0" H	WOOD		
24		PREP COUNTER	4'-8" L × 3'-I" D × 3'-0" H	STAINLESS STEEL	#12 \$ #13 SINK LOCATIONS	
25		HOT PREP COUNTER	2'-0" L × 3'-1" D × 3'-3" H	STAINLESS STEEL		

<u>CASEWORK NOTES:</u>

* NEW CASEWORK DETAILS TO MATCH EXISTING * VERIFY DETAILS PRIOR TO CONSTRUCTION

ITEM	QTY	DESCRIPTION	ANUFACTURER	MODEL	DIMENSIONS L x D x H	DRAIN	NOTES:
12		(E) PREP SINK				INDIRECT	PROVIDE HOT & COLD WATER
13		(E) HAND SINK				DIRECT	PROVIDE HOT & COLD WATER REINSTALL (E) SPLASH GUARD
20		NEW 3-COMPARTMENT SINK	EGENCY	#60053717G	60" × 22 /2" × 44 3/4"	INDIRECT	PROVIDE HOT & COLD WATER
21		(E) DRAIN BOARD					
22		(E) DISHWASHER				INDIRECT	PROVIDE HOT & COLD WATER
23		NEW MOP SINK WALL-MOUNT FAUCET BK	K RESOURCES K RESOURCES	BKMS-1620-12 BKSF-WBI	24 /2" X 9 3/8" X 7"	DIRECT	PROVIDE HOT & COLD WATER VACUUM BREAKER

* REINSTALL (E) FIXTURES UNLESS INDICATED BY "NEW" * INSTALL NEW SUPPLY & DRAIN LINES FOR ALL FIXTURES * (E) CAFE & SCULLERY TO REMAIN OPERATIONAL DURING CONSTRUCTION. REMOVE & REINSTALL (E) FIXTURES PRIOR TO NEW CAFE OPENING.

EQUIPMENT PLAN 3/8" = 1'-0"





	LIGHTING SCHEDULE			
#	TYPE	PRODUCT		
А	PENDANT	REFURBISH & REINSTALL EXISTING PENDANTS		
В	AIMABLE LED TRACK LIGHT	MATCH EXISTING FIXTURES		
С	CEILING FAN	REINSTALL EXISTING FANS		
 GENERAL NOTES: * ELECTRICAL SCOPE TO BE PERMITTED BY DESIGN-BUILD SUBCONTRAC PROVIDE OCCUPANCY & DAYLIGHT SENSORS AS REQUIRED BY WA STA * MINIMUM 50 FC (540 LUX) REQUIRED IN FOOD PREPARATION AREAS. * MINIMUM 10 FC (108 LUX) REQUIRED IN WALK-IN COOLER. WALK-IN LIGHTING TO BE PROVIDED BY COOLER MANUFACTURER. * EXISTING CAFE TO REMAIN OPERATIONAL DURING NEW CAFE CONSTRUC REMOVE, REFURBISH & REINSTALL EXISTING LIGHT FIXTURES & FANS PR * ALL LIGHT FIXTURES TO BE 2700K 				



R TO OPENING OF NEW CAFE.





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REFRIGERATED DISPLAY	REFRIGERATED DISPLAY		REFRIGERATED DISPLAY
		4'-6"	5'-4 1/2"

BUILDING CODE INFORMA	ATI <u>ON</u>
LOCATION:	1600 PIKE PLACE, SEATTLE,
APPLICABLE CODE:	2018 SEATTLE BUILDING COL
EXISTING BUILDING INFORMATION:	CONDOMINIUM UNIT IN (3) UN UNIT IS 5000 SF ON LEVEL
CONSTRUCTION TYPE:	TYPES OF CONSTRUCTION (T, TYPE IIIB W/O SPRINKLERS 12,000 SF PERMITTED
OCCUPANCY:	OCCUPANCY GROUPS AND M. EXISTING OCCUPANCY: F-I - FOOD PRODUCTION M - RETAIL SALES NO CHANGE OF USE
OCCUPANT LOADS:	MAXIMUM FLOOR AREA ALLO SEE OCCUPANCY CALCULATI TOTAL OCCUPANT LOAD, PRO TOTAL OCCUPANT LOAD, RE TOTAL BUILDING OCCUPANT I (2) EXITS REQUIRED
EXIT CONFIGURATION:	1007.1.1 - WHERE (2) EXITS AN BUILDINGS, THEY SHALL BE OVERALL DIAGONAL DIMEN
EXIT ACCESS TRAVEL DISTANCE:	(TABLE 1017.2) NON-SPRINKLED, M OCCUPAN NON-SPRINKLED, F-I OCCUPA SEE EXIT PATHS ON PLAN
PLUMBING FIXTURES:	(TABLE 2902.I) - SEE CALCU PUBLIC FACILITIES PROVIDE: <u>EMPLOYEE PLUMBING FIXTUR</u> TOTAL EMPLOYEE OCCUPAN WC REQUIREMENTS: I PER 100: 0.48 REQUIRED LAV REQUIREMENTS: I PER 100: 0.48 REQUIRED (I) WC & (I) LAV REQUIRED (2) WC & (2) LAVS PROVIDE (2) GENDER-NEUTRAL TOILE
EXISTING BUILDING CODE	E INFORMATION
APPLICABLE CODES:	2018 SEATTLE EXISTIN
SUBSTANTIAL ALTERATION 307	DNS: DEFINITION I - PROJEC DEFINITION 2 - PROJEC THE BUILDING BEYON DEFINITION 3 - NO CHA DEFINITION 4 - BUILDIN DEFINITION 5 - BUILDIN PROJECT IS NOT A SUB
ENERGY CODE INFORMA	TION
APPLICABLE CODE:	2018 SEATTLE ENERGY COD
EXISTING BUILDINGS	CHAPTER 5 - EXISTING BUILD
C503 - ALTERATIONS	NO CHANGE OF SPACE CONE NO CHANGE OF USE NEW BUILDING ENVELOPE AS ALTERATION SHALL COMPLY COMPLIANCE WITH C406 IS N
TABLE C402.1.3	MINIMUM R-VALUES FOR OPA NEW WOOD FRAMED WALLS NEW WOOD FRAMED FLOOP
TABLE C402.4	MAXIMUM U-VALUES FOR NEW NEW STOREFRONT GLAZING NEW GLAZED ENTRANCE DO NEW ROLL-UP DOORS:
C402.5.7 - VESTIBULES	VESTIBULES ARE NOT REQUIR 4 STORIES ABOVE GRADE A
C501.6 - HISTORIC BUILDINGS	THE BUILDING OFFICIAL MAY REQUIREMENTS OF THIS COD REQUIRE ALTERNATE PROVIS REASONABLE DEGREE OF EN MODIFICATION MAY BE ALLO ARE DESIGNATED AS A HIST OR STATE DESIGNATION LAW
	THIS PROJECT IS LOCATED I HISTORIC DISTRICT AND SUB DEPARTMENT OF NEIGHBORH THE HISTORIC CHARACTER O STOREFRONT WINDOWS, DOO MEET THE MAXIMUM U-VALUE ALL WINDOWS & DOORS WILL GLAZING UNITS TO PROVIDE MAINTAINING THE HISTORIC O CLEAR GLAZING IS SPECIFIE COATINGS ARE NOT PERMITT
GENERAL PROJECT	T NOTES
I) THE CONTRACTOR ARCHITECT OF ANY CONDITIONS BEFOR	IS TO FIELD VERIFY EXISTING Y CONFLICTS, DISCREPANCIES RE BEGINNING WORK.
2) THE CONTRACTOR LOCATIONS. THE C COORDINATING WIT ENCOUNTERED DUR	IS RESPONSIBLE FOR VERIFY CONTRACTOR IS RESPONSIBLE TH ADDITIONAL UTILITIES LOC, ING CONSTRUCTION.
3) THERE ARE ABBRE	VIATIONS THROUGHOUT THE P
	L DEFINE THE INTENT OF ANY
4) DIMENSIONS ARE S OTHERWISE ON DR	L DEFINE THE INTENT OF ANY HOWN FACE OF EXISTING CON AWINGS.

LE, WA CODE

) UNIT BUILDING /EL I

(TABLE 601)

MAJOR USES (SECTION 302.1)

LLOWANCES PER OCCUPANT (1004.1.1) ATIONS ON PLAN $\mathsf{PRODUCTION} = 29$ RETAIL = 49 NT LOAD = 78

ARE REQUIRED IN NON-SPRINKLED BE SEPARATED BY 1/2 OF THE MENSION - SEE DIMENSIONS ON PLAN

PANCY - 200' MAX JPANCY - 200' MAX

_CULATIONS BELOW DED IN PIKE PLACE MARKET TURE CALCULATIONS: ANT LOAD: 48 OCC

FD /IDED IN DILET ROOMS

TING BUILDING CODE

JECT IS NOT A REPAIR DJECT DOES NOT EXTEND THE LIFE OF OND A TYPICAL TENANT IMPROVEMENT CHANGE OF USE DING IS NOT VACANT DING IS NOT URM SUBSTANTIAL ALTERATION

ODE

JILDINGS ONDITIONING

ASSEMBLIES THAT ARE PART OF THE PLY WITH C402.1 - C402.5 IS NOT REQUIRED

OPAQUE ENVELOPE COMPONENTS: LLS: R-21 MIN OORS: R-30 MIN

NEW GLAZING: ZING: U-0.34 MAX E DOORS: U-0.60 MAX U-0.36 MAX

QUIRED IN BUILDINGS LESS THAN E AND LESS THAN 10,000 SF IN AREA.

IAY MODIFY THE SPECIFIC ODE FOR HISTORIC BUILDINGS AND VISIONS WHICH WILL RESULT IN A ENERGY EFFICIENCY. THIS LLOWED FOR THOSE BUILDINGS THAT HISTORIC PROPERTY UNDER LOCAL AW OR SURVEY.

ED IN THE PIKE PLACE MARKET SUBJECT TO REVIEW BY THE SEATTLE ORHOODS. IN ORDER TO MAINTAIN R OF THE BUILDING, EXISTING OORS & GARAGE DOORS MAY NOT LUE REQUIREMENTS IN TABLE C402.4. NILL USE I", ARGON FILLED INSULATED DE MAXIMUM ENERGY EFFICIENCY WHILE C CHARACTER OF THE BUILDING. FIED AS LOW-E AND REFLECTIVE IITTED IN THE MARKET.

ING CONDITIONS AND NOTIFY IES, AND/OR UNFORESEEN

RIFYING ALL EXISTING UTILITY BLE FOR CONFIRMING AND OCATIONS NOT SHOWN BUT

E PLANS WHICH ARE IN COMMON USE. ANY ABBREVIATIONS IN QUESTION.

CONSTRUCTION UNLESS NOTED

CTOR SHALL REFER TO DIMENSIONS ONS WITH ACTUAL FIELD MEASUREMENT. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

PROPERTY INFORMATIO	N	PROJECT DESCR
ADDRESS:	1600 PIKE PLACE SEATTLE, WA 98101	EXPAND CHEESE VACATED BY PR
BUILDING OWNER:	2110 INVESTMENTS LLC	RETAIL
LEGAL DESCRIPTION:	GARDEN CENTER BUILDING CONDO PCT OF VALUE 51.5464	NO CHANGE OF L
	PLAT BLOCK: PLAT LOT: UNIT I	DEPARTMENT OF TO PERMIT ISSUA
APN:	269480-0010	
PROPERTY SIZE:	5,235 SF	SEPARATELY BY
LAND USE INFORMATION SEATTLE MUNICIPAL CO	DE CHAPTER 23	DRAWING INDEX
ZONING:	PMM-85	TI PROJEC
SMC 23.49.336	PIKE MARKET MIXED PROJECT IS LOCATED IN THE PIKE PLACE MARKET PERMITTED USES & REQUIREMENTS ARE DETERMINED PER SMC CHAPTER 25.24, PIKE PLACE MARKET HISTORICAL DISTRICT ORDINANCE. DEPARTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.	D2.0SELECTD2.1SELECTD2.2SELECTD2.4SELECTD3.1SELECTD4.1SELECTA2.0FOUNDAA2.1LEVEL 1A2.2LEVEL 1A2.3LEVEL 1



PROJECT LOCATION AT 1600 PIKE PLACE

JECT DESCRIPTION

ND CHEESE PRODUCTION INTO EXISTING RETAIL SPACE ATED BY PROJECT #6958580-CN. NFIGURE BACK OF HOUSE TO SUPPORT EXPANDED PRODUCTION &

HANGE OF USE

RTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR ERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH REVIEW.

ANICAL, ELECTRICAL AND PLUMBING SCOPE TO BE PERMITTED RATELY BY DESIGN-BUILD SUBCONTRACTORS.

