



7 August 2023

Minh Chau Le, Coordinator
Pike Place Market Historical Commission
City of Seattle
PO Box 94649
Seattle WA 98124-4649

**RE: *Beecher's Cheese Renovation
Description of Proposed Work***

Dear Minh Chau:

The following is an update for Beecher's Handmade Cheese Certificate of Approval for Preliminary Design dated 4 October 2022. The next steps include construction permit documentation review and DON approval for the upcoming construction permits.

Two sets of construction permit application documents are included. One is for the cafe relocation which is dated 20 April 2023 and is SDCI project number 6958580-CN. The second is for the cheese production area which is dated 28 April 2023 and is SDCI project number 6944991-CN. Also included is a 28 April 2023 Phase Diagram drawing illustrating the phased construction plan for the project. The complete project will be what was proposed in the fall. Beecher's has chosen to take advantage of the empty cafe space and build the project in two phases to keep a market retail space open and the market block busy almost continuously during the renovation project.

The description below is from the fall presentation. The proposed project has not changed, except for the two phase approach.

The Beecher's Cheese Renovation Project will expand the existing cheese production space to address worker safety and improve working conditions. The existing cafe/retail space will move north to the adjacent cafe/retail space, and most of the existing cafe/retail space will become new production space. Existing cafe/retail and production uses will remain, and the project is not a change of use per land use code or building code.

Existing Cafe/Retail	1,030 SF	New Cafe/Retail	1,038 SF
Existing Production	1,274 SF	New Production	2,089 SF

The north, west and south storefronts will be renovated to accommodate the cafe/retail relocation and production expansion. The cafe/retail will have a single entry/exit door at the north end, a sectional roll-up door in the middle, and a double entry/exit door inset on the south end. The production space will continue to use the cafe doors for production deliveries, and the production space will also have a new egress only door in the south storefront. The exiting diagram on drawing T1 indicates occupancy, occupancy numbers and exit paths. Because of these changes, the suite will have renovated storefront on the north, west and south sides, using existing components such as doors and sectional doors where possible. The new storefront layout will be designed and constructed to match existing style, construction, and finishes.

The cafe/retail space will move from its existing location to the north retail space. The intent of the project is to reuse virtually all the existing casework, signage, equipment, seating, and finishes. The new cafe/retail should look virtually identical to the existing.

The production space will be in its current location at the southwest corner of the building; however, the space will expand to the north. The reasons for the renovation and expansion are to make the cheese production workplace safer for the production employees. The space will continue to have large windows open from the street and sidewalk so that ongoing cheese production is prominent and visible. The two main vessels – the make vat/agitation and the drain table/agitation – will be located adjacent to the south and west windows, as well as the south window of the cafe space. Additional equipment such as the raw milk storage tank, cheese press, and curd auger, will be located further back in the production space. The intent of the project is to match all existing stainless-steel equipment, flooring, and finishes. The new production layout will be designed and constructed to look identical to the existing.

We continue to develop lighting for the cafe and production space. The cafe will include (3) pendant fixtures that will have a traditional cafe look and will have warm temperature lamps. The production space is required by Washington State and the federal Food & Drug Administration requirements to meet minimum lighting levels & minimum Color Rendering Index levels. The fixtures must also be sealed and avoid food hazards such as glass. We are developing a plan to light the production area to fit into the market and meet NSF standards.

The back of house will be reconfigured to accommodate the new retail/cafe space and the expanded production space. This area is not open to the public and will be finished to match existing finishes.

Finishes List

Exterior Finishes:

- Off-White Field Paint – Match Existing
- Dark Green Trim, Door & Door Frame, Window Paint – Match Existing
- Large Insulated Glazing Units – Match Existing
- Green Steel & Translucent Glass Awning – To Remain

Interior Finishes

Cafe/Retail

- Floor – Transparent Finish Oak & Polished Concrete to Match Existing
- Floor Base – White Painted Wood to Match Existing
- Wall Paint – Yellow Paint to Match Existing
- Ceiling Paint – White Paint to Match Existing
- Vertical Wood Siding to Match Existing, Stained T&G Fir
- Exposed Timber Construction to Match Existing
- Lighting – Install New Glass Pendants Similar to Existing, Install New Retail Lighting to Match Existing, Color Temperature to be 2,700 K.
- Signage – Move Existing Signage to New Cafe/Retail

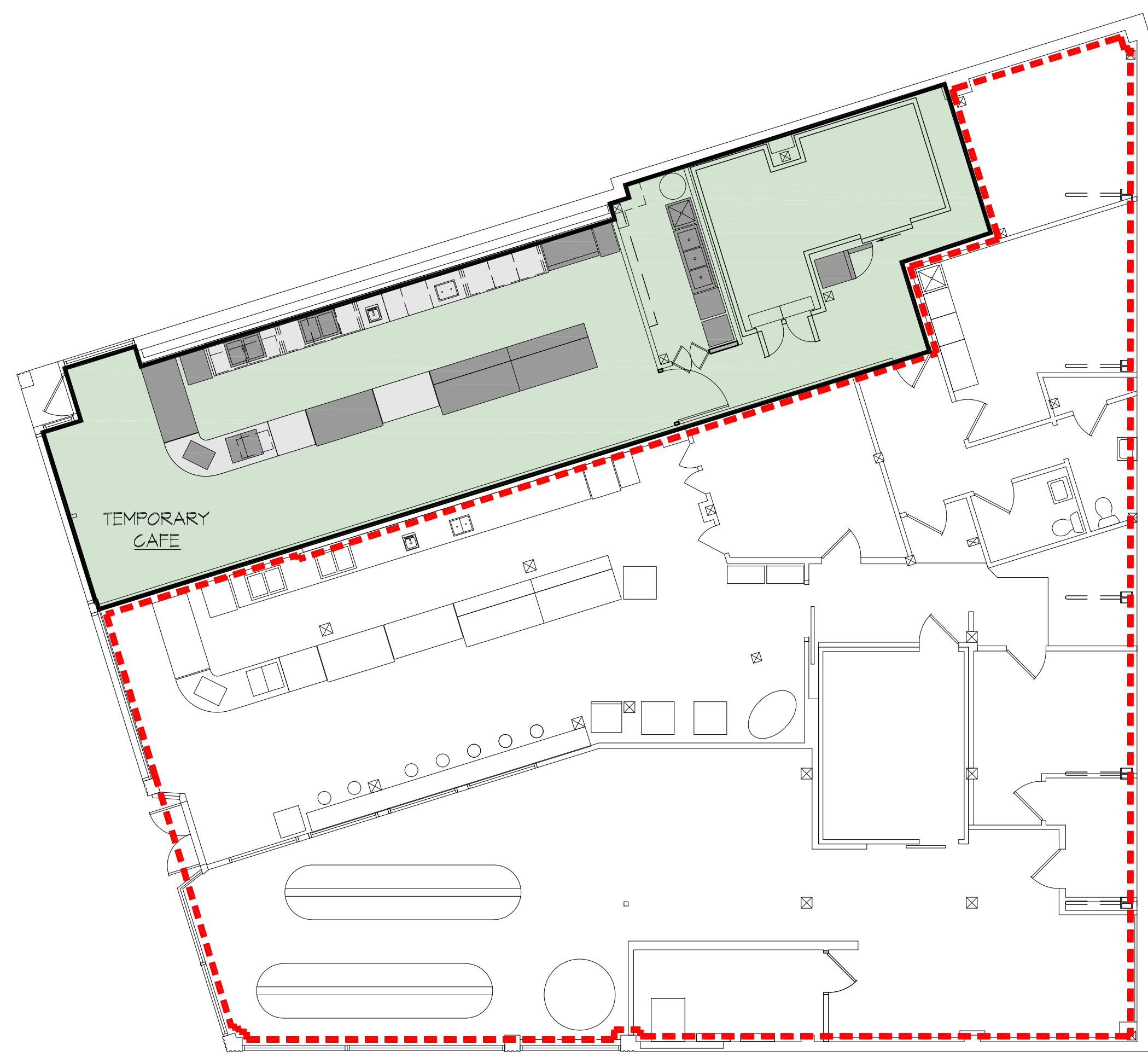
Production

- Floor – Gray Epoxy Crete & Coved Base to Match Existing
- Walls – White Food-Grade Production Panels to Match Existing
- Ceiling – White Food-Grade Production Panels to Match Existing
- Equipment & Food-Grade Finishes – Stainless Steel to Match Existing
- Lighting – Existing light fixtures do not meet FDA & NSF requirements. Currently developing plan to meet market requirements and color temperature, and provide safe lighting for cheese production (sealed, no glass, minimum fc, minimum CRI)

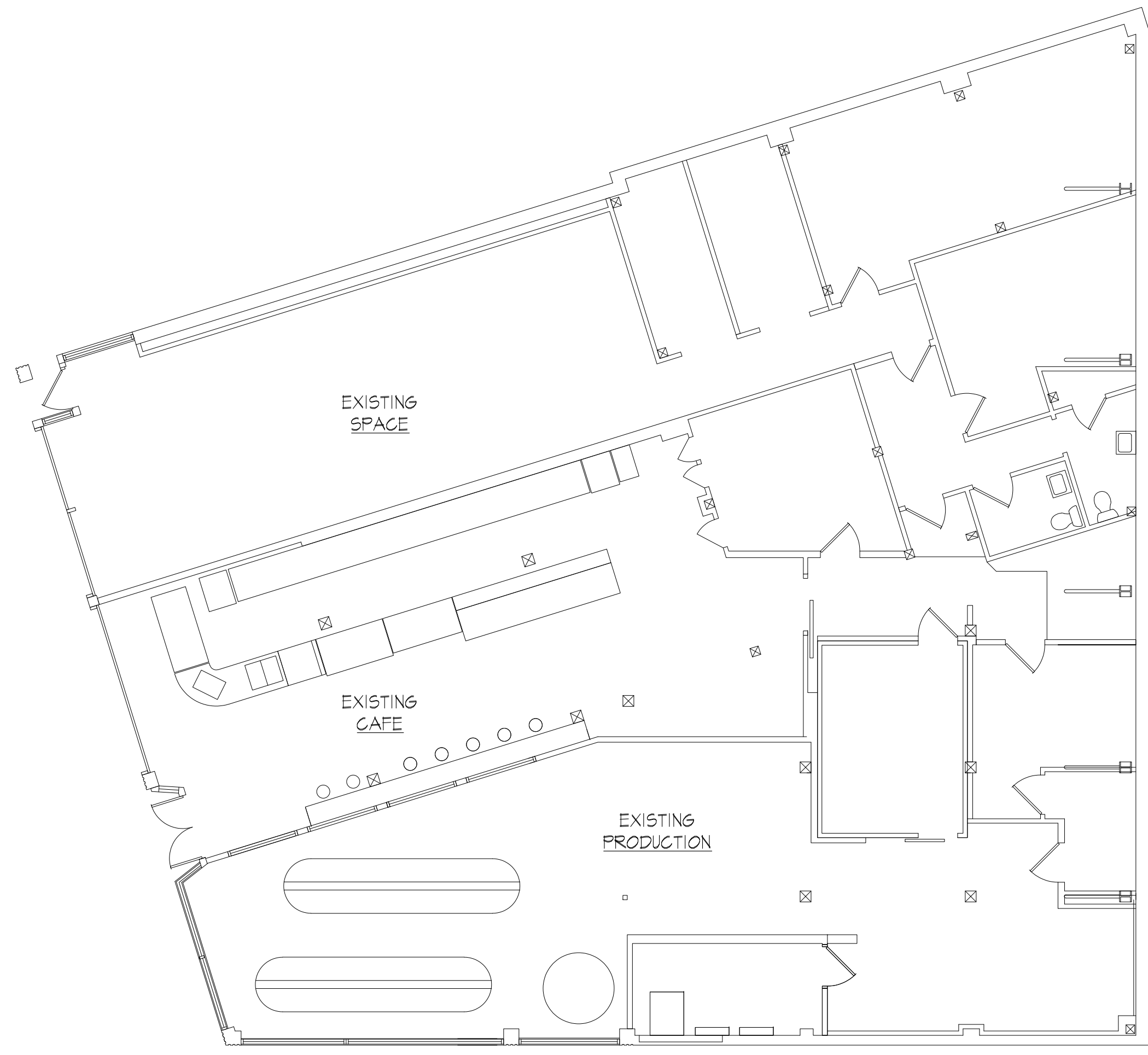
REVISIONS



PHASE 2 - PRODUCTION
 SDCI PROJECT NUMBER 6944491-CN
 LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0" 3



PHASE 1 - CAFE RELOCATION
 SDCI PROJECT NUMBER 6958580-CN
 LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0" 2



EXISTING
 LEVEL 1 FLOOR PLAN
 SCALE: 1/8" = 1'-0" 1

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

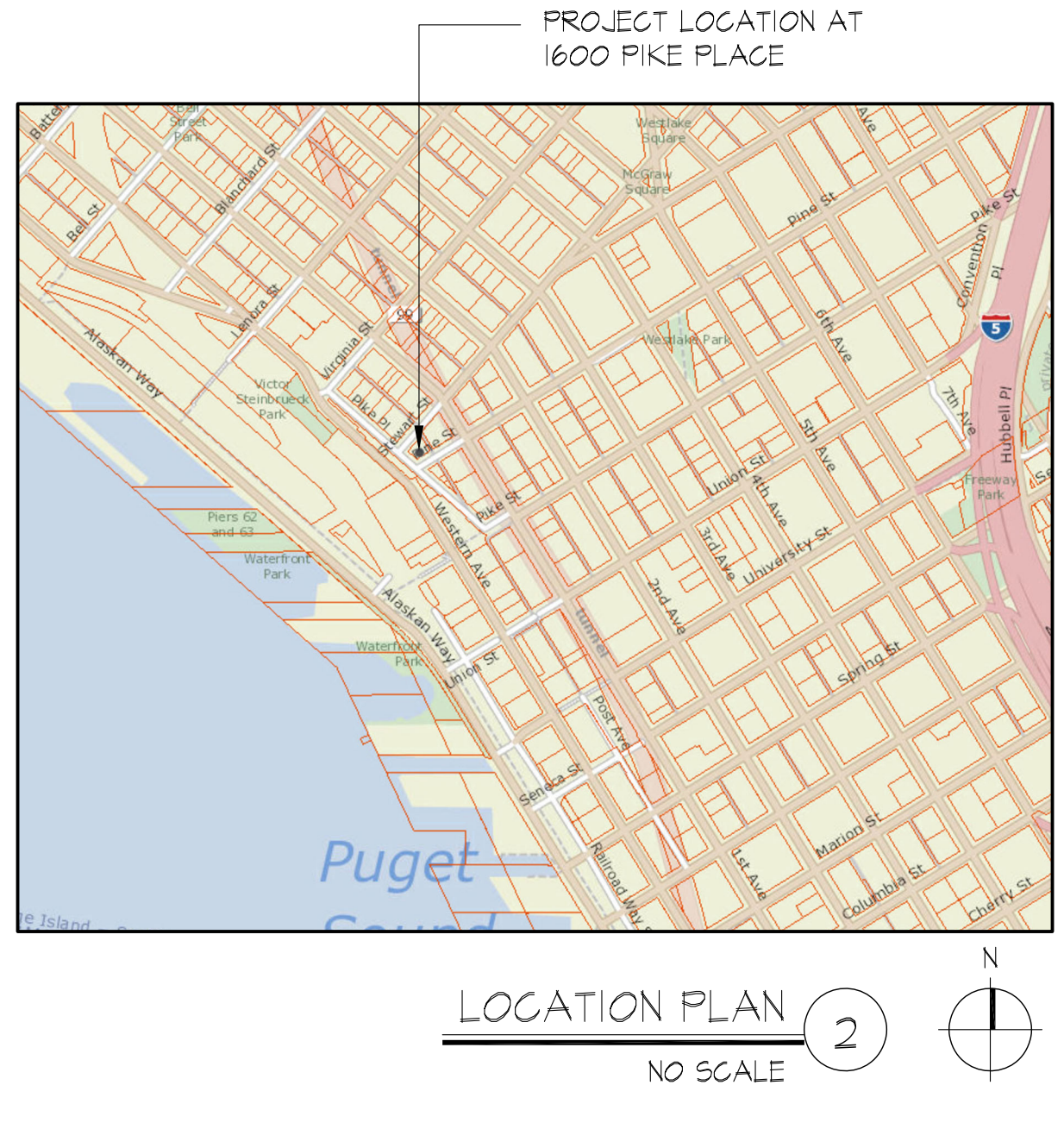
PHASE
 DIAGRAMS

EXISTING BUILDING CODE INFORMATION	
APPLICABLE CODES:	2018 SEATTLE EXISTING BUILDING CODE
SUBSTANTIAL ALTERATIONS: SECTION 307	DEFINITION 1 - PROJECT IS NOT A REPAIR DEFINITION 2 - PROJECT DOES NOT EXTEND THE LIFE OF THE BUILDING BEYOND A TYPICAL TENANT IMPROVEMENT DEFINITION 3 - NO CHANGE OF USE DEFINITION 4 - BUILDING IS NOT VACANT DEFINITION 5 - BUILDING IS NOT URM PROJECT IS NOT A SUBSTANTIAL ALTERATION

ENERGY CODE INFORMATION	
APPLICABLE CODE:	2018 SEATTLE ENERGY CODE
EXISTING BUILDINGS	CHAPTER 5 - EXISTING BUILDINGS
CS03 - ALTERATIONS	NO CHANGE OF SPACE CONDITIONING NO CHANGE OF USE NO CHANGE TO BUILDING ENVELOPE

BUILDING CODE INFORMATION	
LOCATION:	1600 PIKE PLACE, SEATTLE, WA
APPLICABLE CODE:	2018 SEATTLE BUILDING CODE
EXISTING BUILDING INFORMATION:	CONDOMINIUM UNIT 1 (IN (B) UNIT BUILDING) UNIT 1 IS 5000 SF ON LEVEL 1 SCOPE AREA IS 1197 SF WITHIN UNIT 1
CONSTRUCTION TYPE:	TYPES OF CONSTRUCTION (TABLE 601) TYPE IIIB W/O SPRINKLERS
OCCUPANCY:	OCCUPANCY GROUPS AND MAJOR USES (SECTION 302.1) EXISTING OCCUPANCY: M - RETAIL SALES NO CHANGE OF USE
OCCUPANT LOADS:	MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (1004.1.1) SEE OCCUPANCY CALCULATIONS ON PLAN TOTAL OCCUPANT LOAD = 32 (1) EXIT REQUIRED
EXIT ACCESS TRAVEL DISTANCE:	(TABLE 1011.2) NON-SPRINKLED, M OCCUPANCY - 200' MAX SEE EXIT PATH ON PLAN
PLUMBING FIXTURES:	PUBLIC FACILITIES PROVIDED IN PIKE PLACE MARKET

PROPERTY INFORMATION	
ADDRESS:	1600 PIKE PLACE SEATTLE, WA 98101
BUILDING OWNER:	210 INVESTMENTS LLC
LEGAL DESCRIPTION:	GARDEN CENTER BUILDING CONDO PCT OF VALUE 515464 PLAT BLOCK: PLAT LOT: UNIT 1
APN:	269480-0010
PROPERTY SIZE:	5,235 SF
LAND USE INFORMATION SEATTLE MUNICIPAL CODE CHAPTER 23	
ZONING:	PMM-25
SMC 23.49.036	PIKE MARKET MIXED PROJECT IS LOCATED IN THE PIKE PLACE MARKET PERMITTED USES & REQUIREMENTS ARE DETERMINED PER SMC CHAPTER 23.24 PIKE PLACE MARKET HISTORICAL DISTRICT ORDINANCE. DEPARTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.