NING INDEX

PROJECT INFORMATION & EXITING PLAN SELECTIVE DEMOLITION FOUNDATION PLAN SELECTIVE DEMOLITION LEVEL I FLOOR PLAN SELECTIVE DEMOLITION LEVEL I REFLECTED CEILING PLAN SELECTIVE DEMOLITION ROOF PLAN SELECTIVE DEMOLITION BUILDING SECTIONS SELECTIVE DEMOLITION BUILDING ELEVATIONS FOUNDATION PLAN LEVEL I FLOOR PLAN LEVEL I REFLECTED CEILING PLAN & LIGHTING SCHEDULE

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A3.3 INTERIOR WALL SECTIONS

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CONTACT INFORMATION:

TENANT BEECHER'S CHEESE 1600 PIKE PLACE SEATTLE, WA 98101 CONTACT: TIFFANY LEE 206.200.9863

GENERAL CONTRACTOR COHO ENTERPRISES 1314 DENNY WAY, STE. 103 SEATTLE WA 98109 206.730.250| T

ARCHITECT CARDINAL ARCHITECTURE 1326 5TH AVENUE, SUITE 440 SEATTLE WA 98101 CONTACT: JIM CARY 206.624.2365 T

NO SCALE

STRUCTURAL ENGINEER SWENSON SAY FAGET 2124 3RD AVENUE, SUITE 100 SEATTLE WA 98121 CONTACT: CHRIS AUGUSTINE CONTACT: FRANCESCA RENOUARD 206.956.3723 Т

SELECTIVE DEMOLITION LEVEL I FLOOR PLAN SCALE: |/4" = |'-0"

REMOVE (E) CEILING	<u>NNNNN</u>	
AS REQUIRED FOR STRUCTURAL MODIFICATIONS REMOVE (E) STOREFRONT		
* MALL BELOW		

	LIGHTING SCHEDULE			
#	TYPE	PRODUCT	COLOR TEMPERATURE	NOTES
A	LED PENDANT	MATCH EXISTING FIXTURES	2700K	NEW FIXTURES TO VIS
EX-B	LED PENDANT	EXISTING FIXTURE	2700K	EXISTING CAFE FIXTU
С	AIMABLE LED TRACK LIGHT	MATCH EXISTING FIXTURES	2700K	INSTALL (3) ADDITIO
D	SEALED SURFACE-MOUNT LINEAR LED	LITHONIA FEM OR SIMILAR	3000K	NEW FIXTURES TO BE
E	SURFACE-MOUNT LINEAR LED	LITHONIA FMLWLOR SIMILAR	3000K	
*	GENERAL NOTES: ELECTRICAL SCOPE TO BE PERMITTED I PROVIDE OCCUPANCY & DAYLIGHT SEN	BY DESIGN-BUILD SUBCONTRACTO SORS AS REQUIRED BY WA STATE	R E ENERGY CODE	
*		$= \cap \cap \cap DDEDVDVIV$		

SCALE: 1/4" = 1'-0"

|/4" = |'-0"

TYP. INTERIOR WALL SECTION @ NEW WALK-IN COOLER SCALE: 3/4" = 1'-0"

GLAZING TYPES

- INSULATED SHATTERPROOF I" IGU * OUTSIDE
- * 1/8" CLEAR TEMPERED OUTSIDE * 5/8" ARGON-FILLED GAP
- NSULATED SAFETY I" IGU * OUTSIDE
- * 3/4" ARGON-FILLED GAP
- * 1/8" CLEAR TEMPERED INSIDE
- * 1/8" CLEAR TEMPERED OUTSIDE

- * 1/8" CLEAR TEMPERED * CLEAR LAMINATED PVB INTERLAYER
- * 1/8" CLEAR TEMPERED INSIDE
- SHATTERPROOF * 1/8" CLEAR TEMPERED
- * CLEAR LAMINATED PVB INTERLAYER * 1/8" CLEAR TEMPERED
- <u>SAFETY</u> * 1/8" CLEAR TEMPERED

WINDOW SCHEDULE

<u></u>			
#	WINDOW SIZE (W x H)	GLAZING TYPE	FRAME
IOIA	4'-0" × 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING
IOIB	4'-0" × 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING
102	'- " × 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING
103	'- " × 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING
104	6'-2" × 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
1 <i>0</i> 5A	6'-3" × 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
105B	6'-3" × 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
1050	6'-3" × 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
106A	5'-2" × 6'-6"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
106B	5'-2" × 5'-8"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
1060	5'-2" × 5'-8"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING
107	5'-6" × 9'-6"	SHATTERPROOF	WOOD, MATCH EXISTING
108	5'-6" × 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING
109	5'-6" × 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING
110	5'-6" × 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING
	4'-0" × 4'-0"	SAFETY	PAINTED HOLLOW METAL

DOOR SC	DOOR SCHEDULE				
#	TYPE	DOOR SIZE (W x H)	HARDWARE TYPE	FINISH	NOTES
100	TYPE A	3'-0" × 8'-0"	ENTRY	PAINTED WOOD DOOR	WOOD FRAME, INSULATED SAFETY GLAZING
0	TYPE H	'-0" × 8'-0"	GARAGE	PAINTED WOOD SECTIONAL DOOR	WOOD FRAME, INSULATED SAFETY GLAZING
102	TYPE B	(2) 2'-6" × 7'-0"	CAFE ENTRY	PAINTED WOOD DOORS	WOOD FRAME, INSULATED SAFETY GLAZING
103	TYPE A	3'-0" × 8'-0"	EXIT	PAINTED WOOD DOOR	WOOD FRAME, INSULATED SHATTERPROOF GLAZING, CONTINUOUS SEAL
104	TYPE C	3'-0" × 7'-0"	OFFICE	PAINTED WOOD DOOR	
105	TYPE C	3'-0" × 7'-0"	STOREROOM	PAINTED WOOD DOOR	
106	TYPE C	3'-0" × 7'-0"	PRIVACY	PAINTED WOOD DOOR	
107	TYPE D	2'-8" × 7'-0"	PRIVACY	PAINTED WOOD DOOR	
108	N/A	3'-0" × 7'-0"	HASP & PADLOCK	CHAIN LINK	CHAIN LINK GATE
109	TYPE F	5'-0" × 7'-0"	BYPASS	PAINTED WOOD DOORS	BYPASS SLIDING DOORS
110	TYPE C	3'-0" × 7'-0"	OFFICE	PAINTED STEEL DOOR	PAINTED HOLLOW METAL FRAME
	TYPE F	3'-0" × 7'-0"	OFFICE	REINSTALL (E) STAINLESS STEEL DOOR	REINSTALL (E) STAINLESS STEEL DOOR FRAME
2	TYPE F	3'-0" × 7'-0"	STOREROOM	FIBERGLASS DOOR	STAINLESS STEEL FRAME, SHATTERPROOF GLAZING
113	TYPE C	3'-0" × 7'-0"	OFFICE	FIBERGLASS DOOR	STAINLESS STEEL FRAME
4	TYPE G	3'-0" × 7'-0"	BARN DOOR	GLAZED STAINLESS STEEL DOOR	CUSTOM SLIDING DOOR HARDWARE, SHATTERPROOF GLAZING
115	N/A	4'-0" × 7'-0"	SLIDING COOLER	FACTORY FINISH	SLIDING DOOR BY COOLER MANUFACTURER
116	N/A	4'-0" × 7'-0"	SWINGING COOLER	PAINT OVER FACTORY FINISH	SWING DOOR BY COOLER MANUFACTURER

VERIFY WINDOW SIZE

VERIFY WINDOW SIZE

- WOOD TRIM, TYP.

5'-0"

TYPE E

HARDWARE T	YPES		
* PASSAGE * PASSAGE SCHLAGE	FUNCTION LOCKSET L9010 OR SIMILAR	* PRIVACY * PRIVACY FUNCTION LOCKSET SCHLAGE L9040 OR SIMILAR	* EXIT * EXIT FUNCTION LOCKSET SCHLAGE L9025 OR SIMILAR
* OFFICE * OFFICE FL SCHLAGE	INCTION LOCKSET L9050 OR SIMILAR	* ENTRY * ENTRANCE FUNCTION LOCKSET SCHLAGE L9453 OR SIMILAR	
* STOREROOM * STOREROO SCHLAGE	M DM FUNCTION LOCKSET L9080 OR SIMILAR	* CAFE ENTRY * VERTICAL LATCH ENTRY FUNCTION L SCHLAGE LM9250 OR SIMILAR	LOCKSET
	1		
	NOTES		
STING	VERIFY WINDOW SIZE		
STING	VERIFY WINDOW SIZE		
STING	VERIFY WINDOW SIZE		
STING	VERIFY WINDOW SIZE		
STING	VERIFY WINDOW SIZE		
STING	VERIFY WINDOW SIZE		
- STING	VERIFY WINDOW SIZE		

KISTING	VERIFY WINDO	DW SIZE
KISTING	VERIFY WINDO	W SIZE
KISTING	VERIFY WINDO	W SIZE
KISTING	VERIFY WINDO	W SIZE
KISTING	VERIFY WINDO	W SIZE
KISTING	VERIFY WINDO	W SIZE
N METAL FRAME		
		NOTES
ED WOOD DOOR		WOOD FRAME, INSULATED SAFETY GLAZING
ED WOOD SECTIONA	AL DOOR	WOOD FRAME, INSULATED SAFETY GLAZING
		MOOD ERAME INCH ATER CAFETY CLAZING

DOOR TYPES

		QUALITY ASSURANCE
 ALL MATERIALS, WORKMANSHIP, DESIGN, AND DRAWINGS, SPECIFICATIONS, AND THE 2018 S DESIGN LOADING CRITERIA: RETAIL FLOOR LIVE LOAD (DINING ROOMS AND RESTA FLOOR CONCENTRATED LOAD (STORES) 	CONSTRUCTION SHALL CONFORM TO THE GEATTLE BUILDING CODE. JRANTS) 100 PSF	12. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.
ROOF ROOF LIVE LOAD		CONCRETE CONSTRUCTIONPER TABLE 1705.3SOIL CONDITIONS, FILL PLACEMENT, AND DENSITYPER TABLE 1705.6EXPANSION BOLTS AND THREADED EXPANSION INSERTSPER MANUFACTUREREPOXY GROUTED INSTALLATIONSPER MANUFACTURER
DEFLECTION CRITERIA LIVE LOAD DEFLECTION	L/360 L/240 1.5 IN/HR	PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS. CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK
SNOW Ce=1.0, Is=1.0, Ct=1.1 WIND GCpi=0.18, 98 MPH, R SEE PLANS FOR ADDITIONAL LOADING CRITER	Cs=1.0, Pg=25 PSF, Pf=20 PSF ISK CATEGORY II, EXPOSURE "C" A	13. STRUCTURAL OBSERVATION SHALL BE PERFORMED IN ACCORDANCE WITH SECTIONS 1704.6 OF THE INTERNATIONAL BUILDING CODE FOR THE FOLLOWING BUILDING ELEMENTS:
DRAWINGS FOR BIDDING AND CONSTRUCTION PRIME CONTRACT DRAWINGS. ANY DISCREPAN SPECIFICATION, THESE GENERAL NOTES AN REPORTED TO THE ARCHITECT, WHO SHALL CO ANY WORK DONE BY THE GENERAL CONT	ARCHITECTURAL DRAWINGS ARE THE CIES FOUND AMONG THE DRAWINGS, THE ND THE SITE CONDITIONS SHALL BE ORRECT SUCH DISCREPANCY IN WRITING. RACTOR AFTER DISCOVERY OF SUCH	CONCRETE CONSTRUCTION THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD ADEQUATE NOTICE TO SCHEDULE APPROPRIATE SITE VISITS FOR STRUCTURAL OBSERVATION.
DISCREPANCY SHALL BE DONE AT THE GENERAL PRIMARY STRUCTURAL ELEMENTS NOT DIMENS DETAILS SHALL BE LOCATED BY THE ARCHITE DIMENSION CONTROL IS DEFINED BY THE ARC SECTION, AND PLANS. DETAILING AND SHOP ELEMENTS WILL REQUIRE DIMENSIONAL	CONTRACTOR'S RISK. IONED ON THE STRUCTURAL PLANS AND CTURAL PLANS AND DETAILS. VERTICAL CHITECTURAL WALL SECTIONS, BUILDING DRAWING PRODUCTION FOR STRUCTURAL INFORMATION CONTAINED IN BOTH	STRUCTURAL OBSERVATION MEANS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM, FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS, AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED BY SECTION 110, 1705, OR OTHER SECTIONS OF THE INTERNATIONAL BUILDING CODE.
ARCHITECTURAL AND STRUCTURAL DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR METHODS, TECHNIQUES, SEQUENCES OR PRO CONTRACTORS WORK. THE STRUCTURAL ENC AUTHORITY OR ACTUAL AND/OR DIRECT RESPONNE CONDITIONS AT THE SITE AND/OR FOR ANY OF ANY TRADE CONTRACTOR. THE STRUCTURA SUPERVISE, NOTE, CORRECT, OR REPORT ANY THE OWNER CONTRACTORS OR OTHER ENTITIE	ALL SAFETY PRECAUTIONS AND THE DECEDURES REQUIRED TO PERFORM THE SINEER HAS NO OVERALL SUPERVISORY NSIBILITY FOR THE SPECIFIC WORKING HAZARDS RESULTING FROM THE ACTIONS AL ENGINEER HAS NO DUTY TO INSPECT, (HEALTH OR SAFETY DEFICIENCIES TO TS OR PERSONS AT THE PROJECT SITE	THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, TO PERFORM STRUCTURAL OBSERVATION. OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR, AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.
CONTRACTOR SHALL PROVIDE TEMPORARY STRUCTURAL COMPONENTS UNTIL ALL FINAL ACCORDANCE WITH THE PLANS. CONFORM	BRACING FOR THE STRUCTURE AND CONNECTIONS HAVE BEEN COMPLETED IN TO ASCE 37-14 "DESIGN LOADS ON	GEOTECHNICAL 14. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR
STRUCTURES DURING CONSTRUCTION". . CONTRACTOR-INITIATED CHANGES SHALL B ARCHITECT AND STRUCTURAL ENGINEER FOR CONSTRUCTION CHANCES SHOWN ON SHOP DR	E SUBMITTED IN WRITING TO THE APPROVAL PRIOR TO FABRICATION OR AWINCS ONLY WILL NOT SATISFY THIS	APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN. FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH AT LEAST 18" BELOW ADJACENT
. DRAWINGS INDICATE GENERAL AND TYPICAL CONDITIONS ARE NOT SPECIFICALLY INDICAT	DETAILS OF CONSTRUCTION. WHERE ED BUT ARE OF SIMILAR CHARACTER TO	COLUMNS OR WALLS ABOVE. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING, GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE.
DETAILS SHOWN, SIMILAR DETAILS OF CONS REVIEW AND APPROVAL BY THE ARCHITECT TYPICAL NOTES AND DETAILS SHOWN ON DE OTHERWISE. TYPICAL DETAILS MAY NOT NEC	RUCTION SHALL BE USED, SUBJECT TO AND THE STRUCTURAL ENGINEER. ALL RAWINGS SHALL APPLY, UNLESS NOTED ESSARILY BE INDICATED ON THE PLANS	Allowable soil pressure
BUT SHALL STILL APPLY AS SHOWN OR DESCR DETAILS ARE NOTED ON THE PLANS, THE USED. WHERE NO TYPICAL DETAIL IS NOT RESPONSIBILITY TO CHOOSE THE APPROPH PROVIDED OR REQUEST ADDITIONAL INFORMAT ALL PROPOSED ALTERNATE TYPICAL DETAIL CALCULATIONS TO THE ENGINEER FOR APPROVA AND FIELD USE.	IBED IN THE DETAILS. WHERE TYPICAL SPECIFIED TYPICAL DETAIL SHALL BE TED, IT SHALL BE THE CONTRACTOR'S RIATE TYPICAL DETAIL FROM THOSE TION. THE CONTRACTOR SHALL SUBMIT S TO THOSE PROVIDED WITH RELATED AL PRIOR TO SHOP DRAWING PRODUCTION	15. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
SHOP DRAWINGS FOR THE FOLLOWING ITEMS S AND STRUCTURAL ENGINEER FOR REVIEW PRIOF REINFORCING STEEL (FOR BOTH CONCRETE AND	HALL BE SUBMITTED TO THE ARCHITECT R TO FABRICATION OF THESE ITEMS. D MASONRY CONSTRUCTION)	16. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE
CONTRACTOR SHALL SUBMIT WALL ELEVATION D SCALE INDICATING LOCATIONS OF CONNECTION REVIEW PRIOR TO CONSTRUCTION. CONTRACTO DRAWINGS WITH REINFORCEMENT SHOP DRAWING	DRAWINGS OF AT LEAST 1/8" = 1'-0" N EMBEDMENT'S AND WALL OPENINGS FOR DR SHALL COORDINATE WALL ELEVATION GS.	EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS. 17. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.
APPROVED SETS OF ALL SHOP DRAWINGS SHALL DEPARTMENT.	ALSO BE SUBMITTED TO THE BUILDING	A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE
D. SHOP DRAWING REVIEW: DIMENSIONS AND C ENGINEER OF RECORD, THEREFORE MUST CONTRACTOR SHALL REVIEW AND STAMP DRAWI RECORD. CONTRACTOR SHALL REVIEW DRAWIN METHODS, TECHNIQUES, SEQUENCES AND OPP SAFETY PRECAUTIONS AND PROGRAMS INCID	UANTITIES ARE NOT REVIEWED BY THE BE VERIFIED BY THE CONTRACTOR. NGS PRIOR TO REVIEW BY ENGINEER OF IGS FOR CONFORMANCE WITH THE MEANS, ERATIONS OF CONSTRUCTION, AND ALL ENTAL THERETO. SUBMITTALS SHALL	 B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS. C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING. D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.
INCLUDE A REPRODUCIBLE AND ONE COPY; RETURNED WITHIN TWO WEEKS OF RECEIPT W SUBMITTAL HAS BEEN FOUND TO BE IN GENE THE BUILDING. THE SUBMITTED ITEMS SHALL BEEN APPROVED BY THE BUILDING OFFICIAL.	REPRODUCIBLE WILL BE MARKED AND ITH A NOTATION INDICATING THAT THE RAL CONFORMANCE WITH THE DESIGN OF NOT BE INSTALLED UNTIL THEY HAVE	18. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.
SHOP DRAWING SUBMITTALS PROCESSED BY T THE PURPOSE OF SHOP DRAWING SUBMITTALS F TO THE ENGINEER THAT THE CONTRACTOR U INDICATING WHICH MATERIAL IS INTENDED TO DETAILING THE INTENDED FABRICATION DEVIATIONS, DISCREPANCIES, OR CONFLICT AND THE CONTRACT DOCUMENTS ARE DISCOVE DRAWING SUBMITTALS ARE PROCESSED BY THE SPECIFICATIONS SHALL CONTROL AND SHALL E	HE ENGINEER ARE NOT CHANGE ORDERS. BY THE CONTRACTOR IS TO DEMONSTRATE NDERSTANDS THE DESIGN CONCEPT, BY D BE FURNISHED AND INSTALLED AND BY AND INSTALLATION METHODS. IF S BETWEEN SHOP DRAWING SUBMITTALS RED EITHER PRIOR TO OR AFTER SHOP ENGINEER, THE DESIGN DRAWINGS AND BE FOLLOWED.	
1. SHOP DRAWINGS OF DESIGN BUILD COMPONE COLD FORM STEEL FRAMING, TEMPORARY SHOR FRAMES, PREFABRICATED STAIR SYSTEMS, EX SYSTEMS SHALL BE STAMPED AND SIGNED BY THE STATE OF WASHINGTON. SHOP DRAWINGS DESIGNER PRIOR TO REVIEW OF THE ARCH GENERAL CONFORMANCE WITH THE DESIGN DESIGNER IS RESPONSIBLE FOR CODE CONFORM NOT SPECIFICALLY CALLED OUT ON ARCHITEC DRAWINGS SHALL INDICATE MAGNITUDE AND BASIC STRUCTURE. DESIGN CALCULATIONS	NTS INCLUDING CANOPIES, BALCONIES, ING, CURTAIN WALL SYSTEMS, SKYLIGHT TERIOR CLADDING, AND PRE-ENGINEERED A STRUCTURAL ENGINEER LICENSED IN SHALL BE APPROVED BY THE COMPONENT HITECT OR ENGINEER OF RECORD FOR OF THE BUILDING. THE COMPONENT MANCE AND ALL NECESSARY CONNECTIONS TURAL OR STRUCTURAL DRAWINGS. SHOP DIRECTION OF ALL LOADS IMPOSED ON SHALL BE SUBMITTED WITH THE SHOP	

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GEOTECHNICAL

RENOVATION

9.	CONCRETE SHALL BE MIXED, WITH ACI 301. STRENGTHS AT	PROPORTIONED, 28 DAYS AND	CONVEYED MIX CRITE) AND PLA RIA SHALL	CED IN . BE AS	ACCORDANCE FOLLOWS:	
	MEMBER TYPE/CONSTRUCTION	STRENGTH F'C	TEST AGE	MAX AGG	MAX W/C	AIR CONT.	
	SLABS ON GRADE	-PSI- 4000	-DAYS- 28	-INCH- 1	RÁTIO . 45	5	
	FOOTINGS	4000	28	1	. 50		

CONCRETE

MIX DESIGN NOTES:

ALL STRUCTURAL CONCRETE, UNO 3000

A. MAXIMUM SHRINKAGE IN ALL 5000 PSI MIXES SHALL BE LIMITED TO .04 PERCENT IN 28 DAYS AS TESTED IN ACCORDANCE WITH ASTM C157 MODIFIED STANDARD TEST METHOD FOR LENGTH CHANGE OF CEMENT MORTAR AND CONCRETE.

28 1 .50 --

- B. W/C RATIO: WATER-CEMENTITIOUS MATERIAL RATIOS SHALL BE BASED ON THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS. RATIOS NOT NOTED IN TABLE ABOVE ARE CONTROLLED BY STRENGTH REQUIREMENTS
- CEMENTITIOUS CONTENT: THE USE OF FLY ASH, OTHER POZZOLANS, SILICA FUME, OR SLAG SHALL CONFORM TO ACI 301 SEC 4.2.2.8.B. FOR CONCRETE USED IN ELEVATED FLOORS, PORTLAND CEMENT CONTENT SHALL CONFORM TO ACI 301 SEC 4. 2. 2. 1. ACCEPTANCE OF LOWER CEMENT CONTENT IS CONTINGENT ON PROVIDING SUPPORTING DATA TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
- D. AIR CONTENT SHALL CONFORM TO ACI 301 SEC 4.2.2.4. HORIZONTAL EXTERIOR SURFACES IN CONTACT WITH THE SOIL REQUIRE ENTRAINED AIR. USE "MODERATE EXPOSURE". VERTICAL EXTERIOR SURFACES REQUIRE "MODERATE EXPOSURE" TOLERANCE IS +/- 1.5 PERCENT. AIR CONTENT SHALL BE MEASURED AT POINT OF PLACEMENT.
- E. SLUMP SHALL CONFORM TO ACI 301 SEC 4.2.2. SLUMP SHALL BE DETERMINED AT THE POINT OF PLACEMENT. CHLORIDE CONTENT SHALL CONFORM TO ACI 301 SEC 4.2.2.6 AND TABLE 4.2.2.6
- FOR "OTHER REINFORCED CONCRETE CONSTRUCTION".
- 20. A CONCRETE PERFORMANCE MIX SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH ACI 318-14, SECTIONS 26.4.3 AND 26.4.4. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- 21. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260. C494. AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318–14, TABLE 19. 3. 2. 1 MODERATE EXPOSURE, F1.
- 22. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1). GRADE 60, FY = 60,000 PSI.
- 23. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-14. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

- 24. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) . . . 2 FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER). . 1-1/2" SLABS AND WALLS (INT. FACE). . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"
- 25. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6″ WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN

- 26. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.
- 27. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000 PSI MINIMUM).

ANCHORAGE

- 28. EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917 FOR CONCRETE, AND ESR-3785 FOR MASONRY, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.
- 29. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-HY 200" AS MANUFACTURED BY HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3187. BASE MATERIAL TEMPERATURE SHALL BE BETWEEN 14 DEGREES AND 104 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. OVERHEAD INSTALLATIONS REQUIRE THE USE OF PISTON PLUGS (HIT-SZ, -IP) DURING INJECTION. OVERHEAD ANCHORS OR BARS MUST BE SUPPORTED WITH HIT-OWH, OR EQUIVALENT, UNTIL FULLY CURED. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

ICE	30. FRAMING L CONFORMAN LUMBER, FURNISH T	UMBER SHALL BE S-DRY, K CE WITH WCLIB STANDARD 2018, OR WWPA STANDARD, D THE FOLLOWING MINIMUM S	D, OR MC-19, AND GRADED AND MARKED IN No. 17, GRADING RULES FOR WEST COAST , WESTERN LUMBER GRADING RULES 2017. TANDARDS:
	JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
		(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
ENT ARD	BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
THE	POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI

(6X AND LARGER) DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI

DOUGLAS FIR-LARCH NO. 2 STUDS, PLATES & MISC. FRAMING: OR HEM-FIR NO. 2

31. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS) LSL (1.55E)

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

LIEU OF PLYWOOD.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

33. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

34. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

35. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT HAS NO AMMONIA CA CONTAINS AMMONIA

CONTAINS AMMONIA CONTAINS AMMONIA AZCA

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19%. WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19%. CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

36. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2019. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS. PLACE ONE-HALE OF THE NATIS OR BOLTS IN EACH MEMBER.

MEMBERS CONNECTED.