DRAWING INDEX	
T1	PROJECT INFORMATION, SITE PLAN & EXITING PLAN
D2.1	LEVEL 1 SELECTIVE DEMOLITION PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	FLOOR PLAN, FINISH SCHEDULE & DOOR SCHEDULE
A2.3	EQUIPMENT PLAN & SCHEDULES
A2.4	REFLECTED CEILING PLAN & LIGHTING SCHEDULE
A4.1	INTERIOR ELEVATIONS

CONTACT INFORMATION:	
TENANT BEECHER'S CHEESE 1600 PIKE PLACE SEATTLE, WA 98101 CONTACT: TIFFANY LEE 206.200.9863	ARCHITECT CARDINAL ARCHITECTURE 1326 5TH AVENUE, SUITE 440 SEATTLE, WA 98101 CONTACT: JIM GARY 206.624.2365 T
GENERAL CONTRACTOR COHO ENTERPRISES 1314 DENNY WAY, STE. 103 SEATTLE, WA 98109 CONTACT: CHRIS AUGUSTINE 206.750.2501 T	

- GENERAL PROJECT NOTES**
- 1) THE CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS, DISCREPANCIES, AND/OR UNFORESEEN CONDITIONS BEFORE BEGINNING WORK.
 - 2) THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND COORDINATING WITH ADDITIONAL UTILITIES LOCATIONS NOT SHOWN BUT ENCOUNTERED DURING CONSTRUCTION.
 - 3) THERE ARE ABBREVIATIONS THROUGHOUT THE PLANS WHICH ARE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY ABBREVIATIONS IN QUESTION.
 - 4) DIMENSIONS ARE SHOWN FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE ON DRAWINGS.
 - 5) DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL REFER TO DIMENSIONS SHOWN ON DRAWINGS AND CONFIRM DIMENSIONS WITH ACTUAL FIELD MEASUREMENT. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

PROJECT DESCRIPTION

TENANT IMPROVEMENT PROJECT FOR NEW BEECHER'S CHEESE CAFE IN EXISTING RETAIL SPACE.

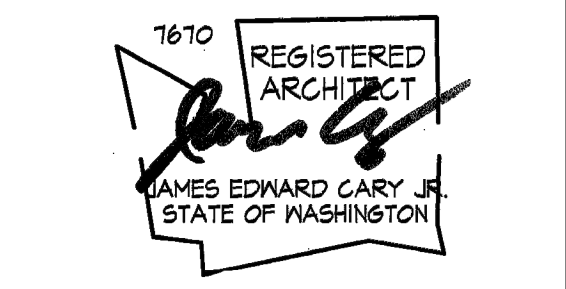
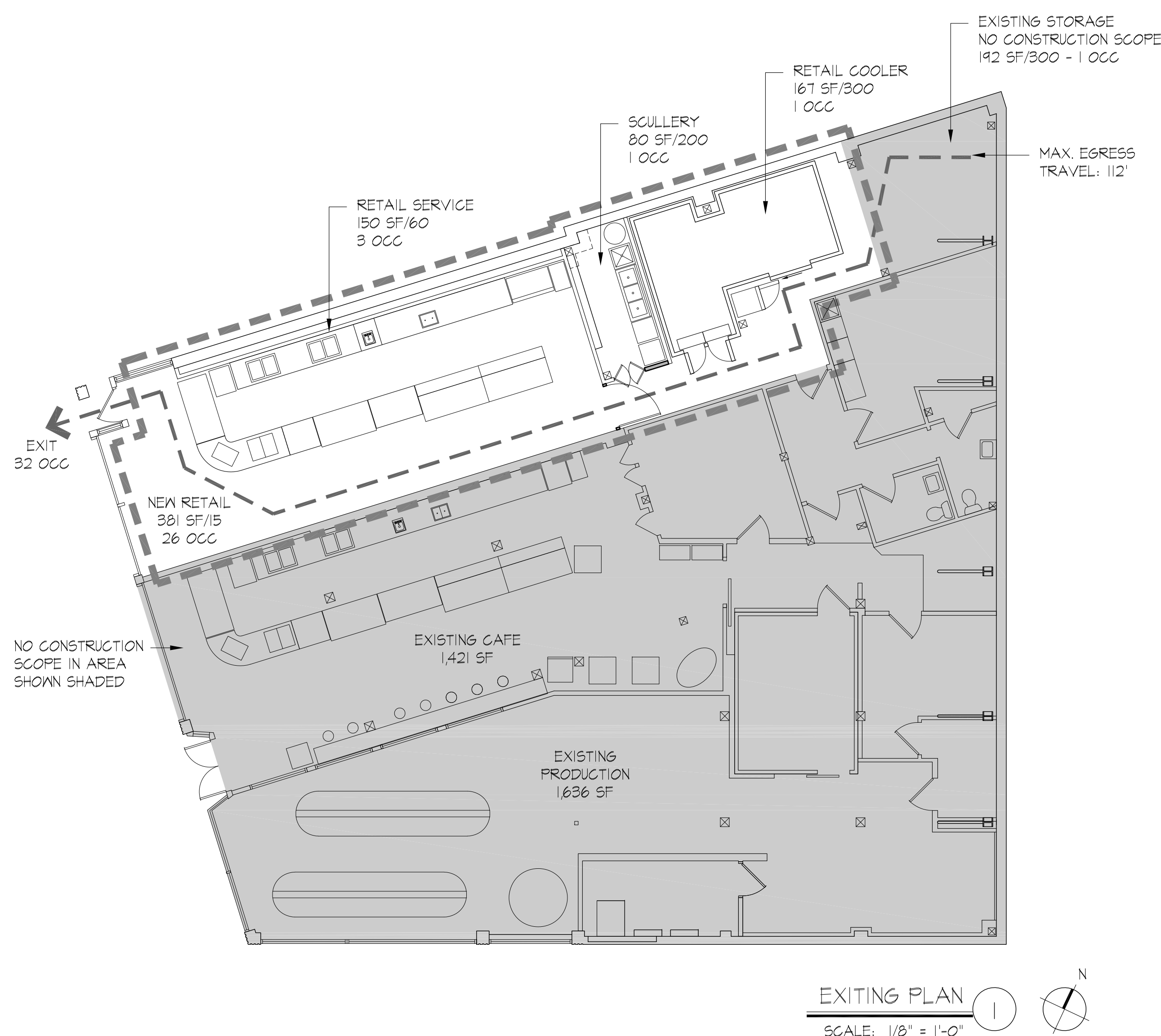
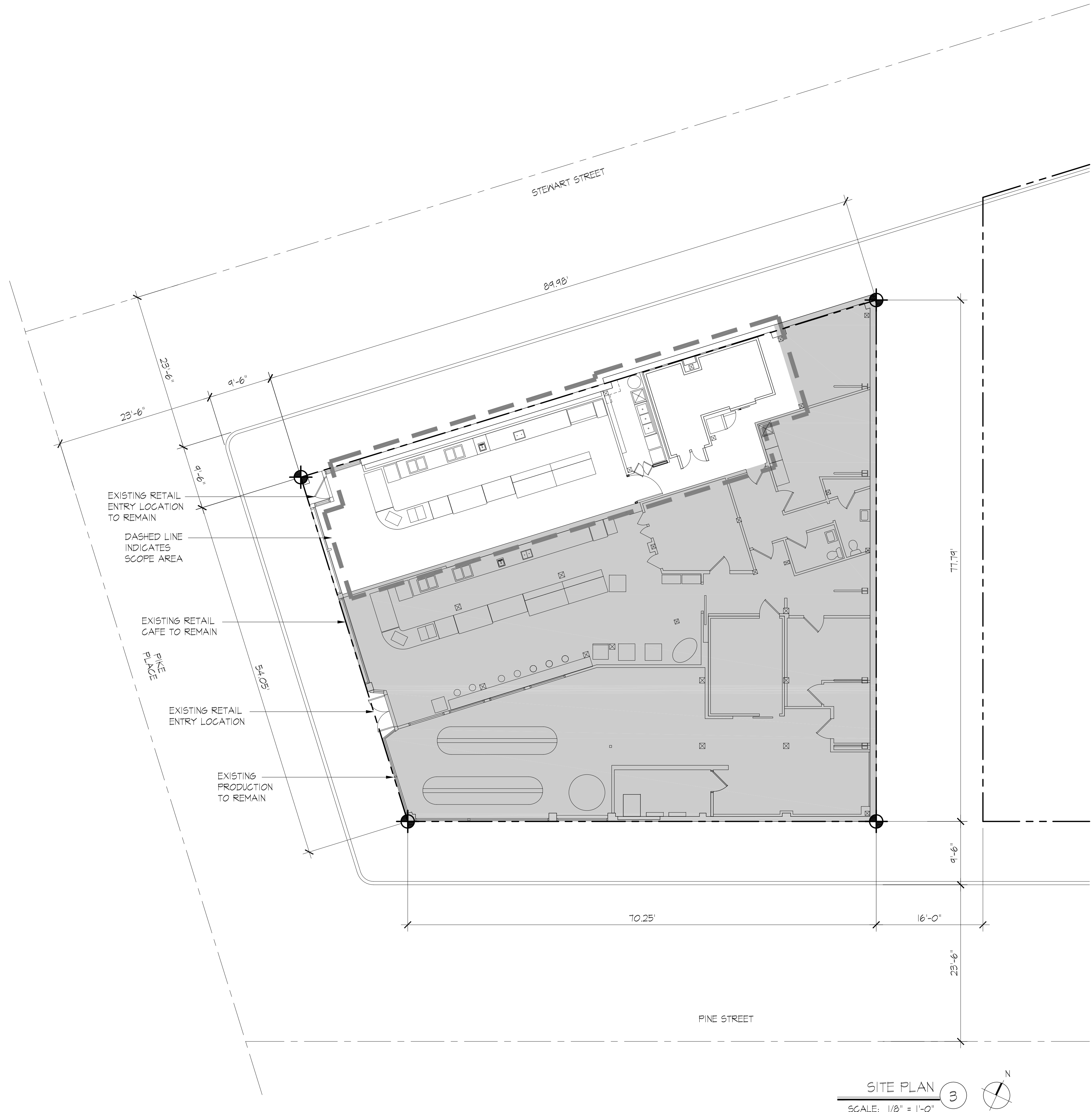
NO CHANGE OF USE. NO EXTERIOR WORK.

DEPARTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.

KING COUNTY PUBLIC HEALTH APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.

MECHANICAL, ELECTRICAL AND PLUMBING SCOPE TO BE PERMITTED SEPARATELY BY DESIGN-BUILD SUBCONTRACTORS.

WALK-IN COOLER TO BE PERMITTED SEPARATELY BY DESIGN-BUILD SUBCONTRACTOR.

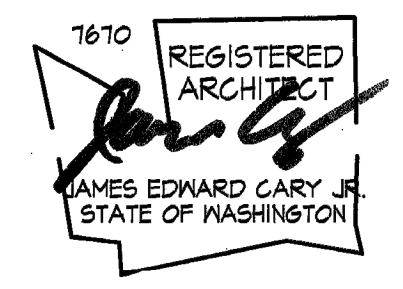


REVISIONS	

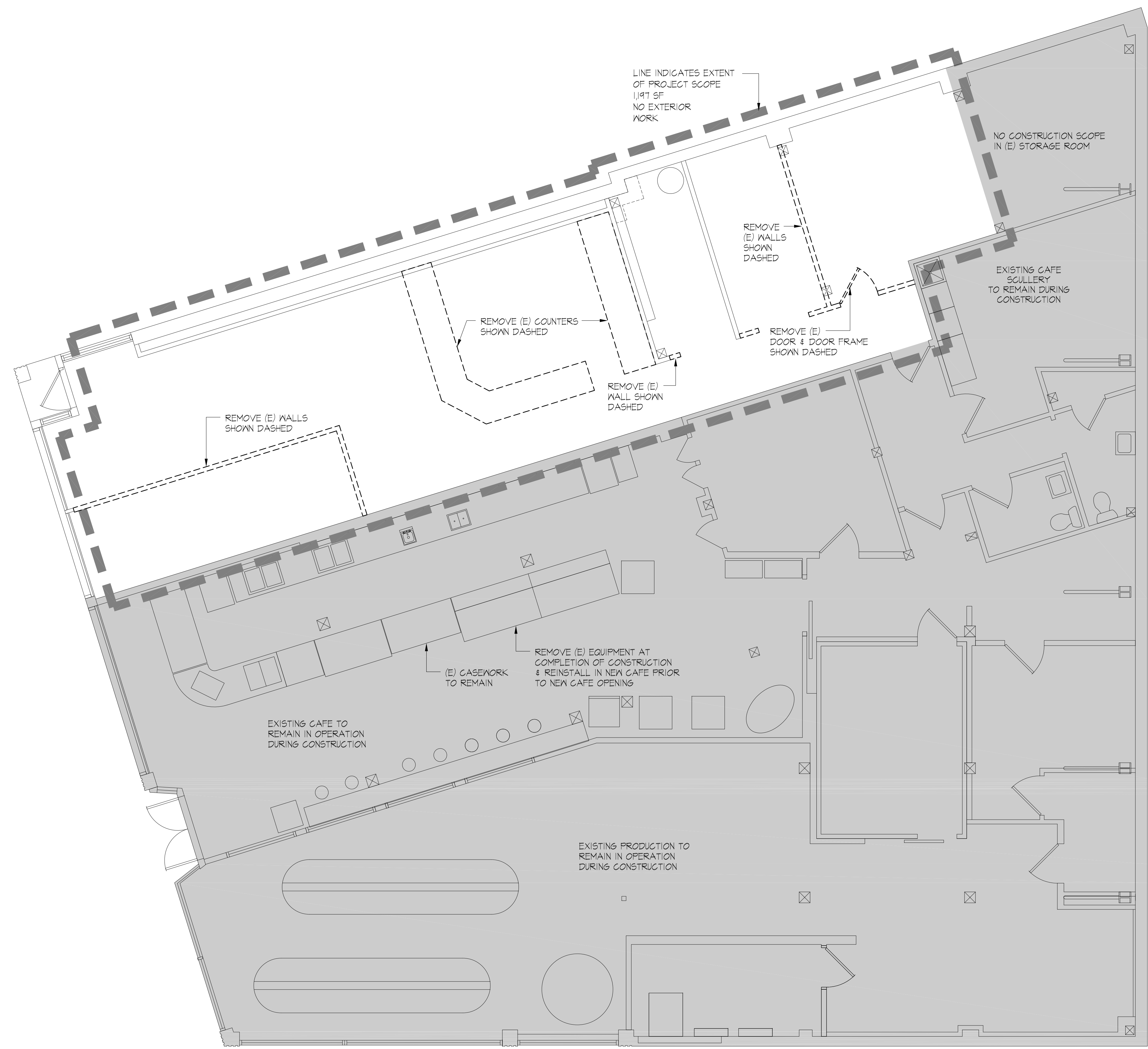
**BEECHER'S CHEESE RENOVATION
 RETAIL CAFE PERMIT SET**
 1600 PIKE PLACE
 SEATTLE, WA 98101

CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
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 206-624-2365 T

2219
 20 APRIL 2023
 PROJECT
 INFORMATION,
 SITE PLAN
 & EXITING PLAN
T1



REVISIONS



LEVEL 1
SELECTIVE DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1'-0"

**BEECHER'S CHEESE RENOVATION
RETAIL CAFE PERMIT SET**

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LEVEL 1
SELECTIVE
DEMOLITION
FLOOR PLAN

D2.1

REVISIONS

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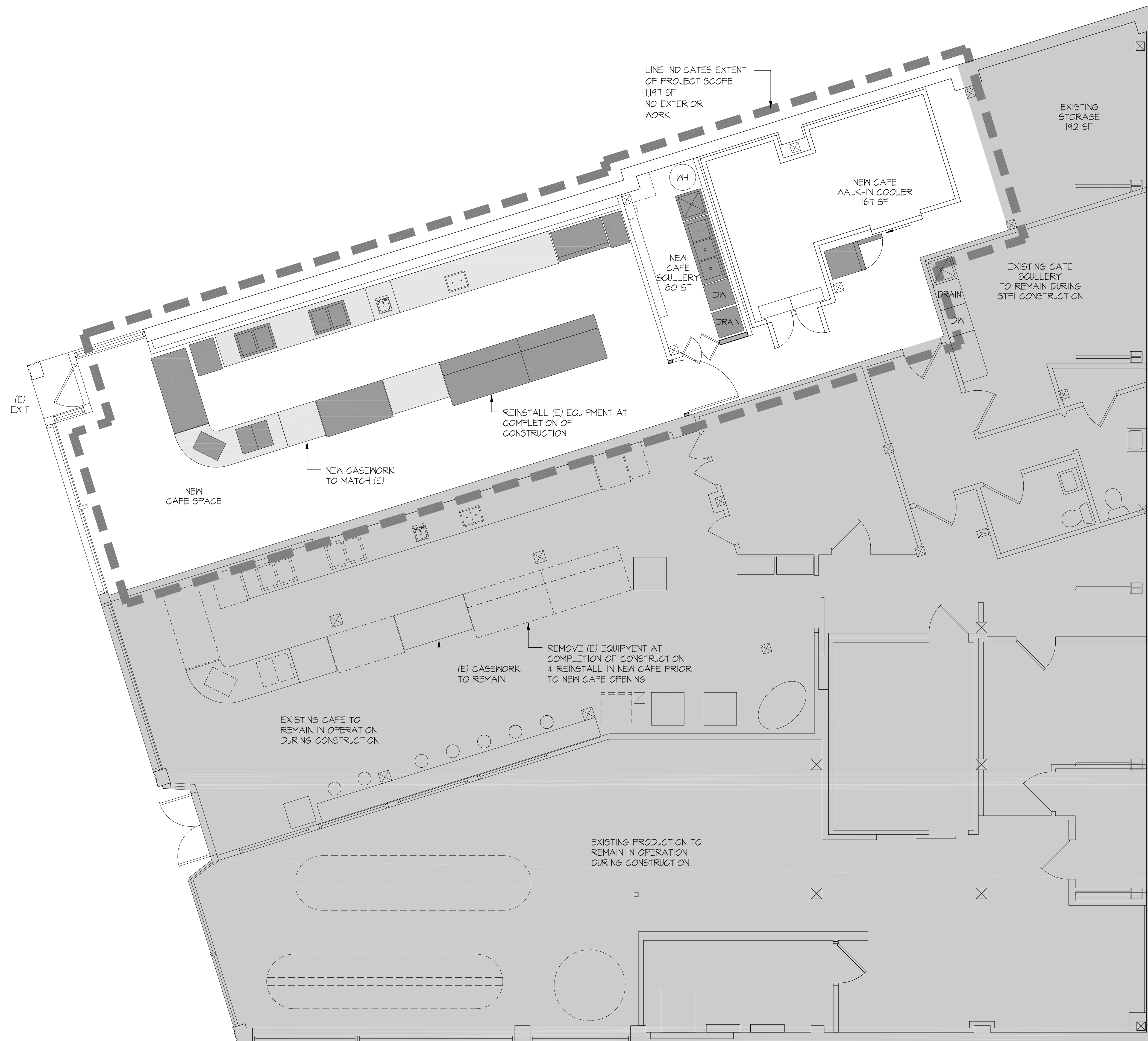
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LEVEL 1
 FLOOR PLAN