WOOD

Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI LVL (2.0E-2600FB WS) Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

32. PLYWOOD SHEATHING SHALL BE GRADE C-D. EXTERIOR GLUE OR STRUCTURAL II EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1 OR PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

	CONDITION	PROTECTION
RRIER	INTERIOR DRY	G90 GALVANIZED
CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR
		CONTINUOUS HOT-GALVANIZED
		PER ASTM A653
CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CARRIER	EXTERIOR	TYPE 304 OR 316 STAINLESS
	ANY	TYPE 304 OR 316 STAINESS

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS

37. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

LENGTH	DIAMETER
2-1/2"	0. 131"
3"	0. 148"
3-1/2"	0. 135"
	LENGTH 2-1/2" 3" 3-1/2"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

38. NOTCHES AND HOLES IN WOOD FRAMING:

- A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST. AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
- B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.
- C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.
- 39. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PL ANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.1. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-O" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES) AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

Plan Notes

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- 3. 6" CONCRETE SLAB OVER 10 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH #4 BARS @18" ON CENTER EACH WAY, UNLESS NOTED OTHERWISE. PROVIDE CONSTRUCTION/CONTROL JOINTS PER DETAIL 19/S3.1.
- 4. PROVIDE CORNER BARS PER DETAIL 10/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
- 5. PROVIDE EPOXY GROUTED #4 X 2'-6" DOWELS EMBEDDED A MINIMUM OF 6" IN TO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
- 6. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- 7. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

(E) STRUCTURAL WALL NEW CONCRETE WALL

NEW SLAB ON GRADE

20/S5.1

19/SA

Plan Notes

- 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- 2. MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- 3. PROVIDE TYPICAL MECHANICAL CURB PER 5/S4.1.
- 4. REFER TO DETAILS 1&2/S4.1 FOR TYPICAL ROOF REPAIR.
- NEW ROOF SHEATHING SHALL BE MIN. 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6"O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- 6. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

[]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]]	EXISTING WALL OR POST BELOW
	(E) STRUCTURAL WALL
<u>````</u>	SPAN DIRECTION
\longleftrightarrow	EXTENT OF JOISTS
	HEADER/BEAM PER PLAN
	EXISTING HEADER/BEAM
	BLOCKING PER 10/S4.1



















ON ALL PRODUCTION WALLS, T PANELS TO BE SMOOTH, CLEAN & NON-ABSORBENT.	YP. IABLE	
- (E) COLUMN W/ NEW METAL PANEL CLADDING		(E) COLUMN W/ NEW PAINT

METAL PANEL CLADDING



PRODUCTION LOOKING NORTH









CAFE LOOKING EAST AT COUNTER







CAFE LOOKING WEST





CAFE - STAINLESS STEEL COUNTERTOPS



CAFE FLOOR - WOOD TO MATCH EXISTING





CAFE CASEWORK - WOOD W/ WOOD COUNTERTOP









CAFE - WOOD COUNTERTOPS



CAFE WALL - WOOD PANEL STAIN TO MATCH EXISTING

=



EXTERIOR PAINT - TRIM MATCH EXISTING 2

PRODUCTION EQUIPMENT - STAINLESS STEEL

STAIN TO MATCH EXISTING

CAFE WALL - WOOD TRIM STAIN TO MATCH EXISTING

EXTERIOR PAINT - COLUMN ACCENTS MATCH EXISTING (2



CAFE CASEWORK - WOOD W/ WOOD COUNTERTOP STAIN TO MATCH EXISTING



CAFE WALLS - INTERIOR PAINT MATCH EXISTING 5



EXTERIOR PAINT - FIELD MATCH EXISTING









EXISTING NORTH ELEVATION (3)

EXISTING SOUTH ELEVATION (

1

EXISTING WEST ELEVATION







PRODUCTION LOOKING EAST FROM PIKE PLACE (6)





CAFE LOOKING SOUTH



PRODUCTION LOOKING NORTH FROM PINE STREET



CAFE LOOKING WEST

2



CAFE LOOKING EAST



CAFE LOOKING NORTH











APPLICABLE CONTACT SURFACES ON VAT ARE CONTINUOUSLY WELDED, GROUND & POLISHED TO 32RA OR BETTER, 3A COMPLIANT

AGITATION TO BE SUPPLIED BY OTHERS

EST. 1849	UNLESS OTHERWISE SPECIFIED:		15401		F
STAINLESS PRODUCTS	DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL: ±1/16		1001		L
820 WEST STREET (920) 261-4112 WATERTOWN WI, 53094 www.KuselEquipment.com	ANGULAR: MCH±.5° BEND +1.5°	REV		DWG. NO.	
PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KUSEL EQUIPMENT COMPANY. ANY REPRODUCTION	.XX - ±.01 .XXX - ±.005	-	110	-00-000 APPROVAL	
IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KUSEL EQUIPMENT COMPANY IS PROHIBITED.	SCALE DRAWING	WEIGH	IT: N/A	DRAWN BY: NH	DATE: 9/23/2022
					SHEET 1 OF 1







BEECHERS CHEESE - TENANT IMPROVEMENT 1600 PIKE PLACE - SEATTLE WA, 98101

SCOPE OF WORK

INSTALL NEW HVAC EQUIPMENT TO CONDITION AND VENTILATE RETAIL AREA (CAFE) AND BACK OF HOUSE AREA.

INSTALL TWO COMMERCIAL TYPE II HOODS AND THE ASSOCIATED EXHAUST FANS FOR DISHWASHING EQUIPMENT AND COP TANK.

INSTALL EXHAUST FAN TO EXHAUST PASTEURIZING ROOM.

INSTALL INDOOR AND OUTDOOR EQUIPMENT FOR CAFE WALK IN COOLER AS WELL AS PRODUCTION WALK IN COOLER.

INSTALL EQUIPMENT TO PROVIDE/MAINTAIN CONSTANT POSITIVE PRESSURE TO PRODUCTION AREA. INSTALL EQUIPMENT TO PROVIDE & MAINTAIN POSITIVE PRESSURE TO PACKAGING AREA RELATIVE TO THE REST OF PRODUCTION AREA.

INSTALL ONE ELECTRONIC UNIT HEATER TO PROVIDE BACK-UP FREEZE PROTECTION TO PRODUCTION AREA.

GENERA

- 1. PROJECT SHALL COMPLY WITH 201
- 2. CLOSE-OUT DOCUMENTS AT COMPL DRAWINGS AND AIR BALANCE REPO
- MAXIMUM OF 6' FLEX DUCT FOR EA
 DUCT CONSTRUCTION AND GAUGE F
- 5. DUCT SHALL BE SUPPORTED PER S
- 6. DUCT SHALL BE INSULATED PER SN
- ALL FANS SHALL BE CONSTANT VO
 REFRIGERATION PIPING IS COPPER
- WITH SECTION 1107.5 OF 2018 S.M.C.

SEATTLE ENERGY CODE COMPLIANCE

<u>RETAIL AREA</u>

C403.1 – GENERAL

- TOTAL SYSTEM PERFORMANCE RATIO NOT REQUIRED PER C403.1.1, EXCEPTION 1, CONDITIONED AREA IS LESS THAN 5000 SQ FT.
- EQUIPMENT SIZED IN COMPLIANCE WITH C403.1.2

C403.3 – EQUIPMENT PERFORMANCE REQUIREMENTS

• EQUIPMENT PERFORMANCE COMPLIES WITH TABLE C403.3.2(1)

• DOAS IS PROVIDED PER C403.3.5

C403.5 - ECONOMIZERS

• ECONOMIZER NOT REQUIRED PER EXCEPTION 1

COMPLETION & COMMISSIONING

PER SEATTLE ENERGY CODE (SEC) SECTION C408 (INCLUSIVE OF ALL SUBSECTIONS):

RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER WITHIN 90 DAYS OF THE DATE OF SYSTEM ACCEPTANCE. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER. ALL HVAC SYSTEMS SHALL BE BALANCED AND A WRITTEN BALANCE REPORT SHALL BE PROVIDED TO THE OWNER.

FOR WAREHOUSE, SEMI-HEATED, AND SIMPLE SYSTEMS (AS DEFINED IN SEC):

HVAC CONTROL SYSTEMS SHALL BE TESTED, CALIBRATED, AND ADJUSTED. SEQUENCE OF OPERATION SHALL BE TESTED TO ENSURE THAT THEY OPERATE IN ACCORDANCE WITH THE SPECIFICATIONS AND APPROVED PLANS. A COMPLETE REPORT OF TEST PROCEDURES AND RESULTS SHALL BE FILED WITH THE OWNER

FOR ALL OTHER SYSTEMS, HVAC CONTROL SYSTEMS SHALL BE TESTED, CALIBRATED, AND ADJUSTED. SEQUENCES OF OPERATION SHALL BE TESTED TO ENSURE THAT THEY OPERATE IN ACCORDANCE WITH SPECIFICATIONS AND APPROVED PLANS. A PRELIMINARY COMMISSIONING REPORT OF TEST PROCEDURES AND RESULTS SHALL BE PREPARED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY. A COMPLETE FINAL COMMISSIONING REPORT OF TEST PROCEDURES AND RESULTS SHALL BE FILED WITH THE OWNER.

L NOTES
8 SMC AND 2018 SEC LETION OF PROJECT, INCLUDING AS-BUIL ORT SHALL BE PROVIDED ACH SUPPLY/RETURN AIR GRILL PER SMC SECTION 603 SMC SECTION 603.10 MC 604 OLUME TUBING TYPE ACR, TYPE I, IN COMPLIAN

DR	AWING INDEX					
SHEET	DESCRIPTION					
M-1	COVER PAGE					
M-2	SITE PLAN					
M-3	MAIN FLOOR HVAC					
M-4	ROOF HVAC PLAN					
M-5	EQUIPMENT SCHEDULES					
M-6	ELEVATIONS					
S-1	STRUCTURAL					
S-2	STRUCTURAL					





MECHANICAL LEGEND

MARK	DESCRIPTION
	SUPPLY AIR GRILLE
	EXHAUST AIR GRILLE
	GALVANIZED SUPPLY AIR DUCTING
	GALVANIZED EXHAUST AIR DUCTING
	STAINLESS STEEL AIR DUCTING
	ALUMINIUM AIR DUCTING
	REFRIGERATION LINE
	DRAIN PIPE
	VOLUME DAMPER
()	THERMOSTAT
C	ERV COTROLLER
M	MOTORIZED DAMPER







SCALE: 1/4'' = 1'-0''









								[EQUI	PI	ИE	\mathbb{N}	TSC)HE	DUI			
MARK	MFR	MODEL	HE A input	TING output	COOL	_ING tons	C F osa	- M TOTAL	ESP El	_EC _Ph	TRIC MCA	A L HP	- WT	AFUE	SEER	IPLV	dB	DESCRIPTION
CU-1	DAIKIN	RXTQ60TAVJU		60.0K	51. OK	1.5 -	-	-	- 208	8 1	29.1	-	225 LBS	-	15 5	-	57	VRV SPLIT SYSTEM HEAT PUMP OUTDOOR UNIT ^{8,9}
AH-1	DAIKIN	FXTQ54TAVJU	_	00.01	J4.0N	4.J	-	1800	.90" WC 208	8 1	8.6	-	167 LBS		ر.ر۱		/	VRV SPLIT SYSTEM HEAT PUMP DUCTED MULTIPOSITION INDOOR UNIT ^{1,8}
CU-2	DAIKIN	RXTQ36TAVJU	-	37.0K	34.2K	3.0	-	-	- 208	8 1	16.5	-	172 LBS		18.0		58	VRV SPLIT SYSTEM HEAT PUMP OUTDOOR UNIT 9
AH-2.1/2.3	B DAIKIN	FXAQ07PVJU	-	8.5K	7.5K	0.5	-	-	- 208	8 1	0.4	-	26 LBS				36	VRV SPLIT SYSTEM HEAT PUMP WALL MOUNTED INDOOR UNIT ¹
AH-2.4	DAIKIN	FXAQ09PVJU	-	10.5K	9.5K	0.75	-	-	- 208	8 1	0.4	-	26 LBS				37	VRV SPLIT SYSTEM HEAT PUMP WALL MOUNTED INDOOR UNIT ¹
AH-2.5	DAIKIN	FXAQ12PVJU	-	13.5K	12.0K	1.0	-	-	- 208	8 1	0.4	-	26 LBS				38	VRV SPLIT SYSTEM HEAT PUMP WALL MOUNTED INDOOR UNIT ¹
ERV-1	DAIKIN	VAM600GVJU	-	-	-	-	600	600	.75" WC 208	8 1	4.2	-	148 LBS				40	ENERGY RECOVERY VENTILATOR WITH 60% ENTHALPY RECOVERY 2,9
ERV-2	ALDES	E130-HR-M	-	-	-	_	130	130	.25" WC 120) 1	1.6	-	41LBS				41	ENERGY RECOVERY VENTILATOR WITH 60% ENTHALPY RECOVERY ⁹
H-1	CAPTIVEAIRE	5418 VHB-G	-	-	-	_	-	-		-	-	-	261 LBS				-	TYPE II 12'X4.5' HOOD - TO EXHAUST CLEANING OUT OF PLACE EQUIPMENT
EF-1	CAPTIVEAIRE	SIF15DD-SS	-	-	-	_	-	2100	.75" WC 115	1	-	1.0	216 LBS				65	EXHAUST FAN FOR CLEANING OUT OF PLACE TANK - CONNECTED TO H-1 ^{3,5}
H-2	CAPTIVEAIRE	4818 VHB-G	-	_	-	-	-	-		-	-	-	217 LBS				_	TYPE II 10'X4' HOOD - TO EXHAUST DISHWASHING EQUIPMENT
EF-2	CAPTIVEAIRE	SIF15DD-SS	-	_	-	-	-	1750	.75" WC 115	1	-	1.0	216 LBS				63	EXHAUST FAN FOR DISHWASHER - CONNECTED TO H-2 3,4
EF-3	CAPTIVEAIRE	SIF11DD-SS	-	_	-	-	-	1000	.25" WC 115	1	-	0.5	146 LBS				64	EXHAUST FAN FOR PASTEURIZER ROOM ^{3,5}
CU-3/5	DAIKIN	RXYQ96TTJU				0	-	-	- 208	8 3	36.3	-	525 LBS	-	22.7	-	61	MAKE UP AIR CONDENSERS - PRODUCTION AREA 9
AH-3/5	DAIKIN	FXMQ96MFVJU		59.UK	90.UK	0	-	1236	1.03" WC 208	8 1	4.1	-	271 LBS		ΖΖ.Ι		47	OUTSIDE AIR PROCESSING DUCTED INDOOR UNITS - PRODUCTION AREA 1,6,7
CU-6	DAIKIN	RXYQ96TTJU				0	-	-	- 208	8 3	36.3	-	525 LBS	-	22.7	-	61	MAKE UP AIR CONDENSER – PACKAGING AREA 9
AH-6	DAIKIN	FXMQ96MFVJU		59.UK	90.UK	ð	-	1236	1.03" WC 208	8 1	4.1	-	271 LBS		ΖΖ.Ι		47	OUTSIDE AIR PROCESSING DUCTED INDOOR UNIT – PACKAGING AREA ^{1,6,7}
UH-1	KING	KB4815-3MP-P	15 K W	51.2 K	-	_	-	925	- 48	0 3	18.1	-	46.5 LBS				-	ELECTRONIC UNIT HEATER 9
RTH-1	BROMIC	BH0420030	2 KW	-	-	_	-	-	- 208	8 1	8.3	-	-				-	RADIANT TUBE HEATER HEATER – MAN DOOR ^{8,9}
RTH-2	BROMIC	BH0420035	6 KW	-	-	_	-	-	- 208	8 1	28.8	5 -	-				-	RADIANT TUBE HEATER HEATER – GARAGE DOOR ^{8,9}
CU-7	RUSSEL	RF0250E4SEA			15.47K		-	-	- 208	8 3	27.4	-	230 LBS	-		-	72	SPLIT SYSTEM COOLING ONLY OUTDOOR UNIT - CAFE WALK IN COOLER
AH-7	RUSSEL	RL6E066DDA	-	_	8.2K	-	-	1600	- 208	8 1	15	-	52 LBS				-	SPLIT SYSTEM INDOOR UNIT - CAFE WALK IN COOLER ¹
CU-8	RUSSEL	RF0350E4SEA			23.99K		-	-	- 208	8 3	33.5	-	325 LBS	-		-	72	SPLIT SYSTEM COOLING ONLY OUTDOOR UNIT-PRODUCTION WALK IN COOLEF
AH-8	RUSSEL	RL6E182DDA	-	_	25.01K	-	-	3100	- 208	8 1	19.2	-	147 LBS				-	SPLIT SYSTEM INDOOR UNIT - PRODUCTION WALK IN COOLER 1
NOTES	,		I				-	-						,				

DRAIN PIPING TO BE PROVIDED AND INSTALLED BY PLUMBER. 1.

2. PROVIDED WITH LOW LEAK MOTORIZED DAMPERS ON INTAKE AND EXHAUST OPENINGS INTERLOCKED WITH THE ASSOCIATED EQUIPMENT TO OPEN WHEN OPERATING..

3. PROVIDED WITH LOW LEAK MOTORIZED DAMPER ON EXHAUST OPENING INTERLOCKED WITH THE ASSOCIATED EQUIPMENT TO OPEN WHEN OPERATING. 4. TO BE CONTROLLED BY LOCAL SWITCH AT HOOD – BY ELECTRICIAN

5. TO BE CONTROLLED BY LINE VOLTAGE 60 MINUTE TIMER – PROVIDED/INSTALLED BY OTHERS

6. PROVIDED WITH BUILT-IN DISCHARGE AIR TEMPERATURE SENSOR (BY MANUFACTURER) ON THE SUPPLY SIDE OF AIR HANDLER

7. CONTROLLED BY DIFFERENTIAL PRESSURE SENSORS INSTALLED IN CHANGING ROOM, PACKAGE ROOM, RETAIL, AND PRODUCTION, TIED IN WITH ITM 8. EQUIPMENT SHUT-DOWN/OPERATION CONTROLLED BY DOOR SWITCH ON MAN AND GARAGE DOORS, TIED IN WITH ITM.

9. DAISY CHAINED TO ITM AND EXISTING ROOF TOP PACKAGED UNIT.

	AIR [DEVIC	E SCHEDULE
MARK	MFR	MODEL	DESCRIPTION
SD-1	SHOEMAKER	904 8X6	SIDE WALL SUPPLY DIFFUSER
SD-2	SHOEMAKER	904 20X8	SIDE DUCT SUPPLY DIFFUSER
SD-3	SHOEMAKER	904 18X18	SIDE WALL SUPPLY DIFFUSER
EG-1	SHOEMAKER	905 10X10	SIDE WALL EXHAUST AIR GRILLE
EG-2	SHOEMAKER	600 6X6	SIDE DUCT EXHAUST AIR GRILLE
EG-3	SHOEMAKER	905 16X16	SIDE WALL EXHAUST AIR GRILLE
TG-1	SHOEMAKER	905 16X16	SIDE WALL TRANSFER GRILLE

EQUIPMENT CAPACITY IN TONS C REFRIGERATION	MINIMUM CONDENSATE PIPE DIAMETER
UP TO 20	3/4"
21 TO 40	1"
41 TO 90	1-1/4"
91 TO 125	1-1/2"
126 TO 250	2"

	ONTE	ROLS	SCHEDULE						
MARK	MFR	MODEL	DESCRIPTION						
	DAIKIN	BRC1E72	NEW NAVIGATION CONTROLLER ^{1,2} WITH 7-DAY PROGRAMMABLE THERMOSTAT FUNCTIONS.						
C	DAIKIN	BRC1E72	NEW NAVIGATION CONTROLLER ^{3,4} WITH TIME CLOCK FUNCTIONS.						
ITM	DAIKIN		INTELLIGENT TOUCH MANAGER						
NOTES: 1. CONFIGU 2. EQUIPP	NOTES: 1. CONFIGURED WITH MIN 5 DEGREES FAHRENHEIT DEADBAND. 2. EQUIPPED WITH AUTOMATIC SETBACK AND MANUAL OVERRIDE FUNCTIONS.								
3. USED T 4. PROGRA	O CONTROL E AMMED TO CL	RV-1 PROGRAMM OSE THE MOTORI	IED TO CLOSE THE MOTORIZED ZED DAMPERS DURING UNOCCUPIED						

HOURS.

F	
	SEQUENCE C
	CU-1 & AH-1 - CONTINUOUS OPERATION OCCUPANCY HOURS, TEMPERATURE TO E HEATING SET-UP TEMPERATURE AT 70F 78F. CONTROLS INTERCONNECTED WITH E TO NOT ALLOW FOR SIMULTANEOUS HEA SYSTEMS. SYSTEM TO BE CONNECTED T RESET THE SPACE HEATING TEMPERATU TEMPERATURE TO 85F WHEN THE DOOR C403.4.1.6 OF 2018 SEC.
	CU-2 & AH-2.1/2.5 - CONTINUOUS OPERA TEMPERATURE TO BE CONTROLLED FROM
	ERV-1 - CONTINUOUS OPERATION DURING OF HOUSE AREA.
	ERV-2 - 24/7 CONTINUOUS OPERATION.
	EF-1/H-1 - INTERMITTENT OPERATION CO
	EF-2/H-2 - INTERMITTENT OPERATION C
	EF-3 - INTERMITTENT OPERATION, CONT
	CU-3/5 & AH-3/5 - 24/7/365 OPERATIC TEMPERATURE AND ROOM PRESSURE, TO TO ALL AREAS EXCEPT PACKAGING, AT 72F IN COOLING.
	CU-6 & AH-6 - 24/7/365 OPERATION CO TEMPERATURE AND ROOM PRESSURE, TO TO ALL ADJACENT AREAS, AT A MAX 65 COOLING.
	UH-1 – BACK-UP LOW HEAT, OPERATES DOWN.
	RTH-1/2 - INTERMITTENT OPERATION EN
	CU-7 & AH-7 - CONTINUOUS OPERATION INSIDE WALK-IN COOLER.
	CU-8 & AH-8 - CONTINUOUS OPERATION

OF OPERATION

N SERVING THE RETAIL AREA DURING BE CONTROLLED FROM THEIR THERMOSTAT, F AND COOLING SET-UP TEMPERATURE AT EXISTING ROOFTOP PACKAGED UNIT SUCH AS ATING AND COOLING BETWEEN THE TWO TO DOOR SWITCH AND PROGRAMMED TO URE TO 55F AND THE SPACE COOLING R IS OPEN FOR 5 MINUTES OR MORE, PER

RATION DURING OCCUPANCY HOURS WITH OM THEIR RESPECTIVE THERMOSTATS.

NG OCCUPANCY HOURS FOR CAFE AND BACK

CONTROLLED BY TIMER.

CONTROLLED BY MANUAL ON.OFF SWITCH

TROLLED BY TIMER.

ION CONTROLLED ON DISCHARGE AIR TO MAINTAIN POSITIVE PRESSURE RELATIVE T A MAX 65F IN HEATING AND A MINIMUM OF

ONTROLLED ON DISCHARGE AIR TO MAINTAIN POSITIVE PRESSURE RELATIVE 65F IN HEATING AND A MINIMUM OF 72F IN

WHEN ALL OTHER SYSTEMS ARE SHUT

ENABLED WHEN RETAIL HEATING IS DISABLED.

N CONTROLLED BY REQUIRED TEMPERATURE

N CONTROLLED BY REQUIRED TEMPERATURE









Beechers Submittal Package Rev.3 4-5-2023

Roof Top Equipment

CAFE - System Design Summary

General Requirements

Room Temperature: 34 °F Ambient Temperature: 110 °F Design Run-time: 18 Hrs Required Capacity: 16,352 BTUH

Selected Equipment

Line Item	Quantity	Туре	Тад	Description	
1.0	1	System	CAFE	R-449A/B - Refrigeration Equipment Match 1	
1.1	1	Condensing Unit	CDU-1	RFO250E4SEA	
1.2	2	Unit Cooler	UC-1	RL6E066DDA	

System Balance

Balanced Capacity: 16,395.2 BTUH Evap. T.D.: 9.	3°F Line	e Loss: 2 °F 🛛 S	Suction Temp: 22.7 °F	Calc. Run-Time: 18 Hrs
-------------------------------------------------	----------	-------------------------	-----------------------	------------------------

CAFE - CDU-1 - Product Information

General Data

Model Line: NEXT-GEN MINI-CON	Model Number: RFO250E4SEA	Flooded: Yes	
Refrigerant: R-449A/B	Voltage: 208-230/3/60	Compressor Type: SCROLL	
Performance Data			
Ambient Temp: 110 °F	Suction Temp: 22 °F	Capacity: 15,472 BTUH	
Electrical Data			
Compressor RLA: 12.3	Compressor LRA: 73	Total Condenser Fan FLA: 1	
MCA: 27.4	MOPD: 35		
Physical Data			
Number of Compressors: 1	Compressor Model: ZS19KAE	Compressor HP: 2.5	
Number of Condenser Fans: 2	Approx. Ship Weight 230 lbs	Sound Data: 72 dBA	
Liquid Line: 1/2 in.	Suction Line: 7/8 in.		
Pump Down Capacity (%): 90	Pump Down Capacity: 14.3 lbs		

Option Data

Mounted Option	NO STANDARD AIR DEFROST TIMER
Mounted Option	LIQUID LINE WITH COMPONENTS: SEALED FILTER & SIGHT GLASS
Mounted Option	STANDARD RECEIVER
Mounted Option	FIXED HIGH/ADJUSTABLE LOW PRESSURE CONTROL
Warranty Option	EXTENDED COMPRESSOR WARRANTY (4 YEAR) - SCROLL

Compliance Data

AWEF: 7.60			
AWEF: 7.60			

Notes

Dimensional Drawing



Standard Features

- All-weather Galvanized steel painted housing
- Generously sized high efficiency condenser, enhanced copper tubes/aluminum fins
- Integral Liquid Subcooling Circuit provides subcooled liquid to the expansion device
- · Crankcase heater
- Large electrical panel with hinged/removable door
- · Color coded point-to-point wiring

- · Quick access to shut off valves from exterior
- UL/cUL certified for use with multiple refrigerants
- UL/cUL listed for outdoor use
- Flooded models include flooded head pressure control
- Non flooded models include mild ambient fan cycle control

Certifications



PRODUCTION - System Design Summary

General Requirements

Room Temperature: **34** °F Ambient Temperature: **110** °F Design Run-time: **18 Hrs** Required Capacity: **26,133** BTUH

Selected Equipment

Line Item	Quantity	Туре	Tag	Description
2.0	1	System	PRODUCT ION	R-449A/B - Refrigeration Equipment Match 2
2.1	1	Condensing Unit	CDU-2	RFO350E4SEA
2.2	1	Unit Cooler	UC-2	RL6E182DDA

System Balance

Balanced Capacity: 25,011.4 BTUH Evap. T.D.: 10.2 °F Line Loss: 2 °F Suction Temp: 21.8 °F Calc. Run-Time: 18.8 Hrs

PRODUCTION - CDU-2 - Product Information

General Data

Model Number: RFO350E4SEA	Flooded: Yes			
Voltage: 208-230/3/60	Compressor Type: SCROLL			
Performance Data				
	Model Number: RFO350E4SEA Voltage: 208-230/3/60			

Ambient Temp: 110 °F	Suction Temp: 22 °F	Capacity: 23,994 BTUH

Electrical Data

Compressor RLA: 13.9	Compressor LRA: 93	Total Condenser Fan FLA: 3.1
MCA: 33.5	MOPD: 45	