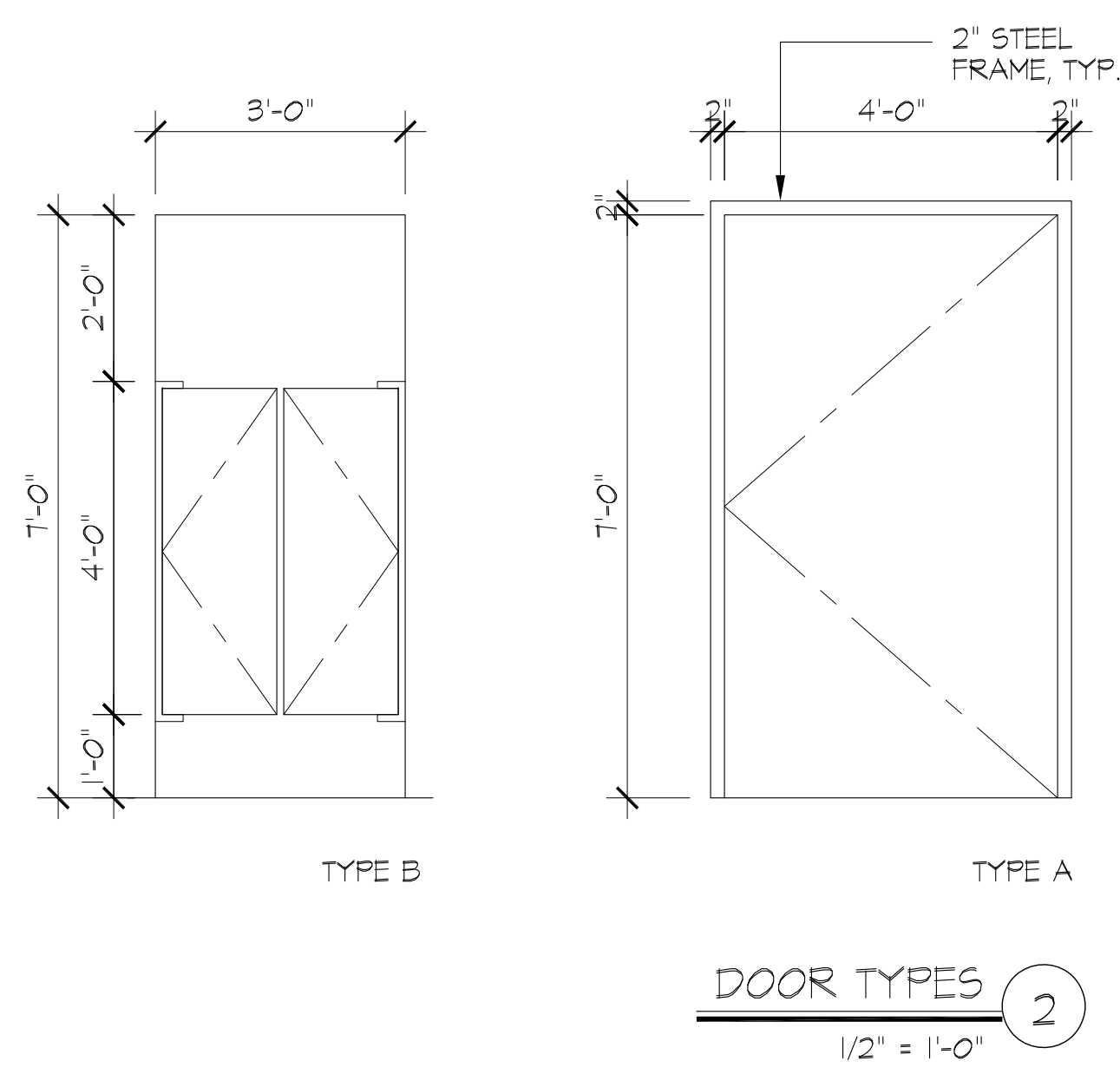
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LEVEL 1 FLOOR PLAN 1
 SCALE: 1/4" = 1'-0" N

REVISIONS

NO.	DESCRIPTION

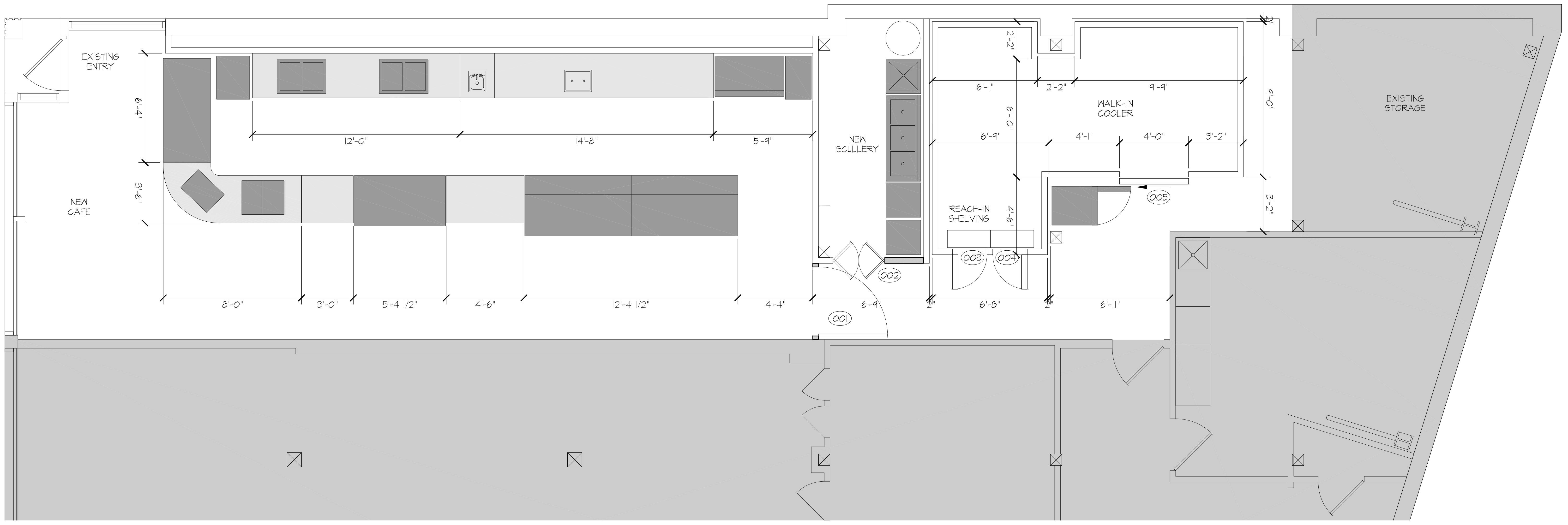


FINISH SCHEDULE	
RETAIL:	FLOOR: CONCRETE WALLS: SEE INTERIOR ELEVATIONS SHEET A4.1 CEILING: GNB BASE: WB-1
SCULLERY:	FLOOR: CONCRETE WALLS: FRP CEILING: GNB BASE: WB-2
COOLER:	FLOOR: CONCRETE WALLS: FACTORY CEILING: FACTORY

FINISH MATERIALS		
FLOOR		
CONCRETE	MATERIAL:	POLISHED CONCRETE
	FINISH:	CLEAR SEALER
CEILING		
GNB	MATERIAL:	EXISTING GNB CEILING
WALL BASE		
WB-1	MATERIAL:	WOOD WALL BASE
	FINISH:	PAINT
	PROFILE:	6" HIGH
WB-2	MATERIAL:	RUBBER WALL BASE
	FINISH:	BLACK
	PROFILE:	6" HIGH
		SEAL TO FLOOR IN SCULLERY

FINISH MATERIALS CONTINUED		
FRP		
FRP	MATERIAL:	FIBER REINFORCED PANEL
	MANUFACTURER:	NUDO
	PRODUCT:	FIBER-LITE PANEL
	FINISH:	SMOOTH PEARL
	HEIGHT:	TOP OF WALL BASE TO CEILING
PAINT		
PT	MANUFACTURER:	TBD
	PRODUCT:	ENAMEL PAINT
	COLOR:	TBD
	SHEEN:	EGGSHELL/SATIN
PAINT NOTES:		
1) PAINT (1) COAT PRIME (2) COATS PAINT		
2) METAL DOOR FRAMES: MATCH WALL PAINT COLOR		
3) SEMI-GLOSS FINISH ON DOOR FRAMES		

DOOR SCHEDULE					
#	TYPE	DOOR SIZE (W x H)	HARDWARE TYPE	FINISH	NOTES
001	TYPE A	4'-0" x 7'-0"	PASSAGE	PAINTED STEEL DOOR	HOLLOW METAL FRAME
002	TYPE B	3'-0" x 3'-11"	CAFE	ALUMINUM	ELIASON LWP-CAFE DOORS PAIR, 12" CLEAR BETWEEN BOTTOM OF DOOR & FLOOR
003	N/A	2'-0" x 7'-0"	COOLER	FACTORY FINISH	REACH-IN DOOR BY COOLER MANUFACTURER
004	N/A	2'-0" x 7'-0"	COOLER	FACTORY FINISH	REACH-IN DOOR BY COOLER MANUFACTURER
005	N/A	4'-0" x 7'-0"	SLIDING COOLER	FACTORY FINISH	SLIDING DOOR BY COOLER MANUFACTURER



FLOOR PLAN ①
 3/8" = 1'-0"

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FLOOR PLAN
 FINISH SCHEDULE
 & DOOR SCHEDULE

REVISIONS

NO.	DATE	DESCRIPTION

RETAIL EQUIPMENT SCHEDULE						
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	DIMENSIONS L x D x H	NOTES
1	1	REFRIGERATED DISPLAY MERCHANDISER				
2	1	FOOD WARMER				
4	1	FOOD WARMER				
6	1	REFRIGERATED DISPLAY MERCHANDISER	TURBO AIR	TOM-T5L5-N	75 5/8" X 34 5/8" X 46 1/8"	
8	2	REFRIGERATED DISPLAY MERCHANDISER				
9	1	DELI SLICER				
10	1	REACH-IN FREEZER	ATOSA	MBF8501	21" X 31 1/10" X 23 1/10"	
11	1	UNDERCOUNTER REFRIGERATOR	TRUE	TUC-T2-HC	12 3/8" X 30 1/8" X 24 3/4"	
14	1	UNDERCOUNTER REFRIGERATOR	TRUE	TUC-61D-4-HC	61 1/4" X 32 1/4" X 24 3/4"	
15	1	PANINI SANDWICH GRILL	PRO-MAX	P6T2B/EGT	34" X 23 1/2" X 13"	
16	2	UNDERCOUNTER MICROWAVE				
17	1	HOLDING CABINET	HATCO	F5HC-T-1	22.76" X 31.91" X 35.12"	
18	1	NEW REFRIGERATOR				
19	1	UNDERCOUNTER FREEZER				

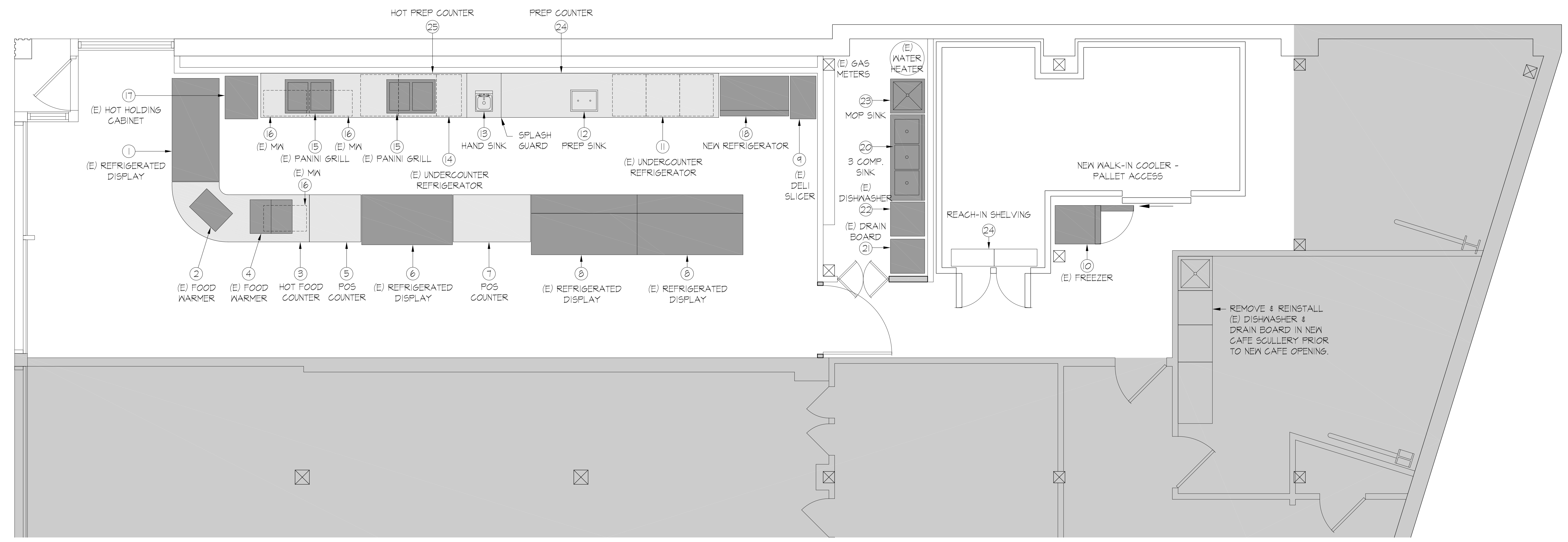
EQUIPMENT NOTES:
 * ALL EQUIPMENT IS EXISTING UNLESS NOTED AS 'NEW'

RETAIL CASEWORK SCHEDULE					
ITEM	QTY	DESCRIPTION	DIMENSIONS L x D x H	COUNTERTOP MATERIAL	NOTES
3	1	HOT FOOD COUNTER	8'-0" L x 3'-6" D x 3'-0" H	STAINLESS STEEL	CORNER - SEE PLAN
5	1	POS COUNTER	4'-6" L x 2'-4" D x 2'-8" H	WOOD	ACCESSIBLE COUNTER
7	1	POS COUNTER	3'-0" L x 2'-4" D x 3'-0" H	WOOD	
24	1	PREP COUNTER	14'-8" L x 3'-1" D x 3'-0" H	STAINLESS STEEL	#12 & #13 SINK LOCATIONS
25	1	HOT PREP COUNTER	12'-0" L x 3'-1" D x 3'-3" H	STAINLESS STEEL	

CASEWORK NOTES:
 * NEW CASEWORK DETAILS TO MATCH EXISTING
 * VERIFY DETAILS PRIOR TO CONSTRUCTION

RETAIL PLUMBING SCHEDULE							
ITEM	QTY	DESCRIPTION	MANUFACTURER	MODEL	DIMENSIONS L x D x H	DRAIN	NOTES
12	1	(E) PREP SINK				INDIRECT	PROVIDE HOT & COLD WATER
13	1	(E) HAND SINK				DIRECT	PROVIDE HOT & COLD WATER REINSTALL (E) SPLASH GUARD
20	1	NEW 3-COMPARTMENT SINK	REGENCY	#600537176	60" X 22 1/2" X 44 3/4"	INDIRECT	PROVIDE HOT & COLD WATER
21	1	(E) DRAIN BOARD					
22	1	(E) DISHWASHER				INDIRECT	PROVIDE HOT & COLD WATER
23	1	NEW MOP SINK WALL-MOUNT FAUCET	BK RESOURCES BK RESOURCES	BKMS-1620-12 BKSF-WBI	24 1/2" X 19 3/8" X 11"	DIRECT	PROVIDE HOT & COLD WATER VACUUM BREAKER

PLUMBING NOTES:
 * REINSTALL (E) FIXTURES UNLESS INDICATED BY 'NEW'
 * INSTALL NEW SUPPLY & DRAIN LINES FOR ALL FIXTURES
 * (E) GATE & SCULLERY TO REMAIN OPERATIONAL DURING CONSTRUCTION.
 REMOVE & REINSTALL (E) FIXTURES PRIOR TO NEW CAFE OPENING.