Physical Data

Number of Compressors: 1	Compressor Model: ZS26KAE	Compressor HP: 3.5
Number of Condenser Fans: 1	Approx. Ship Weight: 325 lbs	Sound Data: 72 dBA
Liquid Line: 5/8 in.	Suction Line: 1 1/8 in.	
Pump Down Capacity (%): 90	Pump Down Capacity: 29.4 lbs	

Option Data

Mounted Option	NO STANDARD AIR DEFROST TIMER
Mounted Option	LIQUID LINE WITH COMPONENTS: SEALED FILTER & SIGHT GLASS
Mounted Option	STANDARD RECEIVER
Mounted Option	FIXED HIGH/ADJUSTABLE LOW PRESSURE CONTROL
Warranty Option	EXTENDED COMPRESSOR WARRANTY (4 YEAR) - SCROLL

Compliance Data

Notes

Dimensional Drawing



Standard Features

- All-weather Galvanized steel painted housing
- Generously sized high efficiency condenser, enhanced copper tubes/aluminum fins
- Integral Liquid Subcooling Circuit provides subcooled liquid to the expansion device
- · Crankcase heater
- · Large electrical panel with hinged/removable door
- · Color coded point-to-point wiring

- · Quick access to shut off valves from exterior
- · UL/cUL certified for use with multiple refrigerants
- UL/cUL listed for outdoor use
- Flooded models include flooded head pressure control
- Non flooded models include mild ambient fan cycle control

Certifications





BOH Condenser (1 unit)

Submittal Data Sheet

3 Ton VRV-IV S Heat Pump Unit RXTQ36TAVJU

FEATURES

- Variable Refrigerant Temperature (VRT) technology allows VRV IV S series to deliver improved efficiencies and year round comfort
- Improved efficiencies with SEER values up to 18.0 and HSPF values up to 10.0
- Engineered with highly reliable Daikin Swing compressors
- ٠ All inverter compressors to increase efficiency and avoid starting current rush
- Can provide heating down to -4°F
- Added safety with optional auto changeover to auxiliary heat .
- Easier installation with over 60% weight reduction compared to VRV III S

BENEFITS

- . Single-phase technology enables installation in light commercial and residential applications
- Broader diversity with up to 10 indoor units connectivity
- Space saving compact design
- Design flexibility with long piping lengths up to 984ft total and 49ft vertical separation between indoor units ٠
- Designed with reduced MOP to optimize installation costs
- Backed by best in class 10-years Parts Limited Warranty and 10-years Replacement Compressor Limited Warranty*





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3 Ton VRV-IV S Heat Pump Unit RXTQ36TAVJU

PERFORMANCE			
Outdoor Unit Model No.	RXTQ36TAVJU	Outdoor Unit Name:	3 Ton VRV-IV S Heat Pump Unit
Туре:	Heat Pump		
Rated Cooling Conditions:	Indoor (°F DB/DB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):	25		
Rated Height Difference (ft):			
Rated Cooling Capacity (Btu/hr):	34,200	Rated Heating Capacity (Btu/hr):	37,000
Cooling Input Power (kW):	3.13	Heating Input Power (kW):	3.12
EER (Non-Ducted/Ducted):	12.00 / 9.70	Heating COP (Non-Ducted/Ducted):	Ι
SEER (Non-Ducted/Ducted):	18.00 / 15.50	HSPF (Non-Ducted/Ducted):	10.3 / 9.0
Max/Min Cooling Capacity (Btu/hr):	1	Max/Min Heating Capacity (Btu/hr):	

OUTDOOR UNIT DETAILS			
Power Supply (V/Hz/Ph):	208-230 / 60 / 1	Compressor Type:	Inverter
Power Supply Connections:		Capacity Control Range (%):	14 - 100
Min. Circuit Amps MCA (A):	16.50	Airflow Rate (H) (CFM):	2,682
Max Overcurrent Protection (MOP) (A):	25.00	Gas Pipe Connection (inch):	5/8
Max Starting Current MSC(A):		Liquid Pipe Connection (inch):	3/8
Rated Load Amps RLA(A):	15.3	Sound Pressure (H) (dBA):	58
Dimensions (HxWxD) (in):	39.00 x 37.00 x 12-5/8	Sound Power Level (dBA):	75
Net Weight (Ib):	172		

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3 Ton VRV-IV S Heat Pump Unit RXTQ36TAVJU

SYSTEM DETAILS			
Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	6.4	Heating Operation Range (°F WB):	-4 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	98
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	820	Heating Range w/Baffle (°F WB):	-

Max Height Separation (Ind to Ind ft):

DIMENSIONAL DRAWING





Daikin City Generated Submittal Data

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5 Ton VRV-IV S Heat Pump Unit RXTQ60TAVJU

FEATURES

- Variable Refrigerant Temperature (VRT) technology allows VRV IV S series to deliver improved efficiencies and year round comfort
- Improved efficiencies with SEER values up to 18.0 and HSPF values up to 10.0
- Engineered with highly reliable Daikin Swing compressors
- ٠ All inverter compressors to increase efficiency and avoid starting current rush
- Can provide heating down to -4°F
- Added safety with optional auto changeover to auxiliary heat
- Easier installation with over 60% weight reduction compared to VRV III S

BENEFITS

- . Single-phase technology enables installation in light commercial and residential applications
- Broader diversity with up to 10 indoor units connectivity
- Space saving compact design
- Design flexibility with long piping lengths up to 984ft total and 49ft vertical separation between indoor units ۰
- Designed with reduced MOP to optimize installation costs
- Backed by best in class 10-years Parts Limited Warranty and 10-years Replacement Compressor Limited Warranty*





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5 Ton VRV-IV S Heat Pump Unit RXTQ60TAVJU

PERFORMANCE			
Outdoor Unit Model No.	RXTQ60TAVJU	Outdoor Unit Name:	5 Ton VRV-IV S Heat Pump Unit
Туре:	Heat Pump		
Rated Cooling Conditions:	Indoor (°F DB/DB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):			
Rated Height Difference (ft):			
Rated Cooling Capacity (Btu/hr):	57,000	Rated Heating Capacity (Btu/hr):	57,000
Cooling Input Power (kW):	5.82	Heating Input Power (kW):	4.18
EER (Non-Ducted/Ducted):	9.80 / 9.20	Heating COP (Non-Ducted/Ducted):	Ι
SEER (Non-Ducted/Ducted):	18.00 / 15.50	HSPF (Non-Ducted/Ducted):	10.2 / 10.5
Max/Min Cooling Capacity (Btu/hr):	1	Max/Min Heating Capacity (Btu/hr):	

OUTDOOR UNIT DETAILS			
Power Supply (V/Hz/Ph):	208-230 / 60 / 1	Compressor Type:	Inverter
Power Supply Connections:		Capacity Control Range (%):	14 - 100
Min. Circuit Amps MCA (A):	29.10	Airflow Rate (H) (CFM):	3,741
Max Overcurrent Protection (MOP) (A):	35.00	Gas Pipe Connection (inch):	3/4
Max Starting Current MSC(A):		Liquid Pipe Connection (inch):	3/8
Rated Load Amps RLA(A):	23.2	Sound Pressure (H) (dBA):	57
Dimensions (HxWxD) (in):	52-15/16 x 35-7/16 x 12-5/8	Sound Power Level (dBA):	74
Net Weight (lb):	225		

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5 Ton VRV-IV S Heat Pump Unit RXTQ60TAVJU

SYSTEM DETAILS				
Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122	
Holding Refrigerant Charge (lbs):	7.9	Heating Operation Range (°F WB):	-4 - 60	
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	98	
Pre-charge Piping (Length) (ft):	25	Cooling Range w/Baffle (°F DB):	-	
Max. Pipe Length (Total) (ft):	984	Heating Range w/Baffle (°F WB):	-	
May Height Concration (Ind to Ind ft):				

Max Height Separation (Ind to Ind ft):

DIMENSIONAL DRAWING



Daikin City Generated Submittal Data

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Unit:in.(mm)

Table 7 – PHYSICAL DATA	(COO	LING)	_	3 - 5 TONS
		48KC*A/B04	48KC*A/B05	48KC*A/B06
Refrigeration System # Puron® refrig. (R- Puron® refrig. (R- Humidi – MiZer Puron Humidi – I Humidi – I High- Low- Compres	Circuits / # Comp. / Type -410A) 1 phase (lbs-oz) -410A) 3 phase (lbs-oz) © refrig. charge (lbs - oz) Metering Device (A) MiZer Metering Device (B) -press. Trip / Reset (psig) -press. Trip / Reset (psig) ssor Capacity Staging (%)	1 / 1 / Scroll 7-2 7-2 10-6 Acutrol Acutrol + TXV 630 / 505 54 / 117 100%	1 / 1 / Scroll 10-8 10-8 15-5 Acutrol Acutrol + TXV 630 / 505 54 / 117 100%	1 / 1 / Scroll 16-0 14-8 26-0 Acutrol Acutrol Acutrol + TXV 630 / 505 54 / 117 100%
Retail Package Unit To Remain ne correct submittal for this unit.	(1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	Cu / Al 3/8—in RTPF 3 / 15 5.5 3/4—in	Cu / Al 3/8–in RTPF 3 / 15 5.5 3/4–in	Cu / Al 3/8–in RTPF 4 / 15 7.3 3/4–in
	1aterial (Tube/Fin) Coil type Rows / FPI tal Face Area (ft ²)	Cu / Al 3/8—in RTPF 1 / 17 3.9	Cu / Al 3/8—in RTPF 2 / 17 3.9	Cu / Al 3/8–in RTPF 2 / 17 5.2
Standard Static 1 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Direct 1 600–1200 48 1 / Centrifugal 10 x 10	1/ Direct 1 600–1200 48 1 / Centrifugal 10 x 10	1/ Direct 1 600–1200 48 1 / Centrifugal 10 x 10
Medium Static 1 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Belt 1.2 770–1175 48 1 / Centrifugal 10 x 10	1/ Belt 1.2 770–1175 48 1 / Centrifugal 10 x 10	1/ Belt 1.5 1035–1466 56 1 / Centrifugal 10 x 10
High Static 1 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Belt 1.5 1035–1466 56 1 / Centrifugal 10 x 10	1/ Belt 1.5 1035–1466 56 1 / Centrifugal 10 x 10	N/A N/A N/A N/A N/A
Standard Static 3 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Direct 1 600–1200 48 1 / Centrifugal 10 x 10	1/ Direct 1 600–1200 48 1 / Centrifugal 10 x 10	1/ Direct 1 600–1200 48 1 / Centrifugal 11 x 10
Medium Static 3 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Belt 1.7 770–1175 48 1 / Centrifugal 10 x 10	1/ Belt 1.7 920–1303 56 1 / Centrifugal 10 x 10	1/ Belt 2.9 1035–1466 56 1 / Centrifugal 10 x 10
High Static 3 phase	Motor Qty / Drive Type Max BHP RPM Range Motor Frame Size Fan Qty / Type Fan Diameter (in)	1/ Belt 2.9 1035–1466 56 1 / Centrifugal 10 x 10	1/ Belt 2.9 1208–1639 56 1 / Centrifugal 10 x 10	1/ Belt 2.9 1303–1687 56 1 / Centrifugal 10 x 10
Cond. Coil 1 phase 3 phase	Material (Tube/Fin) Coil type Rows / FPI Total Face Area (ft ²) Material (Tube/Fin)	Cu / Al 3/8–in RTPF 1 / 17 16.5 Cu / Al	Cu / Al 3/8–in RTPF 2 / 17 16.5 Cu / Al	Cu / Al 3/8–in RTPF 2 / 17 21.3 Cu / Al
Cond fan / motor	Coil type RowsFins/in. Total Face Area (ft ²)	3/8–in RTPF 1 / 17 16.5	3/8–in RTPF 2 / 17 14.6	3/8—in RTPF 2 / 17 18.8
	Qty / Motor Drive Type Motor HP / RPM Fan diameter (in)	1/ Direct 1/8 / 825 22	1/ Direct 1/4 / 1100 22	1/ Direct 1/4 / 1100 22
o,	RA Filter # / Size (in) A inlet screen # / Size (in)	2 / 16 x 25 x 2 1 / 20 x 24 x 1	2 / 16 x 25 x 2 1 / 20 x 24 x 1	4 / 16 x 16 x 2 1 / 20 x 24 x 1

N/A - Not Available

Table 9 – PHYSICAL DATA

(HEATING - THREE PHASE UNITS)

3 - 5 TONS

48KC

	ISICAL DAIA (IIEA			
		48KC**04	48KC**05	48KC**06
ectrical		Three Phase	Three Phase	Three Phase
as Connection		million mase	Three Thase	
	# of Gas Valves	1	1	1
Nat. gas su	upply line press (in. w.g.)/ (PSIG)	4 -13 / 0.18 - 0.47	4 -13 / 0.18 - 0.47	4 -13 / 0.18 - 0.47
LP su	pply line press (in. w.g.) / (PSIG)	11 –13 / 0.40 – 0.47	11 –13 / 0.40 – 0.47	11 -13 / 0.40 - 0.47
eat Anticinator	setting (Amps)			
out Antioiputoi	1st stage	0.14	0.14	0.14
	2nd stage	0.14	0.14	0.14
atural Gas Hea	ıt			
	# of stages / # of burners (total)	1/2	1/2	1/2
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
LOW	Bollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	25 - 55	25 - 55	20 - 55
	Temperature hise	25 - 55	23 - 55	20 - 33
	# of stages / # of burners (total)	1 or 2 / 3	1/3	1 / 3
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
MED	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	55 – 85	35 – 65	30 - 65
]	# of stages (# of burners (total)		1 or 2 / 2	1 or 0 / 2
	# Of stages / # Of burners (total)	-	1 01 2 / 3	1 01 2 / 3
HIGH	Connection Size	-	1/2-IN NP1	1/2-III NP1
	Rollout switch opens / closes	-	195/115	195 / 115
	Temperature Rise	-	50 – 60	40 - 60
uid Propane	Heat			
	# of stages / # of burners (total)	1/2	1/2	1/2
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
LOW	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	25 – 55	25 – 55	20 – 55
	# of stages / # of burners (total)	1 or 2/3	1/3	1/3
	Connection Size	1/2_in NPT	1/2—in NPT	1/2_in NPT
MED	Bollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	55 – 85	35 - 65	30 - 65
			<i>i b i b</i>	
	# of stages / # of burners (total)	-		
HIGH	Connection Size	-		
		-	195/115	195/115
	Temperature Hise	-	50 – 80	40 - 60
NOx Gas H	eat			
	# of stages / # of burners (total)	1/2	1/2	1/2
	Connection Size	1/2-in NPT	1/2in NPT	1/2-in NPT
LOW	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	20 – 50	20 – 50	15 – 50
		1/0	1 / 0	1 / 0
	# or stages / # or purners (total)			
MED				
	Temperature Rise	30 – 60	30 - 60	25 - 60
	· · · · · · · · · · · · · · · · · · ·			
	# of stages / # of burners (total)	-	1/3	1/3
HIGH	Connection Size	-	1/2-in NPT	1/2-in NPT
	Hollout switch opens / closes	-	195 / 115	195 / 115
	Iemperature Rise	-	40 - 70	35 - 70
			1 <mark>.</mark>	

Not applicable

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5

C14239

CURBS, WEIGHTS & DIMENSIONS (cont.)


			-
LOCATION	DIMENSION	CONDITION	
	48–in (1219 mm)	Unit disconnect is mounted on panel	
۸	18—in (457 mm)	No disconnect, convenience outlet option	
A	18—in (457) mm	Recommended service clearance	
	12–in (305 mm)	Minimum clearance	
	42–in (1067 mm)	Surface behind servicer is grounded (e.g., metal, masonry wall)	
В	36—in (914 mm)	Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)	
	Special	Check sources of flue products within 10-ft of unit fresh air intake hood	
•	36-in (914 mm)	Side condensate drain is used	
C	18—in (457 mm)	Minimum clearance	
	48-in (1219 mm)	No flue discharge accessory installed, surface is combustible material	
5	42-in (1067 mm)	Surface behind servicer is grounded (e.g., metal, masonry wall, another unit)	
U	36-in (914 mm)	Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)	
	Special	Check for adjacent units or building fresh air intakes within 10-ft (3 m) of this unit's flue outlet	

NOTE: Unit not designed to have overhead obstruction. Contact Application Engineering for guidance on any application planning overhead obstruction or for vertical clearances.

Fig. 3 - Service Clearance Dimensional Drawing



C13310

17

OPTIONS & ACCESSORY WEIGHTS

		(OPTION / ACCE	SSORY WEIGH	TS	
OPTION / ACCESSORY		04	(05	C	6
	lb	kg	lb	kg	lb	kg
Humidi-MiZer ¹	50	23	50	23	55	25
Power Exhaust - vertical	45	20	45	20	45	20
Power Exhaust – horizontal	30	14	30	14	30	14
EconoMi\$er (IV, X or 2)	35	16	35	16	35	16
Two Position damper	39	18	39	18	39	18
Manual Dampers	12	5	12	5	12	5
Medium Gas Heat	12	5	9	4	9	4
High Gas Heat	-	-	17	8	17	8
Hail Guard (louvered)	13	6	13	6	17	8
Cu/Cu Condenser Coil ²	37	17	74	34	95	43
Cu/Cu Condenser and Evaporator Coils ²	75	34	112	51	165	75
Roof Curb (14-in. curb)	115	52	115	52	115	52
Roof Curb (24-in. curb)	197	89	197	89	197	89
CO ₂ sensor	2	1	2	1	2	1
Flue Discharge Deflector	7	3	7	3	7	3
Optional Indoor Motor/Drive	6	3	6	3	17	8
Motor Master Controller	9	4	9	4	9	4
Return Smoke Detector	7	3	7	3	7	3
Supply Smoke Detector	7	3	7	3	7	3
Non-Fused Disconnect	5	2	5	2	5	2
Powered Convenience outlet	36	16	36	16	36	16
Non-Powered Convenience outlet	4	2	4	2	4	2
Enthalpy Sensor	2	1	2	1	2	1
Differential Enthalpy Sensor	3	1	3	1	3	1

NOTE: Where multiple variations are available, the heaviest combination is listed.
- Not Available
for Humidi-MiZer add MotorMaster Controller.

² Where available.

48KC

Table 40 – UNIT WIRE/FUSE OR HACR BREAKER SIZING DATA

						NO C.O. or l	JNPWR C.O.				w/ PWRD C.O.							
				NC) P.E.			w/ P.E. (p	wrd fr/ unit)			NC) P.E.			w/ P.E. (p	wrd fr/ unit)	
UNIT	NOM. V-Ph-Hz	IFM TYPE	МСА	MAX FUSE or	DISC.	SIZE	MAX FUSE DISC. SI		SIZE	МСА	MAX FUSE or	DISC.	SIZE	МСА	MAX FUSE or	DISC	SIZE	
				HACR BRKR	FLA	LRA		HACR BRKR	FLA	LRA		HACR BRKR	FLA	LRA		HACR BRKR	FLA	LRA
		DD-STD	30	45	29	88	32	45	31	90	-	-	-	-	-	-	-	-
	208/230-1-60	MED	27	40	26	93	29	45	28	95	-	-	-	-	-	-	-	-
		HIGH	29	45	28	118	31	45	30	120	-	-	-	-	-	-	-	-
		DD-STD	22	30	22	82	24	30	24	84	27	30	27	87	29	35	29	89
t	208/2303-60	MED	20/19	25/25	19/19	111	22/21	30/30	21/21	113	24/24	30/30	25/24	116	26/26	30/30	27/26	118
Ľ		HIGH	23/23	30/30	23/23	147	25/25	30/30	25/25	149	28/28	30/30	28/28	152	30/29	35/35	30/30	154
3KG		DD-STD	12	15	12	43	13	15	13	44	14	20	14	45	15	20	16	46
4	460-3-60	MED	11	15	10	57	12	15	11	58	13	15	13	59	14	15	14	60
		HIGH	12	15	12	75	13	15	13	76	15	20	15	77	16	20	16	78
		DD-STD	10	15	10	42	12	15	12	44	11	15	12	44	13	15	14	46
	575-3-60	MED	7	15	7	45	9	15	9	47	9	15	9	47	11	15	11	49
		HIGH	9	15	8	60	10	15	10	62	10	15	10	62	12	15	12	64
		DD-STD	37	50	35	128	39	50	37	130	-	-	-	-	-	-	-	-
	208/230-1-60	MED	34	50	32	133	36	50	35	135	-	-	-	-	-	-	-	-
		HIGH	36	50	35	158	38	50	37	160	-	-	-	-	-	-	-	-
		DD-STD	26	30	26	94	28	40	28	96	31	40	32	99	33	45	34	101
2	208/2303-60	MED	24/24	30/30	23/23	123	26/26	30/30	26/25	125	29/29	40/40	29/29	128	31/31	40/40	31/31	130
0**(HIGH	27/27	40/40	27/27	159	29/29	40/40	29/29	161	32/32	45/45	33/33	164	34/34	45/45	35/35	166
3KC		DD-STD	13	15	13	47	14	20	14	48	15	20	15	49	16	20	16	50
4	460-3-60	MED	12	15	11	61	13	15	12	62	14	15	13	63	15	20	15	64
		HIGH	13	15	13	79	14	20	14	80	15	20	15	81	16	20	17	82
		DD-STD	11	15	11	39	13	15	13	41	13	15	13	41	15	20	15	43
	575-3-60	MED	9	15	8	42	11	15	10	44	10	15	10	44	12	15	12	46
		HIGH	10	15	9	57	12	15	12	59	12	15	11	59	13	15	14	61

See "Legend and Notes for Table 40 on page 42.

			Connect	tions (ID)	Receiver			Dimensions	;	Net. Wt.	Sound
Model	Fig. ++	Compressor	Liquid	Suction	90% Full	Fan(s)	D (ln.)	W (ln.)	H (in.)	Lbs.	Data dBA ⁺
BH*005X6	А	RST45C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/2	135	68
DHrocoxo	<u>,</u>	NOTSSOIL	3/0	1/2	5.5	1	20 1/4	20 0/4	17 1/2	105	00
BH*009X6	А	RST64C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/2	144	68
BH*010X6	А	RST70C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	138	68
BH*015X6	В	CS10K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	193	71
BH*020X6	В	CS12K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	203	73
BH*025X6	В	CS14K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	208	74
BH*030X6	D	CS18K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	290	73
BH*032X6	D	CS20K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	275	76
BH*011L6	А	CF04K6E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	139	73
BH*014L6	А	CF06K6E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	170	73
BH*019L6	В	CF06K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	200	69
BH*025L6	В	CF09K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	222	76
BH*031L6	С	CF12K6E	1/2	7/8	14.0	2	28-1/4	37-3/4	19-3/4	223	77
BH*005H6	А	RST45C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/4	135	68
BH*009H6	А	RST64C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	144	68
BH*010H6	А	RST70C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	138	68
BH*015H6	В	CS10K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	193	71
BH*025H6	В	CS14K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	208	74
BH*032H6	D	CS20K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	275	76

NOTES:

* = T for Outdoor, N for Indoor, S for intelliGenTM/Beacon IITM

++ = See Dimensional Drawings for details

[†] = Estimated sound pressure values are 10 feet from the unit. For estimating sound pressure from the unit at different distances, deduct the following from the unit values: 20 feet, deduct 6 dBA; for 40 feet, deduct 12 dBA; for 80 feet, deduct 18 dBA. This data is typical of "free field" conditions for horizontal air cooled condensing units at the outlet of the discharge air. The actual sound measurements may vary depending on the condensing unit installation. Factors such as reflecting walls, background noise and mounting conditions may have a significant influence on this data.

AWEF Values: Medium/High Temperature Condensing Units - Cooler Application

		///////////////////////////////////////										
		INDO	DOR		0	OUTDOOR / intelliGen™/BEACON II™						
Model	R-404A/ R-507A	R-407A/F	R-407C	R-448A/ R-449A	R-404A/ R-507A	R-407A/F	R-407C	R-448A/ R-449A				
BH*005X6	4.86	-	4.95	4.87	6.50	-	6.12	6.42				
BH*008X6	5.02	-	4.97	4.94	7.83	-	6.35	7.59				
BH*009X6	4.57	-	4.90	4.54	5.97	-	6.62	6.14				
BH*010X6	5.36	-	4.83	4.93	7.55	-	6.94	6.82				
BH*015X6	5.60	-	-	-	8.30	-	-	-				
BH*020X6	5.59	-	-	-	8.41	-	-	-				
BH*025X6	5.37	-	-	-	8.18	-	-	-				
BH*030X6	6.20	-	-	-	9.01	-	-	-				
BH*032X6	6.11	-	-	-	8.90	-	-	-				
BH*005H6	4.86	-	-	-	6.50	-	-	-				
BH*009H6	4.57	-	-	-	5.97	-	-	-				
BH*010H6	5.36	-	-	-	7.55	-	-	-				
BH*015H6	5.60	-	-	-	8.30	-	-	-				
BH*025H6	5.37	-	-	-	8.18	-	-	-				
BH*032H6	6.11	-	_	-	8.90	-	-	-				

These refrigeration systems are designed and certified for use in walk-in cooler applications.