EQUIPMENT PLAN 1
 3/8" = 1'-0"

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EQUIPMENT
 PLAN
 & SCHEDULES

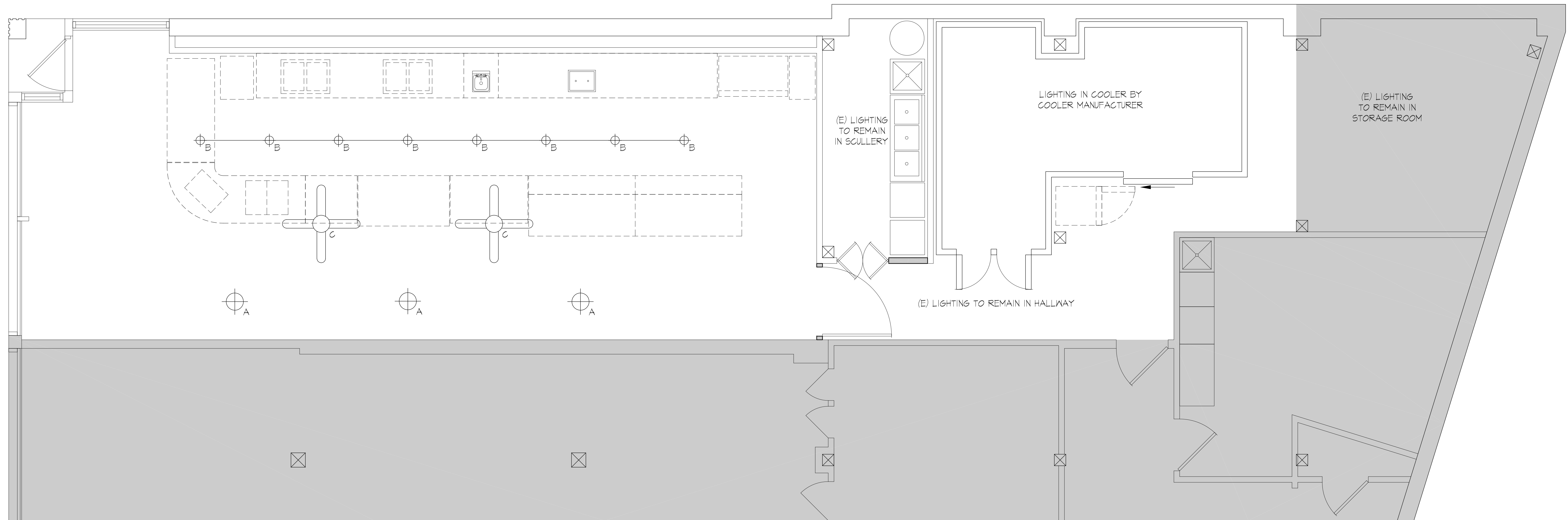
A2.3

REVISIONS

NO.	DESCRIPTION

LIGHTING SCHEDULE				
#	TYPE	PRODUCT	COLOR TEMPERATURE	NOTES
A	PENDANT	REFURBISH & REINSTALL EXISTING PENDANTS	2700K	REFURBISH (E) FIXTURES FOR COMPLIANCE W/ 2018 SEATTLE ENERGY CODE
B	AIMABLE LED TRACK LIGHT	MATCH EXISTING FIXTURES	2700K	
C	CEILING FAN	REINSTALL EXISTING FANS	2700K	

GENERAL NOTES:
 * ELECTRICAL SCOPE TO BE PERMITTED BY DESIGN-BUILD SUBCONTRACTOR
 * PROVIDE OCCUPANCY & DAYLIGHT SENSORS AS REQUIRED BY WA STATE ENERGY CODE
 * MINIMUM 50 FC (540 LUX) REQUIRED IN FOOD PREPARATION AREAS.
 * MINIMUM 10 FC (108 LUX) REQUIRED IN WALK-IN COOLER.
 * WALK-IN LIGHTING TO BE PROVIDED BY COOLER MANUFACTURER.
 * EXISTING CAFE TO REMAIN OPERATIONAL DURING NEW CAFE CONSTRUCTION.
 * REMOVE, REFURBISH & REINSTALL EXISTING LIGHT FIXTURES & FANS PRIOR TO OPENING OF NEW CAFE.
 * ALL LIGHT FIXTURES TO BE 2700K



REFLECTED CEILING PLAN 1
 3/8" = 1'-0" N

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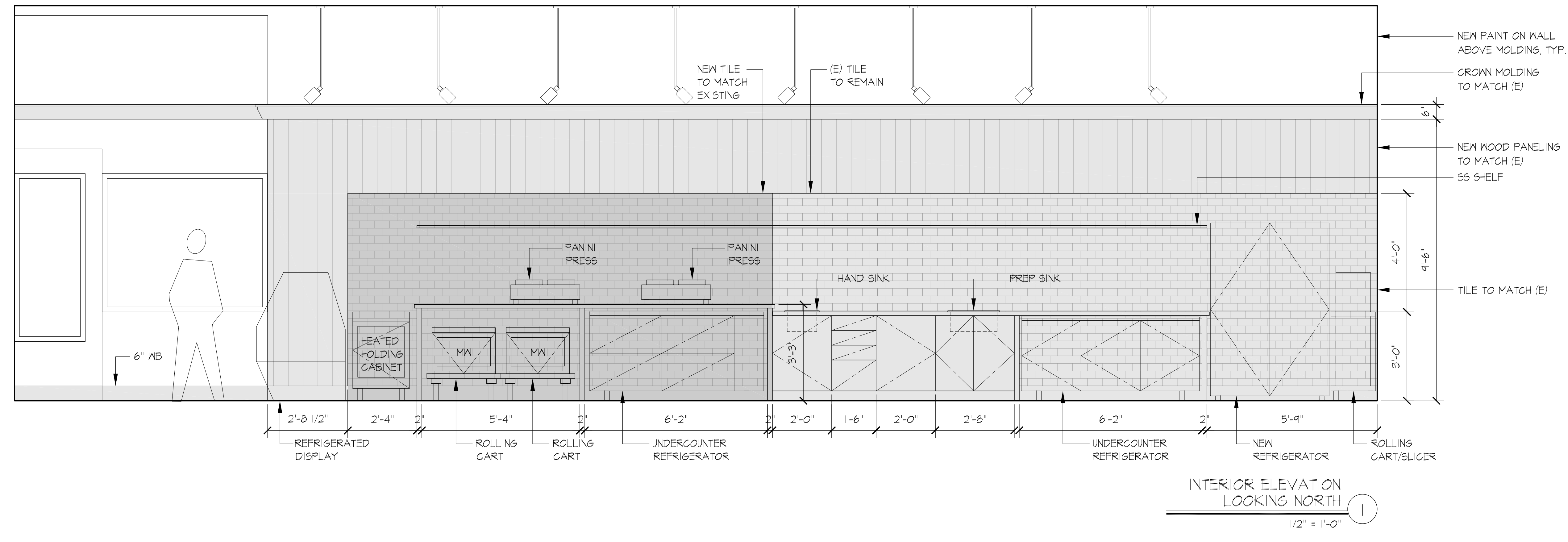
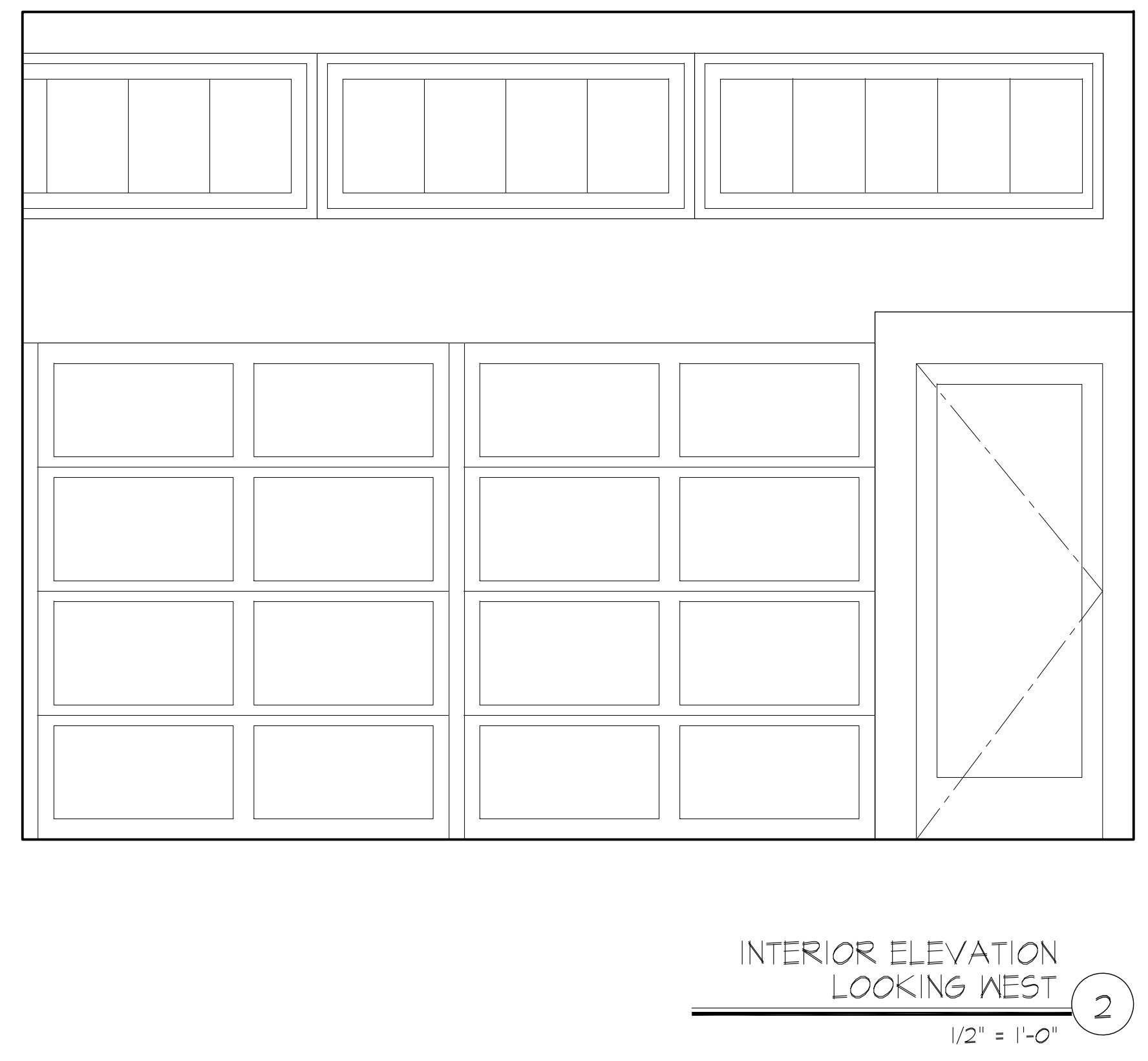
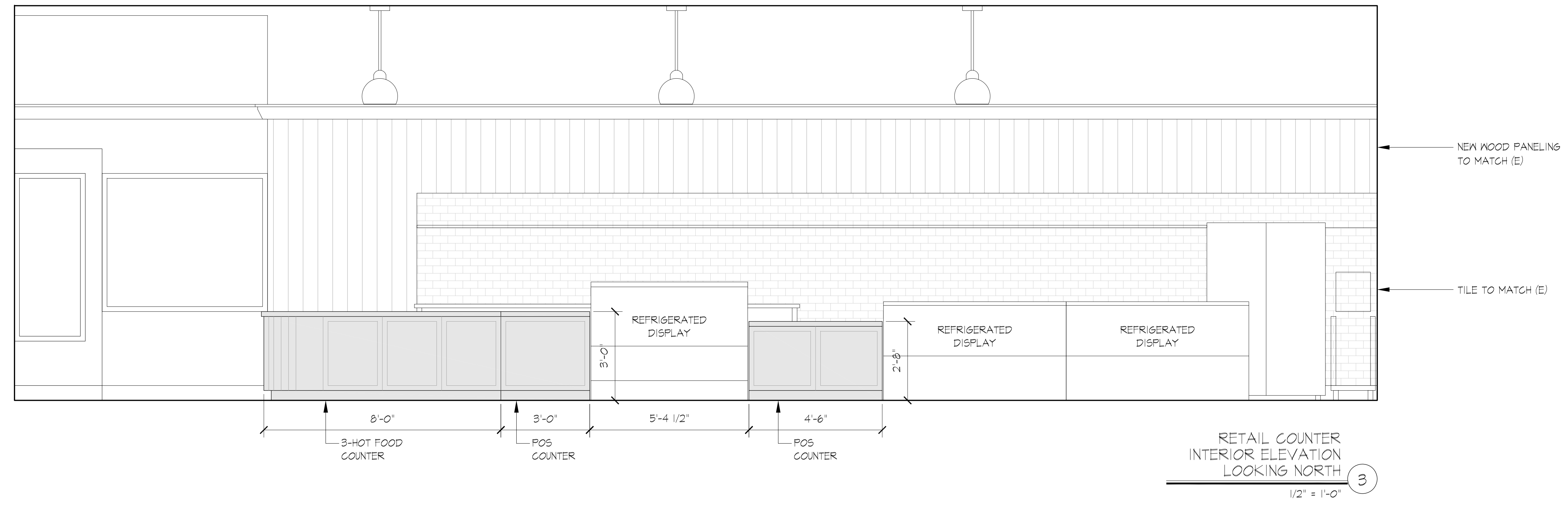
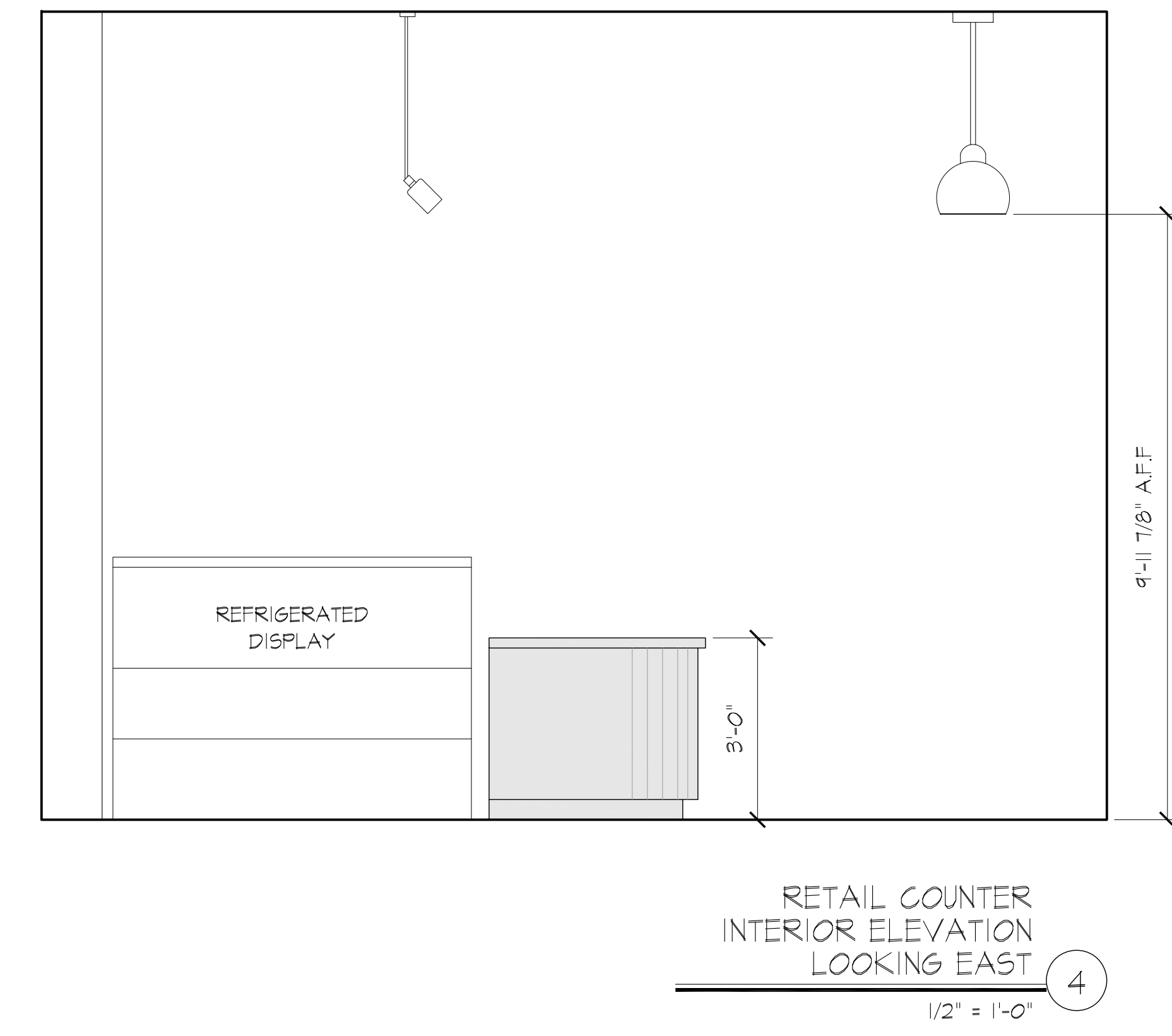
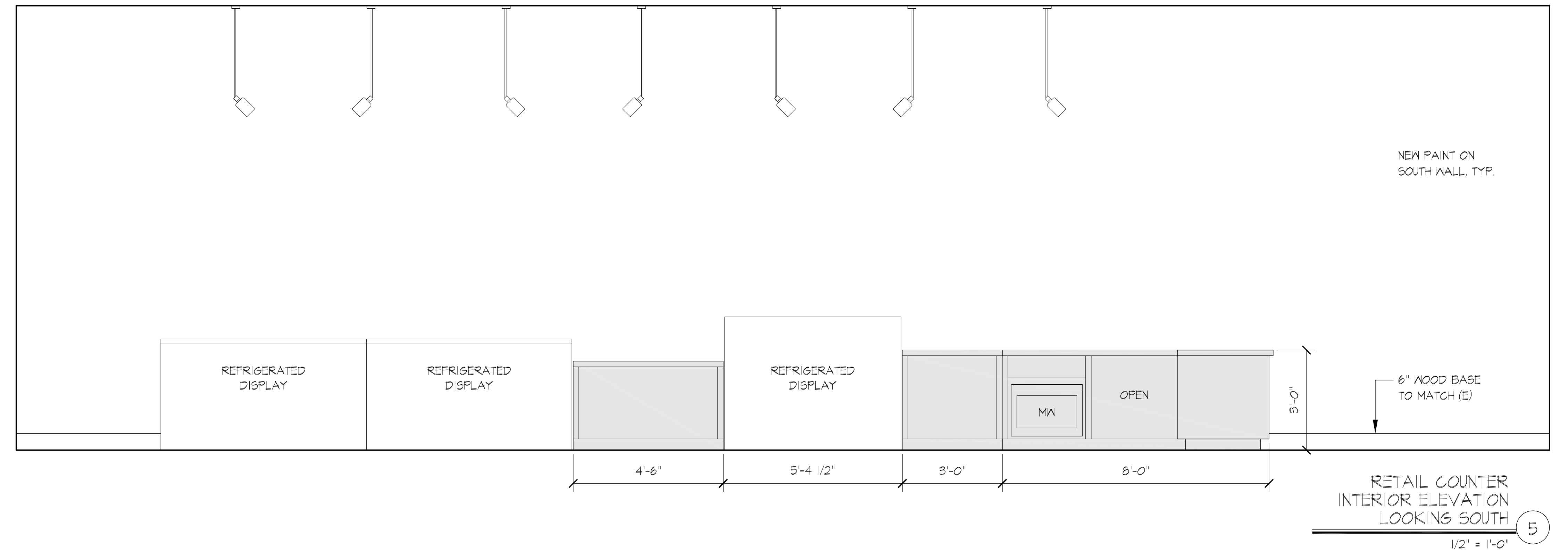
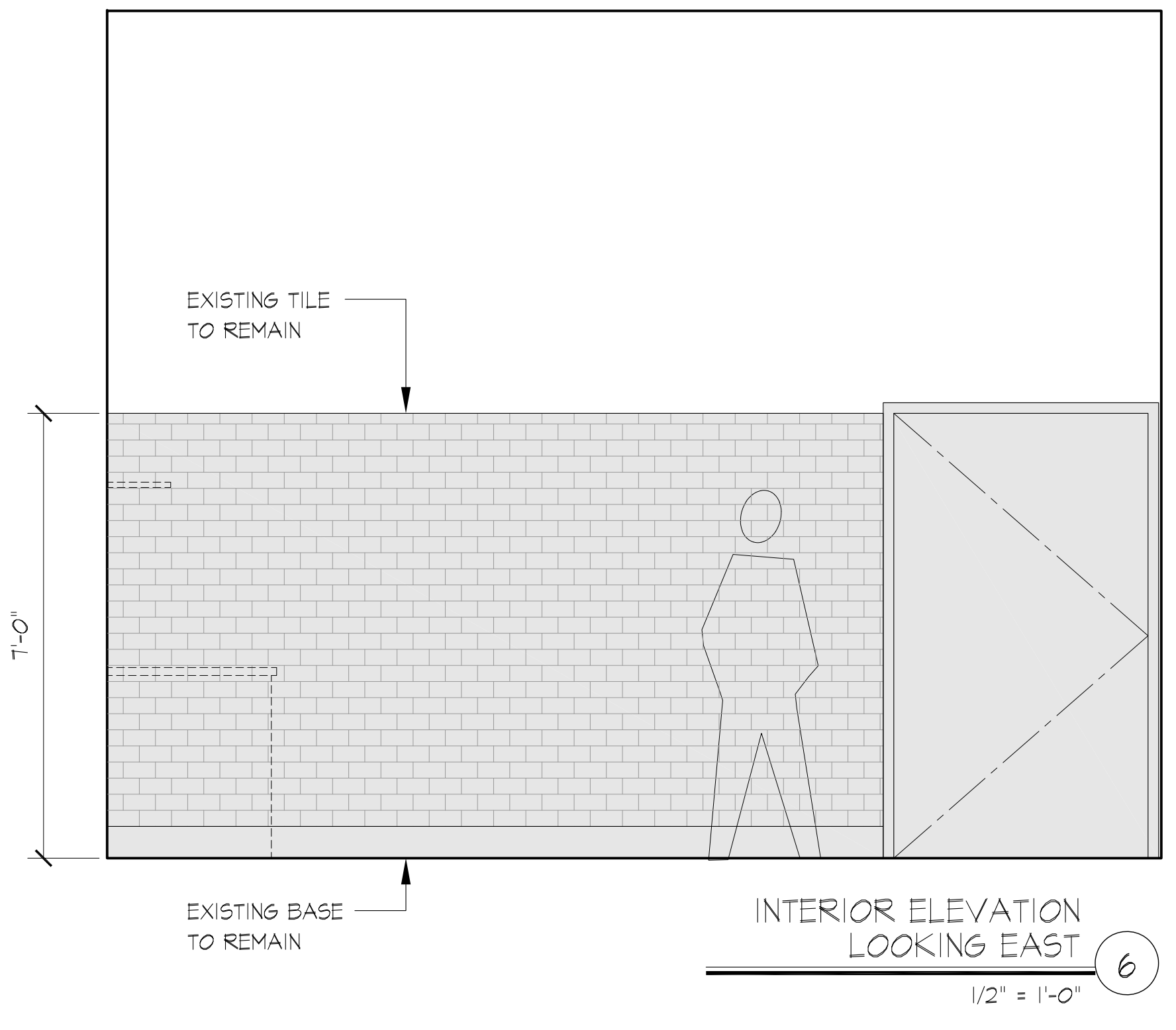
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REFLECTED
 CEILING PLAN &
 LIGHTING SCHEDULE