NOTES:

- = Compressor is not rated for this refrigerant

* = T for Outdoor, N for Indoor, S for intelliGenTM/Beacon IITM

		Power	r Sup	ply	Comp	oressor	Fa	an Mote	or	MCA		MOPD)	Evan	Defroet	
Model Number	Part Number	Volts	Ph	Hz⁺	RLA	LRA	Qty.	HP	FLA	Air/ intelliGen™ Beacon II™	Elec.	Air/ intelliGen™ Beacon II™	Elec.	Fan Amps	Heater Amps	Heater Amps
BH*005X6B	RST45C1E-CAV	208-230	1	60	4.6	26.5	1	1/15	0.5	15.0	20.0	15	20	8.0	15	
RH_008X0R	RS155CTE-CAV	208-230	1	60	6.1	33.7	1	1/15	0.5	15.0	20.0	15	20	8.0	15	_
BH*009X6B	RST64C1E-CAV	208-230	1	60	8.0	43.0	1	1/15	0.5	15.0	20.0	15	20	6.0	15	
BH*010X6B	RST70C1E-PFV	208-230	1	60	6.3	34.2	1	1/15	0.5	15.0	20.0	15	20	7.0	15	
BH*010X6C	RST70C1E-TFC	208-230	3	60	4.2	31.0	1	1/15	0.5	15.0	20.0	15	20	8.6	15	
BH*015X6B	CS10K6E-PFV	208-230	1	60	9.8	56.0	2	1/15	1.0	15.0	24.0	20	25	6.0	19	
BH*015X6C	CS10K6E-TF5	208-230	3	60	6.7	51.0	2	1/15	1.0	15.0	20.0	15	20	7.0	15	
BH*020X6B	CS12K6E-PFV	208-230	1	60	9.8	56.0	2	1/15	1.0	15.0	24.0	20	25	6.0	19	
BH*020X6C	CS12K6E-TF5	208-230	3	60	6.7	51.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19	
BH*025X6B	CS14K6E-PFV	208-230	1	60	11.2	61.0	2	1/15	1.0	15.0	29.0	25	30	6.0	23	
BH*025X6C	CS14K6E-TF5	208-230	3	60	8.2	55.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19	
BH*025X6D	CS14K6E-TFD	460	3	60	4.2	28.0	2	1/15	1.0	15.0	15.0	15	15	^	^	
BH*030X6B	CS18K6E-PFV	208-230	1	60	14.4	82.0	1	1/3	3.5	21.0	38.0	35	45	12.0	30	
BH*030X6C	CS18K6E-TF5	208-230	3	60	9.4	65.5	1	1/3	3.5	15.0	29.0	20	30	7.0	23	
BH*030X6D	CS18K6E-TFD	460	3	60	3.9	33.0	1	1/3	1.9	15.0	15.0	15	15	^	^	
BH*032X6B	CS20K6E-PFV	208-230	1	60	16.7	96.0	1	1/3	3.5	24.0	38.0	40	50	12.0	30	
BH*032X6C	CS20K6E-TF5	208-230	3	60	10.3	75.0	1	1/3	3.5	20.0	29.0	25	30	7.0	23	
BH*032X6D	CS20K6E-TFD	460	3	60	4.6	40.0	1	1/3	1.9	15.0	15.0	15	15	^	^	
BH*011L6B	CF04K6E-PFV	208-230	1	60	8.6	59.2	1	1/15	0.5	15.0	20.0	15	25	7.0	15	
BH*011L6C	CF04K6E-TF5	200-230	3	60	3.9	52.0	1	1/15	0.5	15.0	20.0	15	20	8.0	15	
BH*014L6B	CF06K6E-PFV	208-230	1	60	10.3	59.2	1	1/15	0.5	15.0	20.0	20	25	4.0	15	
BH*014L6C	CF06K6E-TF5	200-230	3	60	6.3	52.0	1	1/15	0.5	15.0	24.0	15	25	9.0	19	
BH*019L6B	CF06K6E-PFV	208-230	1	60	10.3	59.2	2	1/15	1.0	15.0	24.0	20	30	6.0	19	
BH*019L6C	CF06K6E-TF5	208-230	3	60	6.3	52.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19	
BH*025L6B	CF09K6E-PFV	208-230	1	60	15.0	87.0	2	1/15	1.0	20.0	29.0	30	40	6.0	23	
BH*025L6C	CF09K6E-TF5	200-230	3	60	9.2	72.2	2	1/15	1.0	15.0	21.0	20	25	7.0	15	
BH*031L6B	CF12K6E-PFV	208-230	1	60	17.0	105.0	2	1/15	1.0	22.3	37.5	35	50	12.0	30	
BH*031L6C	CF12K6E-TF5	200-230	3	60	10.7	85.0	2	1/15	1.0	15.0	28.8	25	30	7.0	23	
BH*031L6D	CF12K6E-TFD	460	3	60	5.3	42.0	2	1/15	1.0	15.0	15.0	15	15	\wedge	^	
BH*005H6B	RST45C1E-CAV	208-230	1	60	4.5	26.5	1	1/15	0.5	15.0	_	15	_	_	_	
BH*009H6B	RST64C1E-CAV	208-230	1	60	7.6	43.0	1	1/15	0.5	15.0	_	15	-	-	_	
BH*010H6B	RST70C1E-PFV	208-230	1	60	6.9	34.2	1	1/15	0.5	15.0	_	15	-	-	-	
BH*010H6C	RST70C1E-TFC	208-230	3	60	4.7	31.0	1	1/15	0.5	15.0	-	15	-	-	_	
BH*015H6B	CS10K6E-PFV	208-230	1	60	11.1	56.0	2	1/15	1.0	15.0	_	25	_	_	_	
BH*015H6C	CS10K6E-TF5	208-230	3	60	7.2	51.0	2	1/15	1.0	15.0	-	15	-	-	_	
BH*025H6B	CS14K6E-PFV	208-230	1	60	12.4	61.0	2	1/15	1.0	20.0	_	25	_	_	_	
BH*025H6C	CS14K6E-TF5	208-230	3	60	8.5	55.0	2	1/15	1.0	15.0	_	20	_	-	_	
BH*032H6B	CS20K6E-PFV	208-230	1	60	17.9	96.0	1	1/3	3.5	25.9	-	40	_	_	_	
BH*032H6C	CS20K6E-TF5	208-230	3	60	13.3	75.0	1	1/3	3.5	20.2	_	30	-	-	_	

^ Power supplied by customer.

[†] Consult factory for 50 HZ applications.

Per UL and NEC, RLA values have been calculated by dividing the Maximum Continuous Current (MCC) by 1.56.

Dimensional Drawings

OUTDOOR





Submittal Data Sheet

8-Ton VRV-IV Heat Pump Unit - 230V RXYQ96TTJU

FEATURES

- Variable Refrigerant Temperature (VRT) control allows the VRV IV to deliver up to 28% of improvement in seasonal cooling efficiency compared to previous Daikin VRV heat pump systems
- Same product structure for 230V and 460V simplifies ordering
- The rated seasonal cooling efficiency has been improved by an average of 11% compared to VRV III
- Improved efficiency with IEER values now up to 28
- Larger capacity single modules ranging up to 14 tons and systems up to 34 tons allow for a more flexible system design
- New configurator software designed to simplify the commissioning and maintenance of the system
- Larger capacity single modules allow for opportunity to reduce electrical connections, piping connections and outdoor unit mounting fixtures
- System wide auto-climate adjustment technology to increase the energy efficiency
- All inverter compressors to increase the efficiency and avoid starting current inrush
- Assembled in the US to increase flexibility and reduce lead times
- Standard Limited Warranty: 10-year warranty on compressor and all parts

BENEFITS

- 3 row 7mm heat exchanger coil improves efficiency
- Inverter control board cooled by refrigerant to avoid influence from abient temperatures
- Heat exchanger coil wraps around on all 4 sides of the unit to increase the surface area / efficiency
- Designed with reduced MOP to optimize installation cost
- Digital display on the unit for improved and faster configuration, commissioning, and trouble shooting.





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Submittal Data Sheet

8-Ton VRV-IV Heat Pump Unit - 230V RXYQ96TTJU

PERFORMANCE					
Outdoor Unit Model No.	Jnit Model No. RXYQ96TTJU		8-Ton VRV-IV Heat Pump Unit - 230V		
Туре:	Heat Pump	Unit Combination:			
Rated Cooling Conditions:	Indoor (°F DB/WB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 70 Ambient (°F DB/WB): 47 / 43		
Rated Piping Length(ft):					
Rated Height Difference (ft):	0.00				
Rated Cooling Capacity (Btu/hr):	92,000	Rated Heating Capacity (Btu/hr):	103,000		
Nom Cooling Capacity (Btu/hr):		Nom Heating Capacity (Btu/hr):			
Cooling Input Power (kW):	6.34	Heating Input Power (kW):	6.62		
EER (Non-Ducted/Ducted):	15.10 / 13.00	Heating COP (Non-Ducted/Ducted):	4.6 / 4.0		
IEER (Non-Ducted/Ducted):	28.00 / 22.70	Heating COP 17F (Non-Ducted/Ducted):	2.9 / 2.6		

OUTDOOR UNIT DETAILS			
Power Supply (V/Hz/Ph):	208-230 / 60 / 3	Compressor Type	Inverter
Power Supply Connections:	L1, L2, L3 Ground	Capacity Control Range (%):	20 - 100
Min. Circuit Amps MCA (A):	36.3	Capacity Index Limit:	48.0 - 125.0
Max Overcurrent Protection (MOP) (A):	45.00	Airflow Rate (H) (CFM):	5,827
Max Starting Current MSC(A):		Gas Pipe Connection (inch):	7/8
Rated Load Amps RLA(A):	23.8	Liquid Pipe Connection (inch):	3/8
Dimensions (Height) (in):	66-11/16	H/L Pressure Connection (inch)	
Dimensions (Width) (in):	48-7/8	H/L Equalizing Connection (inch)	
Dimensions (Depth) (in):	30-3/16	Sound Pressure (H) (dBA):	61
Net Weight (lb):	525	Sound Power Level (dBA):	
		Max. No. of Indoor Units:	16

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(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)



Submittal Data Sheet

8-Ton VRV-IV Heat Pump Unit - 230V RXYQ96TTJU

SYSTEM DETAILS										
Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122							
Holding Refrigerant Charge (lbs):	22.7	Heating Operation Range (°F WB):	-4 - 60							
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	295							
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-							
Max. Pipe Length (Total) (ft):	540	Heating Range w/Baffle (°F WB):	-							
Max Height Separation (Ind to Ind ft):	0									

DIMENSIONAL DRAWING



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(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

Chiller to be provided by Nether for production.

MA Series Single 13.5 HP Pro Chiller Model: PM112F3R4100-A-



V*

		Volta	ages			Chiller Specifications				
	120/1/60) 230/1/60	230/3/60	46	0/3/60	Chiller Package includes the following:				
MCA	N/A	N/A	75		41	Condensing	Danfoss Maneurop and Emerson			
MOP	N/A	N/A	120	67		Unit	reciprocating and scroll compressors.			
		Svsten	n Data	Evaporator	Spiral Drum Evaporator or brazed plate evaporator.					
Din	Dimensions 72"L x 46"W x Controls Electronic				Electronic	Glycol Pump	Dual stainless steel centrifugal pump configuration with dedicated process and internal circulation pump.			
Frame		Coated Steel	Electrical Enclosu	ire	NEMA 4	Storage	High Density Polyethylene Insulated Storage			
H	ousing	Galv Sheet Metal	Shinning Weigh	1900 I BS	Tank	Tank.				
	Tank	100 Gal	Operating Weigh	ıt	2800 LBS	Control	ETL/UL 508A rating with on/off switches,			
Con	npressor	13.5 HP	DR @ IW		86	Panel	indicators lights, motor starters, non fused			
Co	ndenser	Air Cooled	Refrigerant		R404A		main electrical disconnect.			
Circula	ation Pump	1 HP	BTUH @ 20 °F, 90 Ambient) °F	N/A	Factory Tested	Each system factory charged with refrigerant and tested under load at design operating temperatures			
Proc	ess Pump	1.5 HP	BTUH @ 25 °F, 90 Ambient)°F	97896	Enclosure	Coated welded structural steel frame with removable service nanels			
Glycol	Connection Size	2 IN	2 IN BTUH @ 30 °F, 90 °F Ambient		108763	Control System	Electronic temperature control with digital temperature display.			
НХ		Spiral Drum	BTUH @ 35 °F, 90 Ambient) °F	120337	Warranty	Warranty - From date of shipment: 24 Months defective parts and 12 months labor			





The City of Seattle Pike Place Market Historical Commission

Mailing Address: PO Box 94649, Seattle WA 98124-4649 Street Address: 600 4th Avenue, 4th Floor

CERTIFICATE OF APPROVAL FOR USE

Date: July 22, 2022

MHC 80/22

Applicant: Kurt Dammeier

Property Owner: Scott Brazinski, Sugar Mountain Capital

Business: Beecher's Handmade Cheese

Address: 1606 Pike Pl Seattle, WA 98101

Building: Seattle Garden Center

At its meeting of July 13, 2022 the Pike Place Market Historical Commission approved the following:

Expand existing Beecher's Handmade Cheese business space (1600 Pike PI) into adjacent business space (1606 Pike PI) according to attached plans.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Lisa Martin, Commission Chairperson By:

mich

Minh Chau Le, Commission Coordinator Pike Place Market Historical Commission



The City of Seattle Pike Place Market Historical Commission

Mailing Address: PO Box 94649, Seattle WA 98124-4649 Street Address: 600 4th Avenue, 4th Floor

CERTIFICATE OF APPROVAL FOR PRELIMINARY DESIGN

Date: October 4, 2022

MHC 106/22

- Applicant: James Cary, Cardinal Architecture
- Property Owner: Kurt Dammeier
- Business: Beecher's Handmade Cheese
- Address: 1600 Pike Pl Seattle, WA 98101
- Building: Seattle Garden Center Building

At its meeting of September 28, 2022 the Pike Place Market Historical Commission approved the following:

Relocate dining and retail areas within business space, renovate north, west, and south business storefronts; all work according to attached plans.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Lisa Martin, Commission Chairperson By:

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Minh Chau Le, Commission Coordinator Pike Place Market Historical Commission The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Work must occur exactly according to approved plans and specifications. Any changes other than those specified above will require the review and approval of the Commission prior to implementation. Any work done in non-compliance with this permit will be reported directly to the Compliance Division of the Seattle Department of Construction and Inspection. The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.