REVISIONS

NO.	DESCRIPTION



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INTERIOR
 ELEVATIONS

A4.1

BUILDING CODE INFORMATION	
LOCATION:	1600 PIKE PLACE, SEATTLE, WA
APPLICABLE CODE:	2018 SEATTLE BUILDING CODE
EXISTING BUILDING INFORMATION:	CONDOMINIUM UNIT 1 IN (3) UNIT BUILDING UNIT 1 IS 5000 SF ON LEVEL 1
CONSTRUCTION TYPE:	TYPES OF CONSTRUCTION (TABLE 601) TYPE IIB W/O SPRINKLERS 12,000 SF PERMITTED
OCCUPANCY:	OCCUPANCY GROUPS AND MAJOR USES (SECTION 302.1) EXISTING OCCUPANCY: F-1 - FOOD PRODUCTION M - RETAIL SALES NO CHANGE OF USE
OCCUPANT LOADS:	MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (1004.1.1) SEE OCCUPANCY CALCULATIONS ON PLAN TOTAL OCCUPANT LOAD, PRODUCTION = 29 TOTAL OCCUPANT LOAD, RETAIL = 49 TOTAL BUILDING OCCUPANT LOAD = 78 (2) EXITS REQUIRED
EXIT CONFIGURATION:	1007.1.1 - WHERE (2) EXITS ARE REQUIRED IN NON-SPRINKLED BUILDINGS, THEY SHALL BE SEPARATED BY 1/2 OF THE OVERALL DIAGONAL DIMENSION - SEE DIMENSIONS ON PLAN
EXIT ACCESS TRAVEL DISTANCE:	(TABLE 1017.2) NON-SPRINKLED, M OCCUPANCY - 200' MAX NON-SPRINKLED, F-1 OCCUPANCY - 200' MAX SEE EXIT PATHS ON PLAN
PLUMBING FIXTURES:	(TABLE 2902.1) - SEE CALCULATIONS BELOW PUBLIC FACILITIES PROVIDED IN PIKE PLACE MARKET EMPLOYEE PLUMBING FIXTURE CALCULATIONS: TOTAL EMPLOYEE OCCUPANT LOAD: 48 OCC REQ. REQUIREMENTS: 1 PER 100: 0-48 REQUIRED LAV REQUIREMENTS: 1 PER 100: 0-48 REQUIRED (1) WC & (1) LAV REQUIRED (2) WC & (2) LAVS PROVIDED IN (2) GENDER-NEUTRAL TOILET ROOMS

EXISTING BUILDING CODE INFORMATION	
APPLICABLE CODES:	2018 SEATTLE EXISTING BUILDING CODE
SUBSTANTIAL ALTERATIONS: SECTION 301	DEFINITION 1 - PROJECT IS NOT A REPAIR DEFINITION 2 - PROJECT DOES NOT EXTEND THE LIFE OF THE BUILDING BEYOND A TYPICAL TENANT IMPROVEMENT DEFINITION 3 - NO CHANGE OF USE DEFINITION 4 - BUILDING IS NOT VACANT DEFINITION 5 - BUILDING IS NOT URM PROJECT IS NOT A SUBSTANTIAL ALTERATION

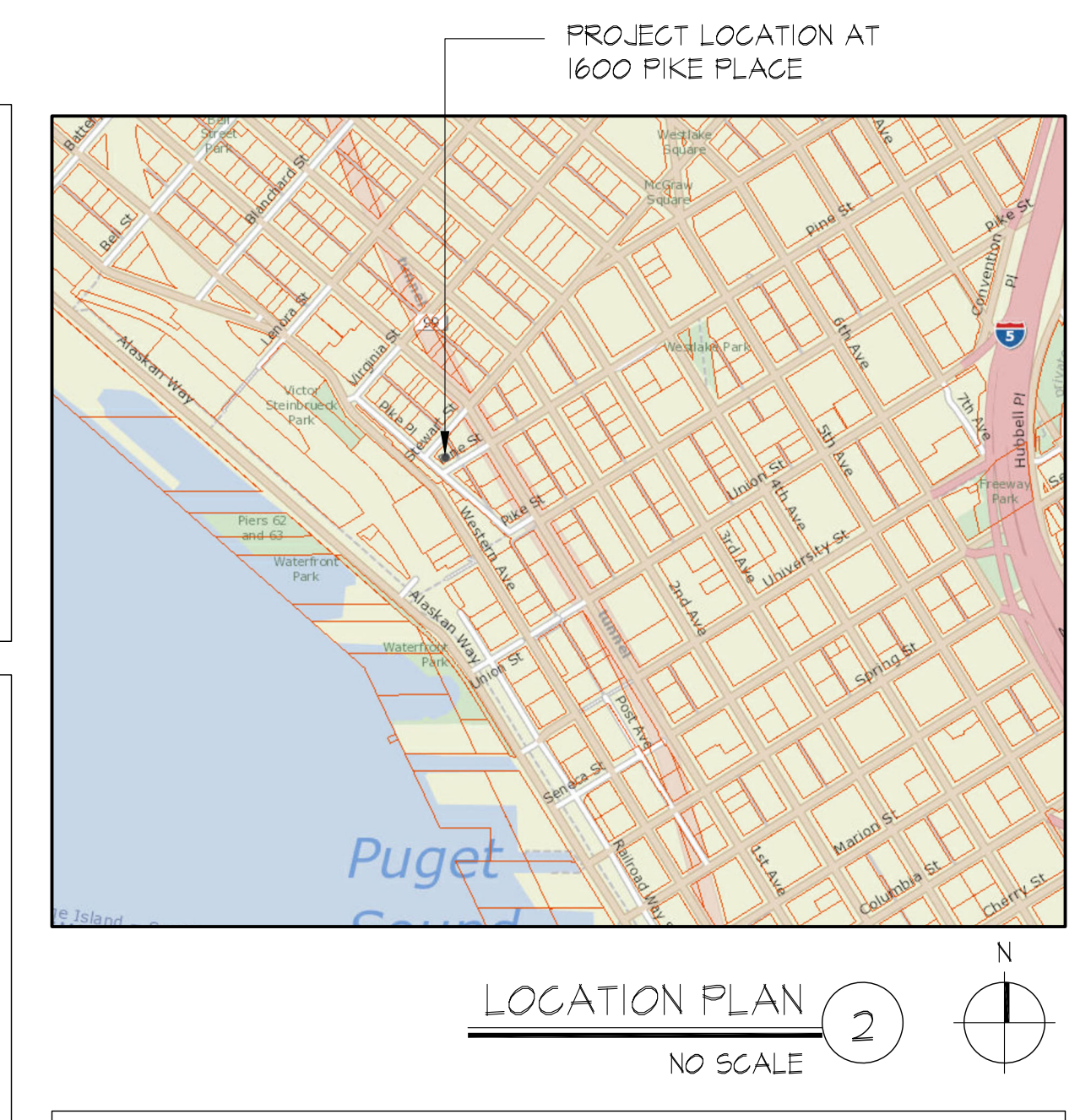
ENERGY CODE INFORMATION	
APPLICABLE CODE:	2018 SEATTLE ENERGY CODE
EXISTING BUILDINGS	CHAPTER 5 - EXISTING BUILDINGS
503 - ALTERATIONS	NO CHANGE OF SPACE CONDITIONING NO CHANGE OF USE NEW BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH C402.1 - C402.5 COMPLIANCE WITH C406 IS NOT REQUIRED
TABLE C402.1.3	MINIMUM R-VALUES FOR OPAQUE ENVELOPE COMPONENTS: NEW WOOD FRAMED WALLS: R-21 MIN NEW WOOD FRAMED FLOORS: R-30 MIN
TABLE C402.4	MAXIMUM U-VALUES FOR NEW GLAZING: NEW STOREFRONT GLAZING: U-0.34 MAX NEW GLAZED ENTRANCE DOORS: U-0.60 MAX NEW ROLL-UP DOORS: U-0.36 MAX
C402.5.1 - VESTIBULES	VESTIBULES ARE NOT REQUIRED IN BUILDINGS LESS THAN 4 STORIES ABOVE GRADE AND LESS THAN 10,000 SF IN AREA.
C501.6 - HISTORIC BUILDINGS	THE BUILDING OFFICIAL MAY MODIFY THE SPECIFIC REQUIREMENTS OF THIS CODE FOR HISTORIC BUILDINGS AND REQUIRE ALTERNATE PROVISIONS WHICH WILL RESULT IN A REASONABLE DEGREE OF ENERGY EFFICIENCY. THIS MODIFICATION MAY BE ALLOWED FOR THOSE BUILDINGS THAT ARE DESIGNATED AS A HISTORIC PROPERTY UNDER LOCAL OR STATE DESIGNATION LAW OR SURVEY. THIS PROJECT IS LOCATED IN THE PIKE PLACE MARKET HISTORIC DISTRICT AND SUBJECT TO REVIEW BY THE SEATTLE DEPARTMENT OF NEIGHBORHOODS. IN ORDER TO MAINTAIN THE HISTORIC CHARACTER OF THE BUILDING, EXISTING STOREFRONT WINDOWS, DOORS & GARAGE DOORS MAY NOT MEET THE MAXIMUM U-VALUE REQUIREMENTS IN TABLE C402.4. ALL WINDOWS & DOORS WILL USE 1" ARGON FILLED INSULATED GLAZING UNITS TO PROVIDE MAXIMUM ENERGY EFFICIENCY WHILE MAINTAINING THE HISTORIC CHARACTER OF THE BUILDING. CLEAR GLAZING IS SPECIFIED AS LOW-E AND REFLECTIVE COATINGS ARE NOT PERMITTED IN THE MARKET.

GENERAL PROJECT NOTES	
1)	THE CONTRACTOR IS TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY CONFLICTS, DISCREPANCIES, AND/OR UNFORESEEN CONDITIONS BEFORE BEGINNING WORK.
2)	THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND COORDINATING WITH ADDITIONAL UTILITIES LOCATIONS NOT SHOWN BUT ENCOUNTERED DURING CONSTRUCTION.
3)	THERE ARE ABBREVIATIONS THROUGHOUT THE PLANS WHICH ARE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY ABBREVIATIONS IN QUESTION.
4)	DIMENSIONS ARE SHOWN FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE ON DRAWINGS.
5)	DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL REFER TO DIMENSIONS SHOWN ON DRAWINGS AND CONFIRM DIMENSIONS WITH ACTUAL FIELD MEASUREMENT. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

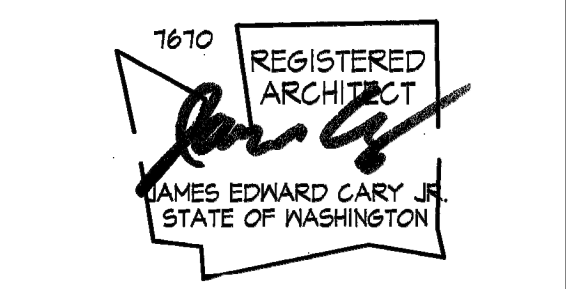
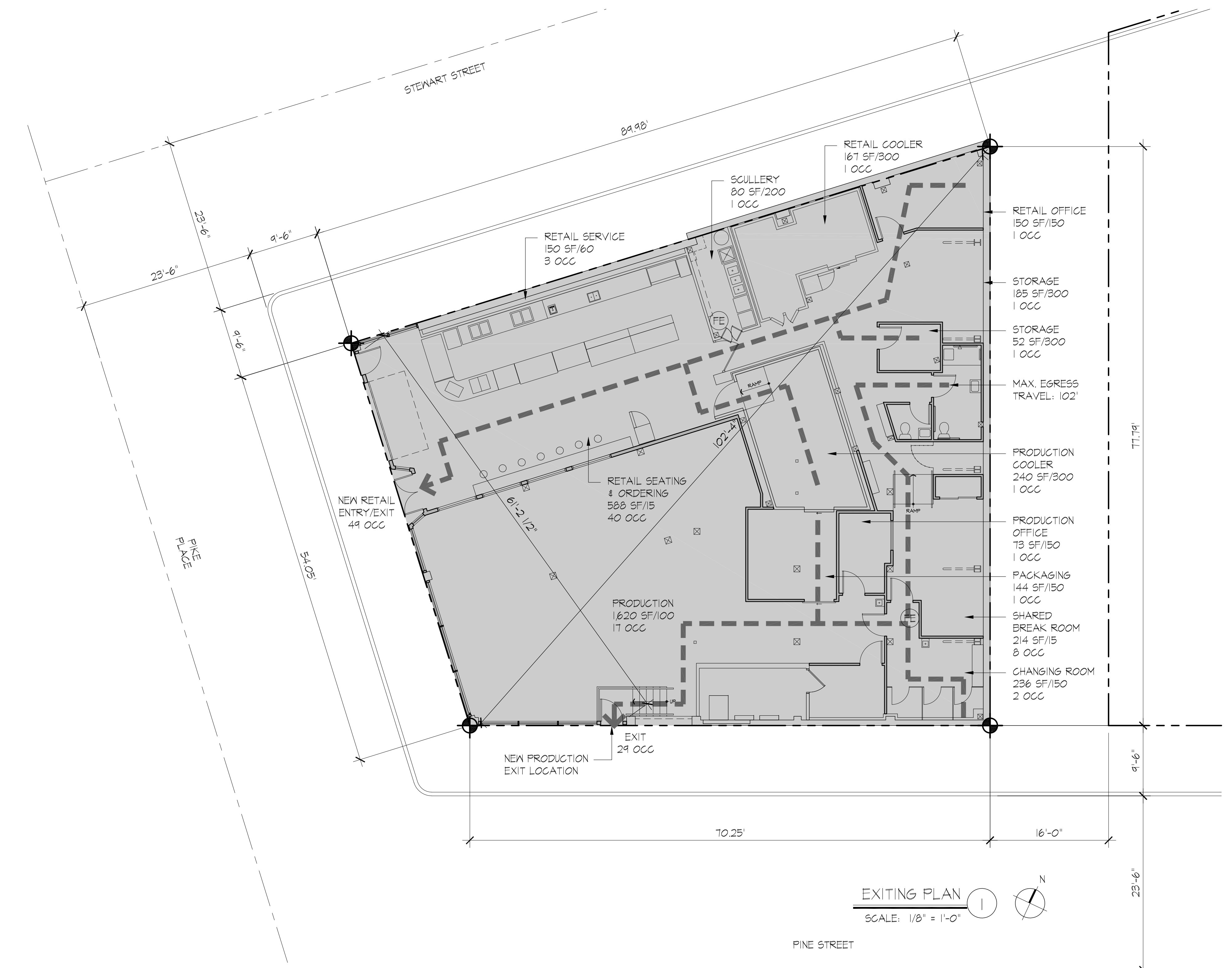
PROPERTY INFORMATION	
ADDRESS:	1600 PIKE PLACE SEATTLE, WA 98101
BUILDING OWNER:	2110 INVESTMENTS LLC
LEGAL DESCRIPTION:	GARDEN CENTER BUILDING CONDO PCT OF VALUE 51,5464 PLAT BLOCK: FLAT LOT: UNIT 1
APN:	264480-0010
PROPERTY SIZE:	5,235 SF
LAND USE INFORMATION SEATTLE MUNICIPAL CODE CHAPTER 23	
ZONING:	PYM-85
SMC 23.49.036	PIKE MARKET MIXED PROJECT IS LOCATED IN THE PIKE PLACE MARKET PERMITTED USES & REQUIREMENTS ARE DETERMINED PER SMC CHAPTER 23.24, PIKE PLACE MARKET HISTORICAL DISTRICT ORDINANCE. DEPARTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.

PROJECT DESCRIPTION	
EXPAND CHEESE PRODUCTION INTO EXISTING RETAIL SPACE VACATED BY PROJECT #6958580-CN. RECONFIGURE BACK OF HOUSE TO SUPPORT EXPANDED PRODUCTION & RETAIL.	
NO CHANGE OF USE	
DEPARTMENT OF NEIGHBORHOODS APPROVAL REQUIRED PRIOR TO PERMIT ISSUANCE. REVIEW TO OCCUR CONCURRENTLY WITH SDCI REVIEW.	
MECHANICAL, ELECTRICAL AND PLUMBING SCOPE TO BE PERMITTED SEPARATELY BY DESIGN-BUILD SUBCONTRACTORS.	

DRAWING INDEX	
T1	PROJECT INFORMATION & EXITING PLAN
D2.0	SELECTIVE DEMOLITION FOUNDATION PLAN
D2.1	SELECTIVE DEMOLITION LEVEL 1 FLOOR PLAN
D2.2	SELECTIVE DEMOLITION LEVEL 1 REFLECTED CEILING PLAN
D2.4	SELECTIVE DEMOLITION ROOF PLAN
D3.1	SELECTIVE DEMOLITION BUILDING SECTIONS
D4.1	SELECTIVE DEMOLITION BUILDING ELEVATIONS
A2.0	FOUNDATION PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	LEVEL 1 REFLECTED CEILING PLAN & LIGHTING SCHEDULE
A2.3	LEVEL 1 FINISH PLAN & SCHEDULE
A2.4	ROOF PLAN
A3.1	BUILDING SECTIONS
A3.2	WALL SECTIONS
A3.3	INTERIOR WALL SECTIONS
A4.1	BUILDING ELEVATIONS
A4.2	COLOR BUILDING ELEVATIONS
A4.3	TOILET ROOM PLAN & INTERIOR ELEVATIONS
A5.1	DOOR & WINDOW TYPES & SCHEDULES
A5.2	DOOR & WINDOW DETAILS
S1.1	GENERAL STRUCTURAL NOTES
S2.1	LEVEL 1 PLAN
S2.2	ROOF PLAN
S3.1	CONCRETE DETAILS
S4.1	WOOD FRAMING DETAILS
S5.1	STOREFRONT ELEVATIONS/DETAILS



CONTACT INFORMATION:	
TENANT BEECHER'S CHEESE 1600 PIKE PLACE SEATTLE, WA 98101 CONTACT: TIFFANY LEE 206.200.9865	ARCHITECT CARDINAL ARCHITECTURE 1326 5TH AVENUE, SUITE 440 SEATTLE, WA 98101 CONTACT: JIM CARY 206.624.2365 T
GENERAL CONTRACTOR COHO ENTERPRISES 1314 DENNY WAY, STE. 103 SEATTLE, WA 98107 CONTACT: CHRIS AUGUSTINE 206.130.2501 T	STRUCTURAL ENGINEER SPENSON SAY FAGET 2124 3RD AVENUE, SUITE 100 SEATTLE, WA 98121 CONTACT: FRANCESCA RENOIARD 206.456.3123 T



REVISIONS	

BEECHER'S CHEESE RENOVATION
 1600 PIKE PLACE
 SEATTLE, WA 98101



2219
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 PROJECT INFORMATION
 & EXITING PLAN

T1

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BEECHER'S CHEESE RENOVATION

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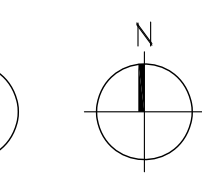
SELECTIVE DEMOLITION
 FOUNDATION
 PLAN

D2.0

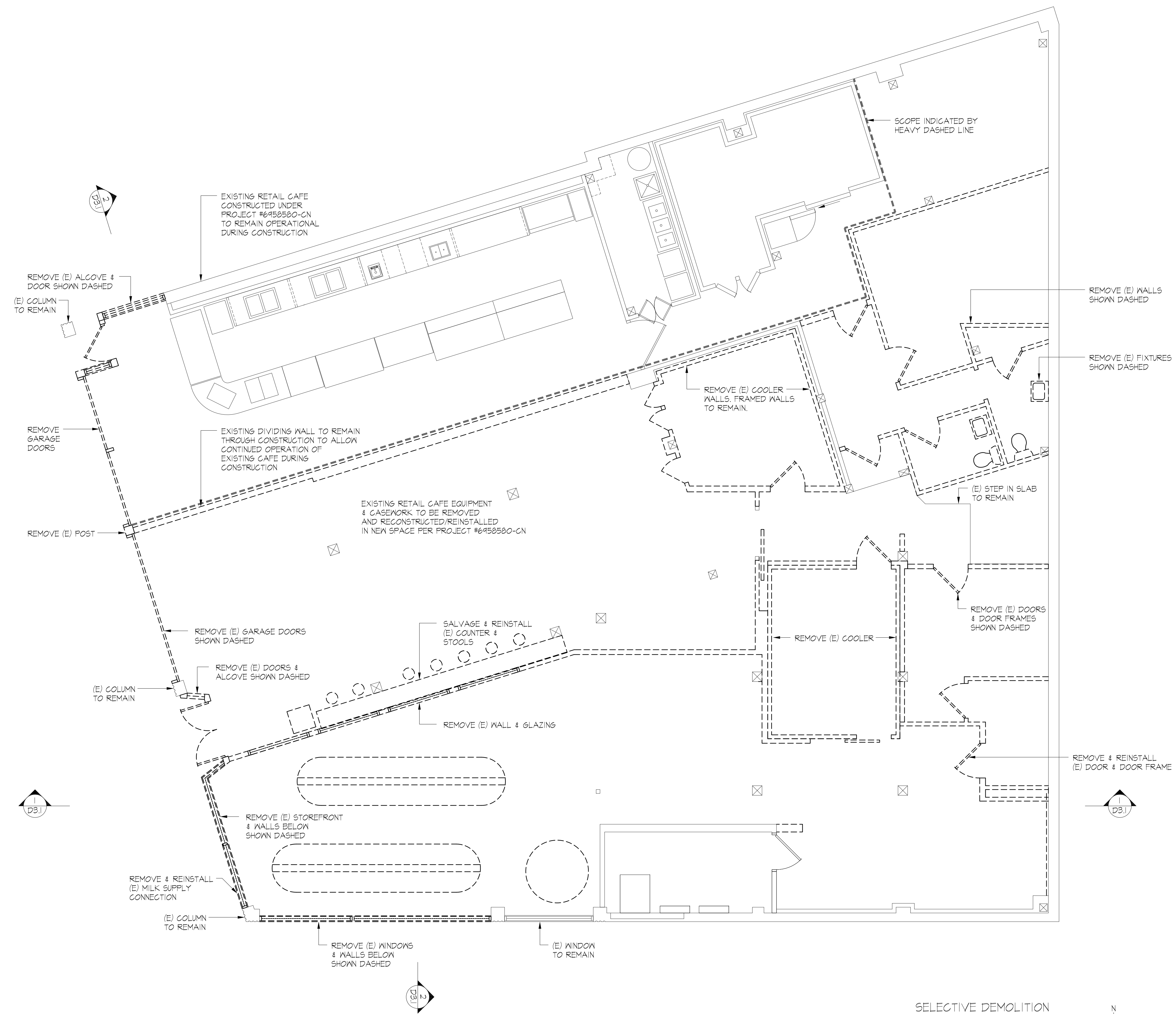
NOTE: EXISTING SLAB IS NOT LEVEL & HAS SIGNIFICANT HEIGHT VARIATIONS THROUGHOUT THE PROJECT AREA. CONTRACTOR TO VERIFY EXISTING SLAB ELEVATIONS. NEW SLAB TO MATCH EXISTING SLAB ELEVATION AT ALL INTERSECTIONS UNLESS INDICATED OTHERWISE.



SELECTIVE DEMOLITION
 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



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SELECTIVE DEMOLITION
 LEVEL 1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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SELECTIVE DEMOLITION
 LEVEL 1
 FLOOR PLAN

D2.1

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SELECTIVE DEMOLITION
 LEVEL 1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"

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SELECTIVE DEMOLITION
 LEVEL 1
 RCP

D2.2

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SELECTIVE
 DEMOLITION
 ROOF PLAN

D2.4

GENERAL ROOF NOTES:
 * REMOVE ALL ROOFTOP EQUIPMENT SHOWN DASHED
 * REPAIR ROOF AT (E) PENETRATIONS
 * PATCH ROOFING AT (E) PENETRATIONS



SELECTIVE DEMOLITION ROOF PLAN 1
 SCALE: 1/4" = 1'-0"

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BEECHER'S CHEESE RENOVATION

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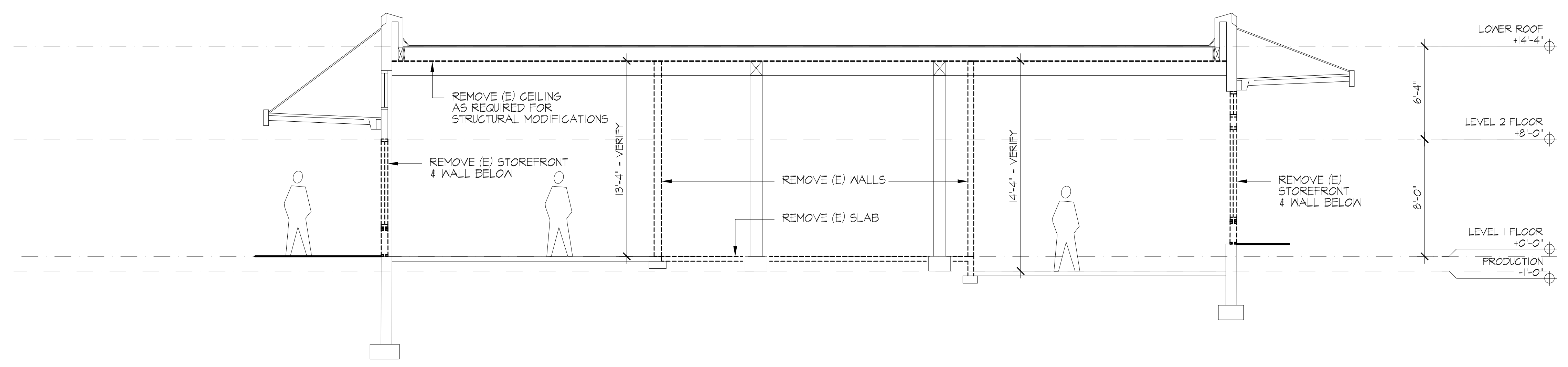


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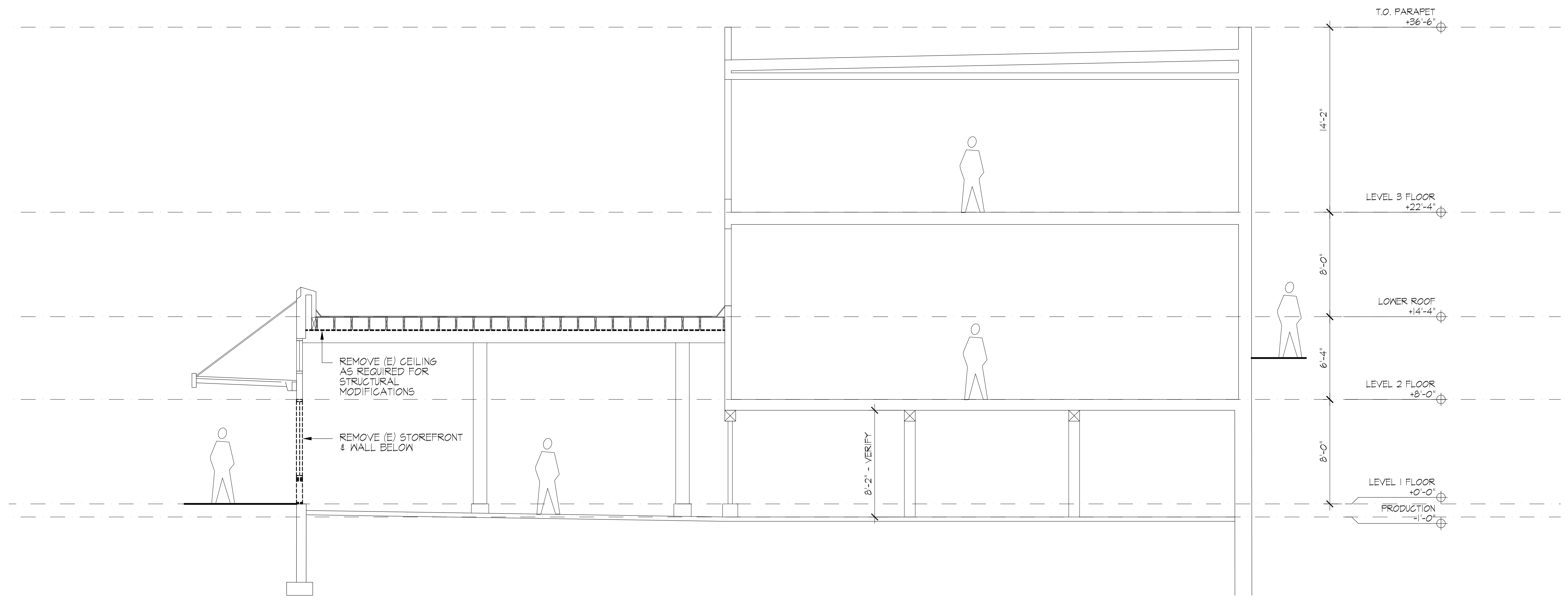
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SELECTIVE DEMOLITION
 BUILDING SECTIONS

D3.1



BUILDING SECTION 2
 1/4" = 1'-0"



BUILDING SECTION 1
 1/4" = 1'-0"

REVISIONS

BEECHER'S CHEESE RENOVATION

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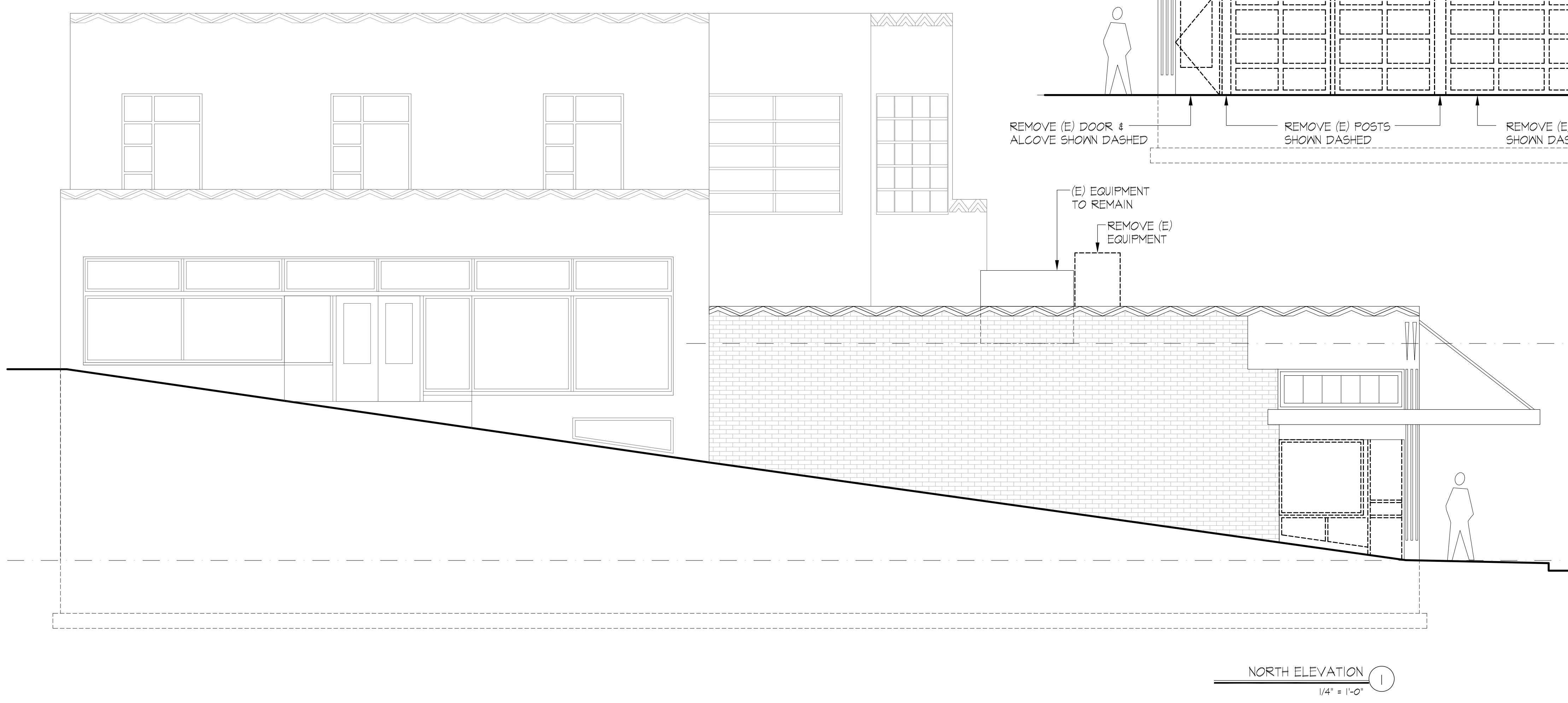
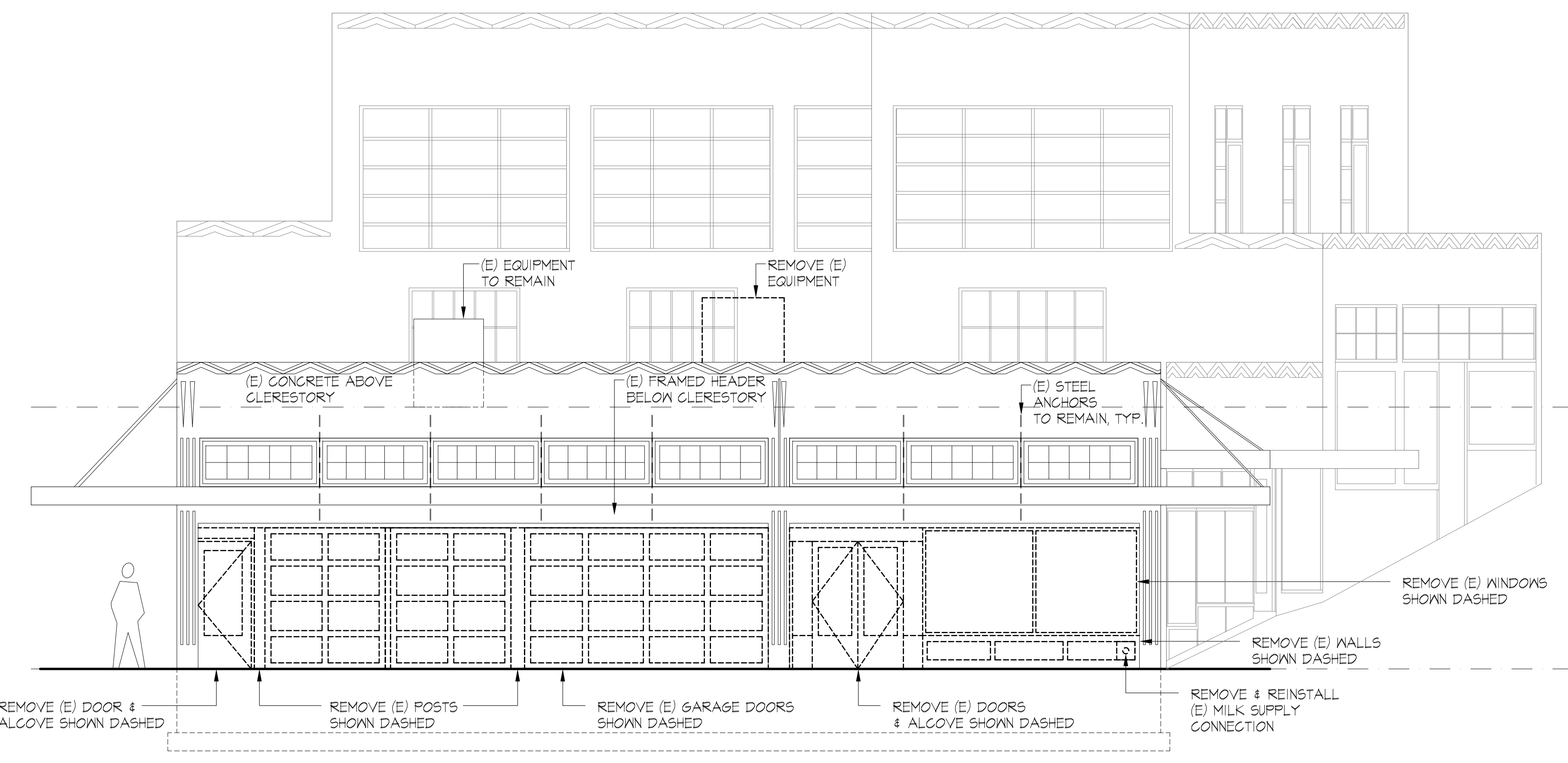
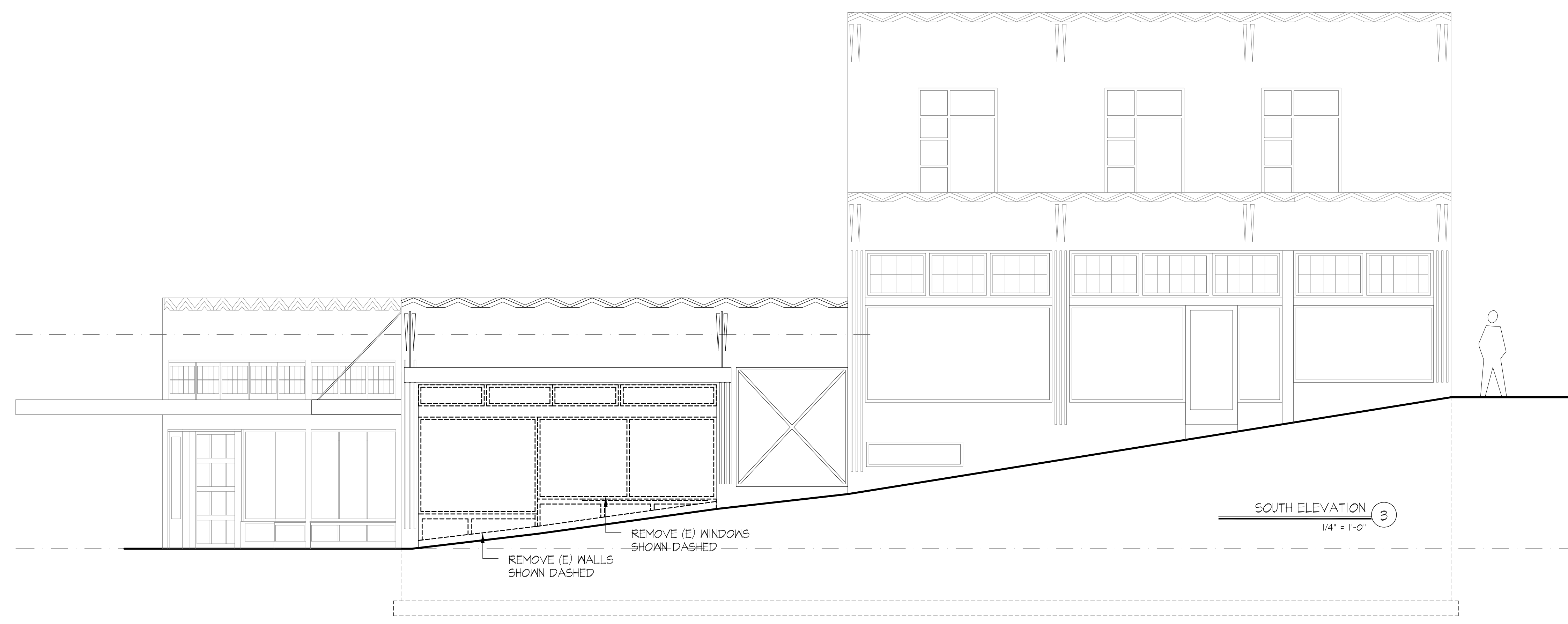
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SELECTIVE DEMO
 BUILDING
 ELEVATIONS

D4.1



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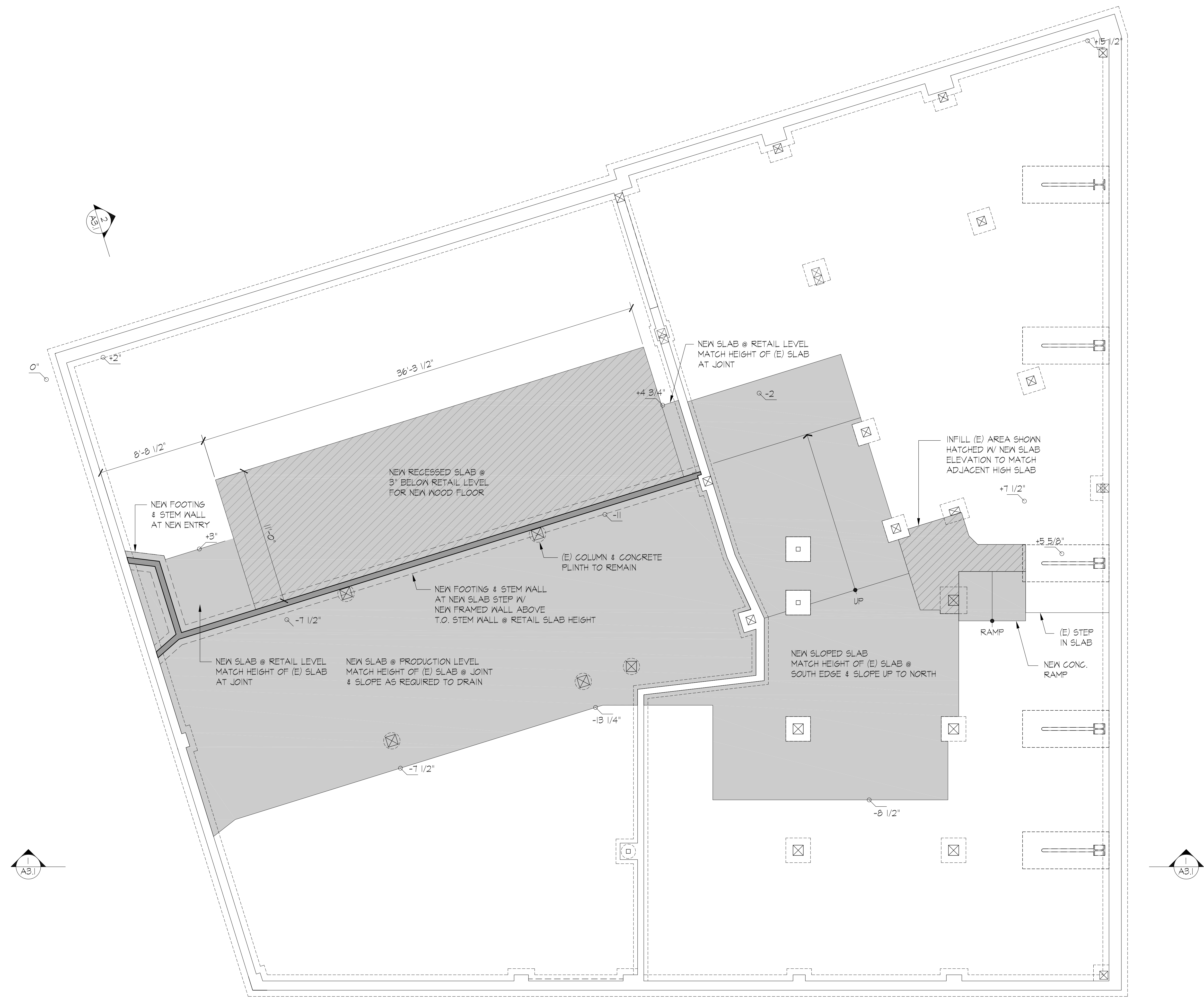
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FOUNDATION PLAN

A2.0

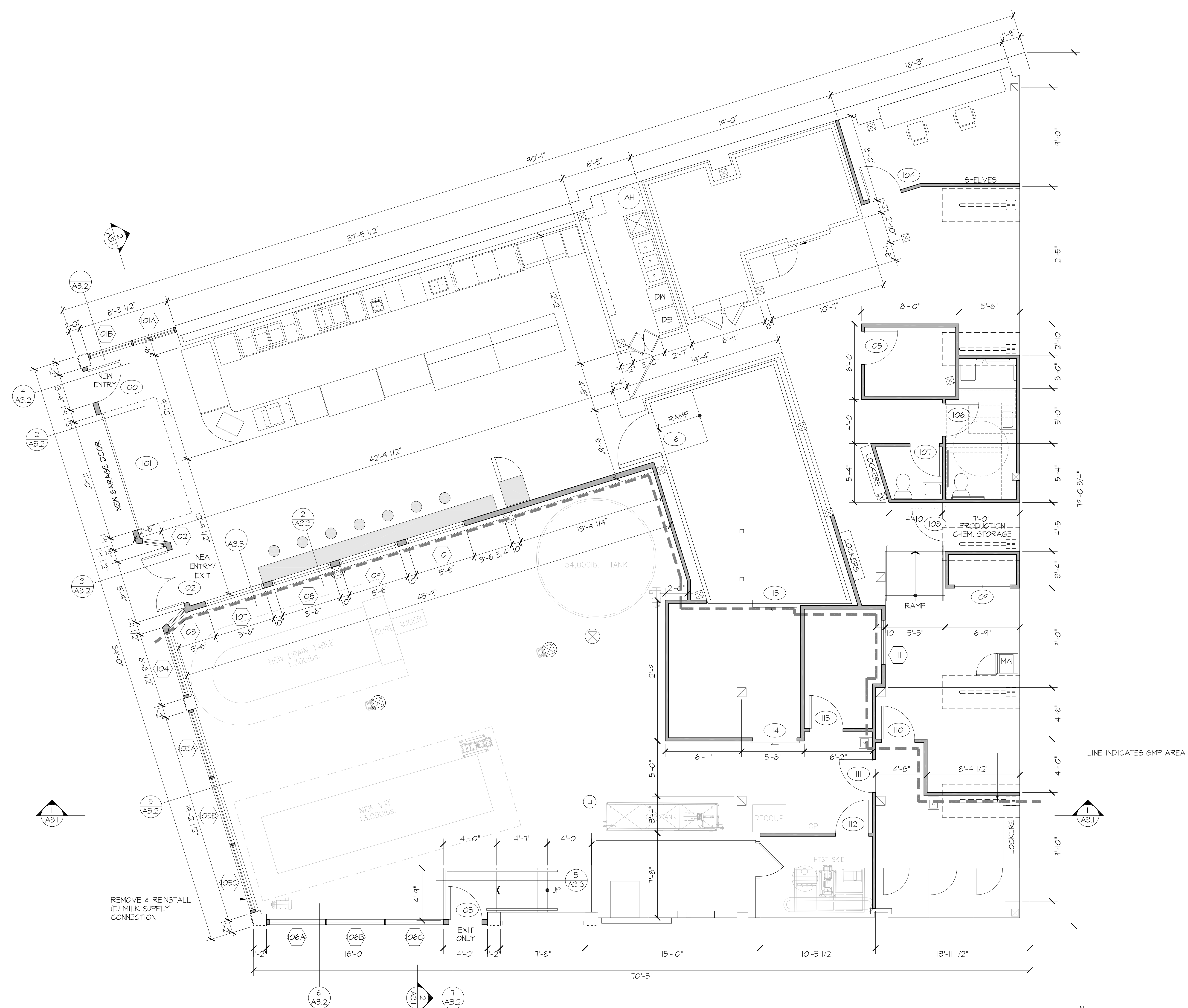
NOTE: EXISTING SLAB IS NOT LEVEL & HAS SIGNIFICANT HEIGHT VARIATIONS THROUGHOUT THE PROJECT AREA. CONTRACTOR TO VERIFY EXISTING SLAB ELEVATIONS. NEW SLAB TO MATCH EXISTING SLAB ELEVATION AT ALL INTERSECTIONS UNLESS INDICATED OTHERWISE.



FOUNDATION PLAN 1
 SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION



LEVEL 1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
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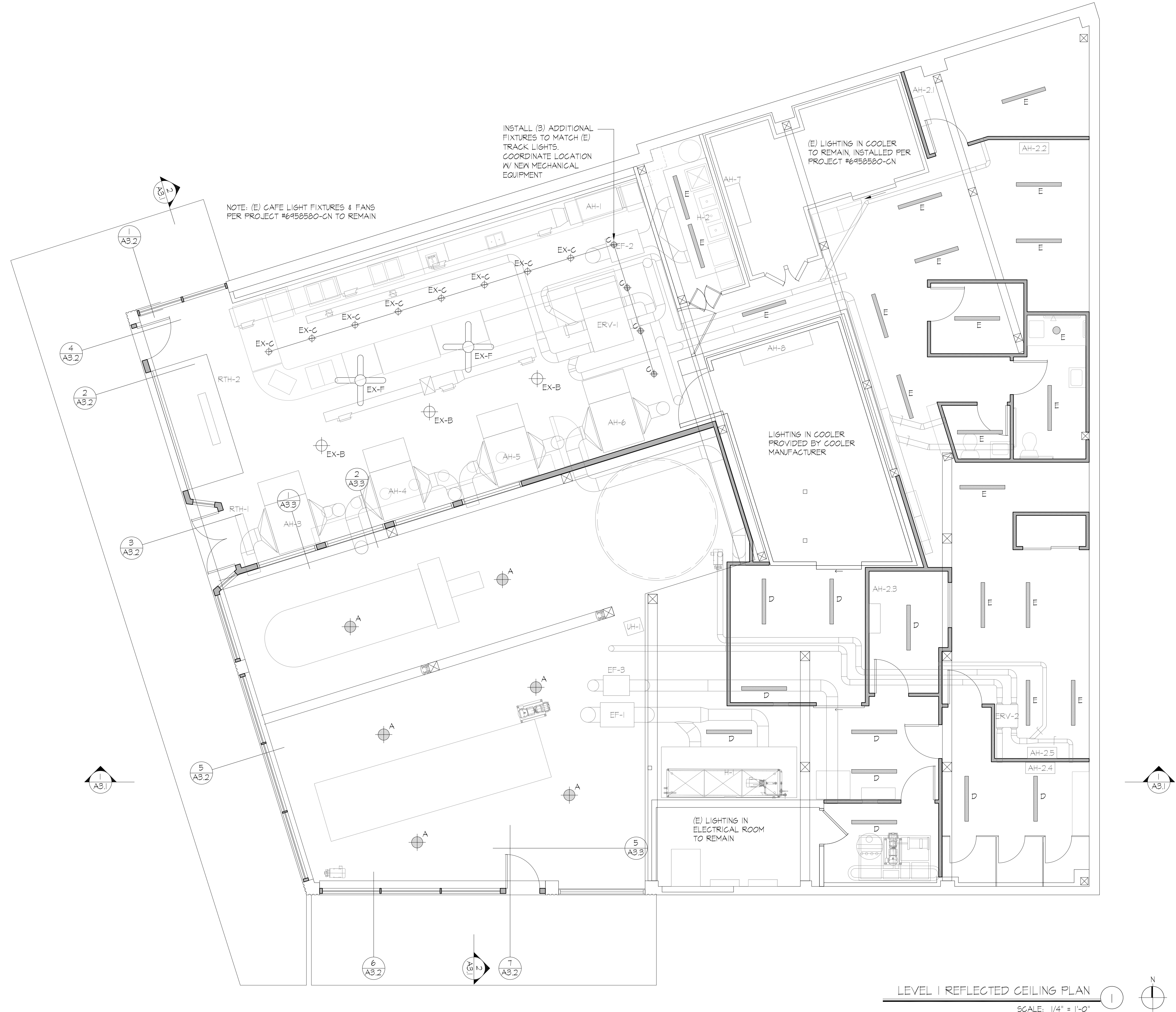
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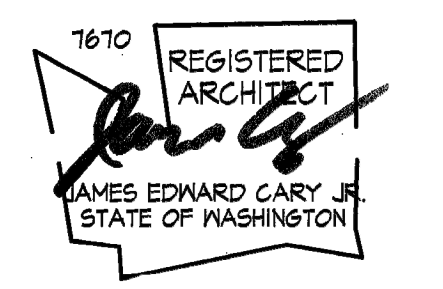
LEVEL 1
 FLOOR PLAN

A2.1

LIGHTING SCHEDULE				
#	TYPE	PRODUCT	COLOR TEMPERATURE	NOTES
A	LED PENDANT	MATCH EXISTING FIXTURES	2700K	NEW FIXTURES TO VISUALLY MATCH (E) PRODUCTION FIXTURES TO BE REMOVED. NEW FIXTURES TO BE SEALED & SHATTERPROOF, 90 CRI
EX-B	LED PENDANT	EXISTING FIXTURE	2700K	EXISTING CAFE FIXTURES TO BE REFURBISHED & REINSTALLED PER PROJECT #6950500-CN
G	AIMABLE LED TRACK LIGHT	MATCH EXISTING FIXTURES	2700K	INSTALL (3) ADDITIONAL FIXTURES TO MATCH FIXTURES EX-G, INSTALLED PER PROJECT #6950500-CN
D	SEALED SURFACE-MOUNT LINEAR LED	LITHONIA FEM OR SIMILAR	3000K	NEW FIXTURES TO BE SEALED & SHATTERPROOF, 90 CRI
E	SURFACE-MOUNT LINEAR LED	LITHONIA FML/LOR SIMILAR	3000K	
GENERAL NOTES: * ELECTRICAL SCOPE TO BE PERMITTED BY DESIGN-BUILD SUBCONTRACTOR * PROVIDE OCCUPANCY & DAYLIGHT SENSORS AS REQUIRED BY WA STATE ENERGY CODE * MINIMUM 50 FC (540 LUX) REQUIRED IN FOOD PREPARATION AREAS. * MINIMUM 10 FC (100 LUX) REQUIRED IN WALK-IN COOLER. * WALK-IN LIGHTING TO BE PROVIDED BY COOLER MANUFACTURER. * MECHANICAL SCOPE TO BE PERMITTED SEPARATELY. EQUIPMENT SHOWN FOR REFERENCE ONLY.				



LEVEL 1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



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BEECHER'S CHEESE RENOVATION

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LEVEL 1
 REFLECTED
 CEILING PLAN

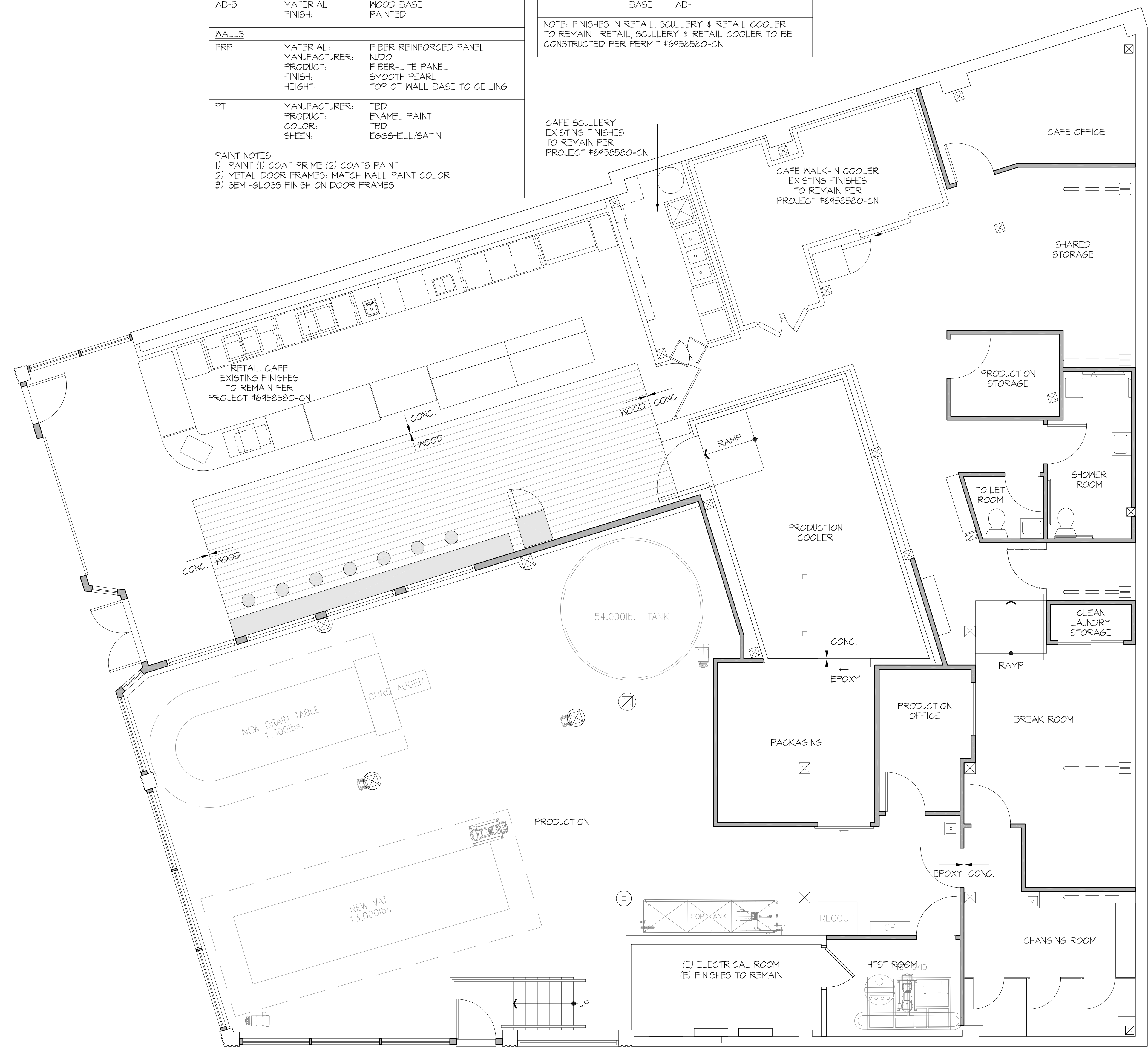
A2.2

NO.	REVISIONS

INTERIOR FINISH MATERIALS		
FLOOR		
CONCRETE	MATERIAL: FINISH:	POLISHED CONCRETE CLEAR SEALER
EPOXY CONCRETE	MATERIAL: FINISH:	POLY-CRETE MDB TO BE DETERMINED
WOOD	MATERIAL: FINISH: INSTALLATION:	3/4" OAK FLOORING CLEAR SEALER SEE 2/A3.3
CEILING		
GWB	MATERIAL:	5/8" GWB CEILING, PRIME & PRIME & (2) COATS PAINT
WALL BASE		
WB-1	MATERIAL: FINISH: PROFILE:	RUBBER WALL BASE BLACK 6" HIGH SEAL TO FLOOR IN TOILET ROOMS
WB-2	MATERIAL: FINISH:	6" INTEGRAL COVE BASE POLY-CRETE MDB
WB-3	MATERIAL: FINISH:	WOOD BASE PAINTED
WALLS		
FRP	MATERIAL: MANUFACTURER: PRODUCT: FINISH: HEIGHT:	FIBER REINFORCED PANEL NUDO FIBER-LITE PANEL SMOOTH PEARL TOP OF WALL BASE TO CEILING
PT	MANUFACTURER: PRODUCT: COLOR: SHEEN:	TBD ENAMEL PAINT TBD EGGSHELL/SATIN
PAINT NOTES: 1) PAINT (1) COAT PRIME (2) COATS PAINT 2) METAL DOOR FRAMES: MATCH WALL PAINT COLOR 3) SEMI-GLOSS FINISH ON DOOR FRAMES		

INTERIOR FINISH SCHEDULE		
PRODUCTION INC. OFFICE, PACKAGING & HTST ROOM	FLOOR: WALLS: CEILING: BASE:	EPOXY CONCRETE FRP GWB WB-3
PRODUCTION COOLER	FLOOR: WALLS: CEILING: BASE:	POLISHED CONCRETE FACTORY FINISH FACTORY FINISH N/A
TOILET ROOMS	FLOOR: WALLS: CEILING: BASE:	POLISHED CONCRETE FRP TO 5'-0", PAINT ABOVE GWB WB-1
RETAIL	FLOOR: WALLS: CEILING: BASE:	POLISHED CONCRETE WOOD WHERE INDICATED PAINT ON NEW SOUTH WALL (E) E, N & W WALLS TO REMAIN GWB WB-3
ALL OTHER AREAS	FLOOR: WALLS: CEILING: BASE:	POLISHED CONCRETE PAINT GWB WB-1
NOTE: FINISHES IN RETAIL, SCULLERY & RETAIL COOLER TO REMAIN. RETAIL, SCULLERY & RETAIL COOLER TO BE CONSTRUCTED PER PERMIT #6458580-CN.		

EXTERIOR FINISH NOTES:
 EXTERIOR FINISHES ON NEW MATERIALS TO MATCH EXISTING.
 * NEW PAINTED WOOD WINDOW FRAMES & TRIM
 * NEW PAINTED WOOD DOORS
 * NEW PAINTED WOOD WALLS BELOW NEW WINDOWS
 NEW PAINT COLORS:
 WINDOW FRAMES, DOORS & TRIM - DARK GREEN
 WALLS - LIGHT SAND
 FINAL COLORS TO BE DETERMINED IN FIELD TO MATCH EXISTING.
 CONTRACTOR TO PROVIDE PAINT DRAWINGS FOR COMPARISON TO EXISTING.



LEVEL 1 FINISH PLAN
 SCALE: 1/4" = 1'-0"

BEECHER'S CHEESE RENOVATION

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LEVEL 1
 FINISH PLAN

A2.3

REVISIONS

NO.	DESCRIPTION

GENERAL ROOF NOTES:
 * MECHANICAL EQUIPMENT SHOWN FOR REFERENCE ONLY
 * MECHANICAL SCOPE BY SEPARATE PERMIT



ROOF PLAN 1
 SCALE: 1/4" = 1'-0"

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ROOF PLAN

A2.4

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BEECHER'S CHEESE RENOVATION

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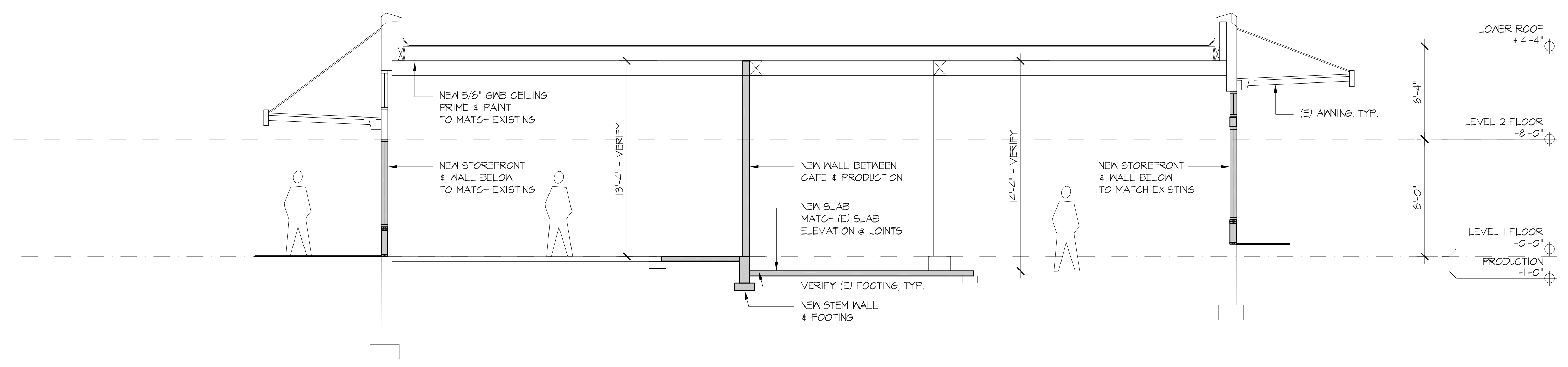
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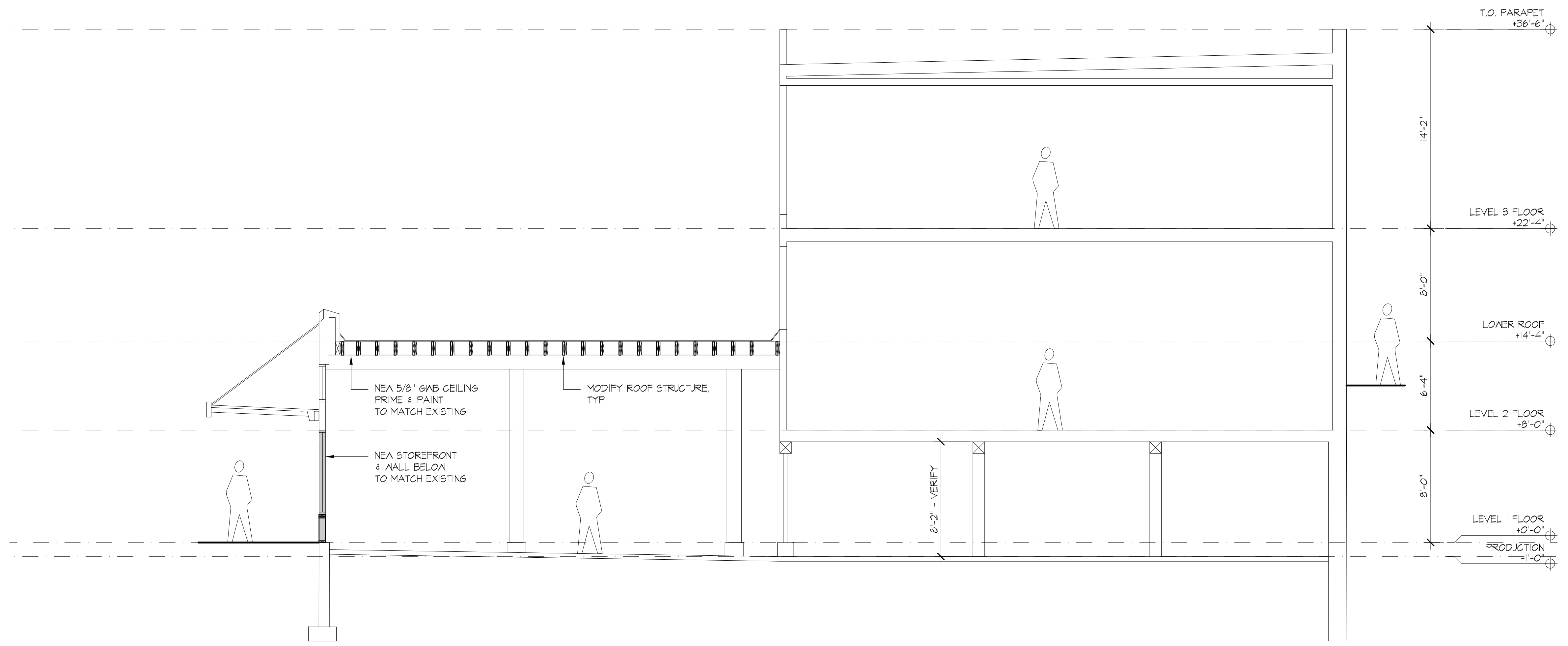
BUILDING SECTIONS

A3.1

NOTE: EXISTING SLAB IS NOT LEVEL & HAS SIGNIFICANT HEIGHT VARIATIONS THROUGHOUT THE PROJECT AREA. CONTRACTOR TO VERIFY EXISTING SLAB ELEVATIONS. NEW SLAB TO MATCH EXISTING SLAB ELEVATION AT ALL INTERSECTIONS UNLESS INDICATED OTHERWISE.

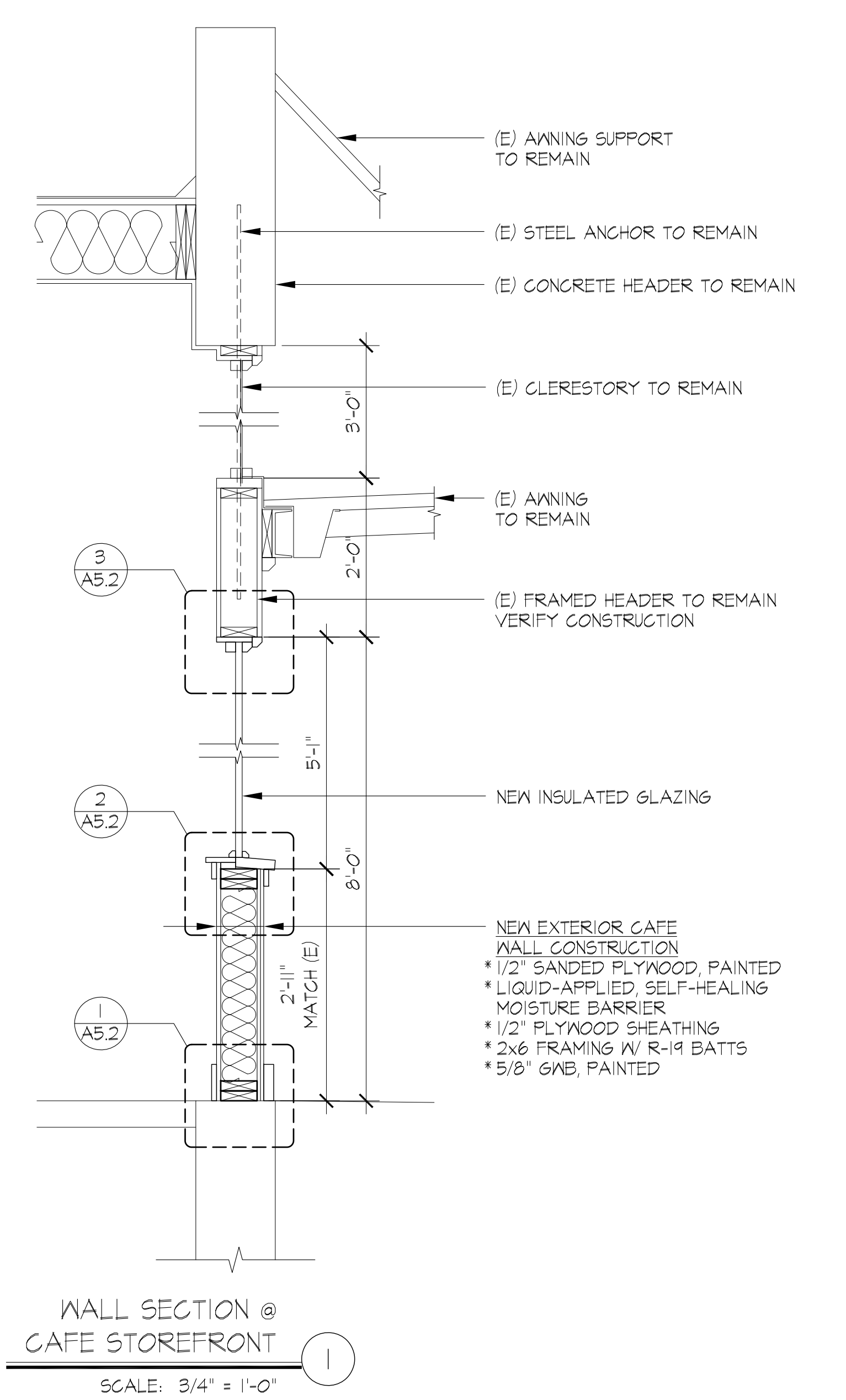
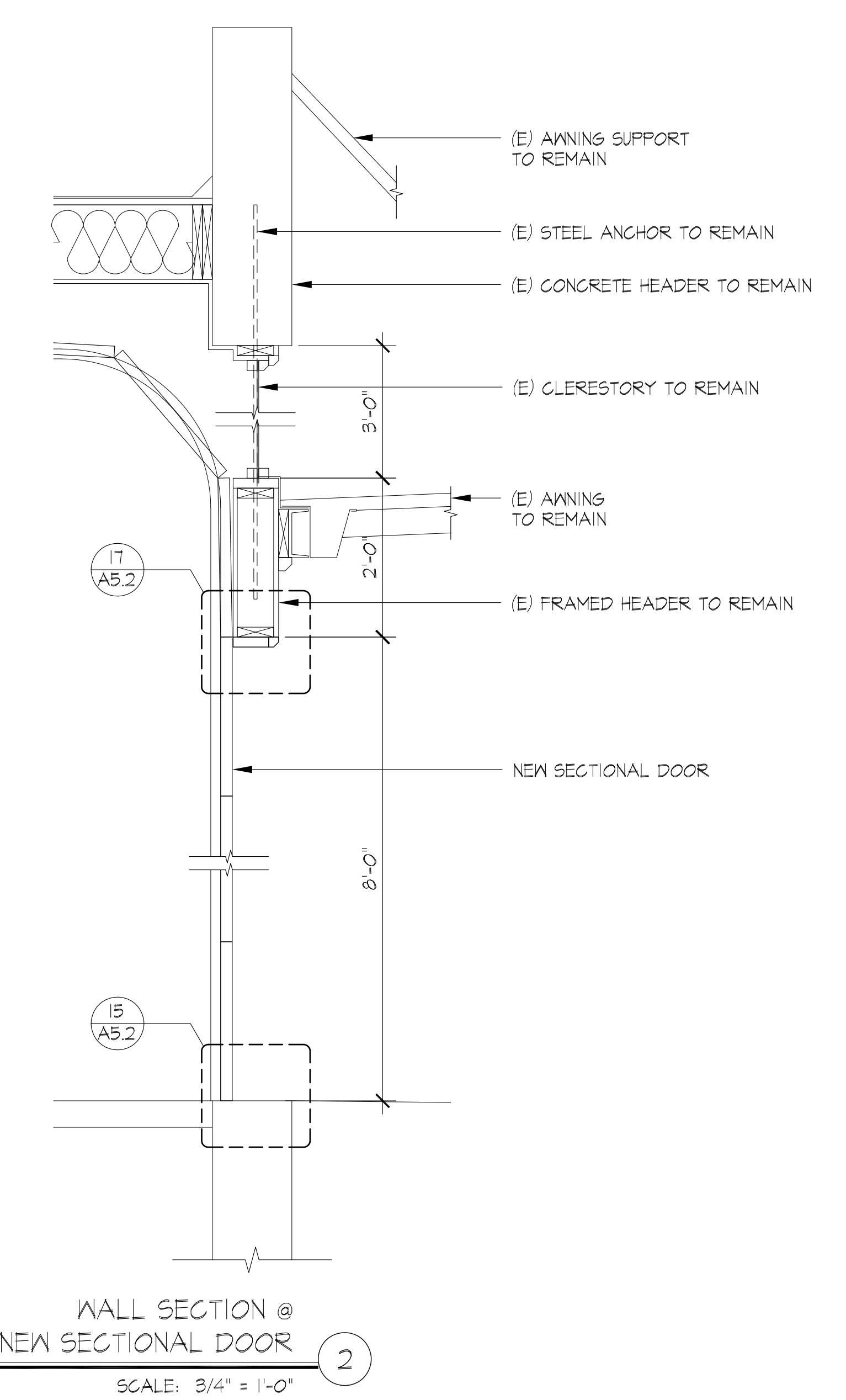
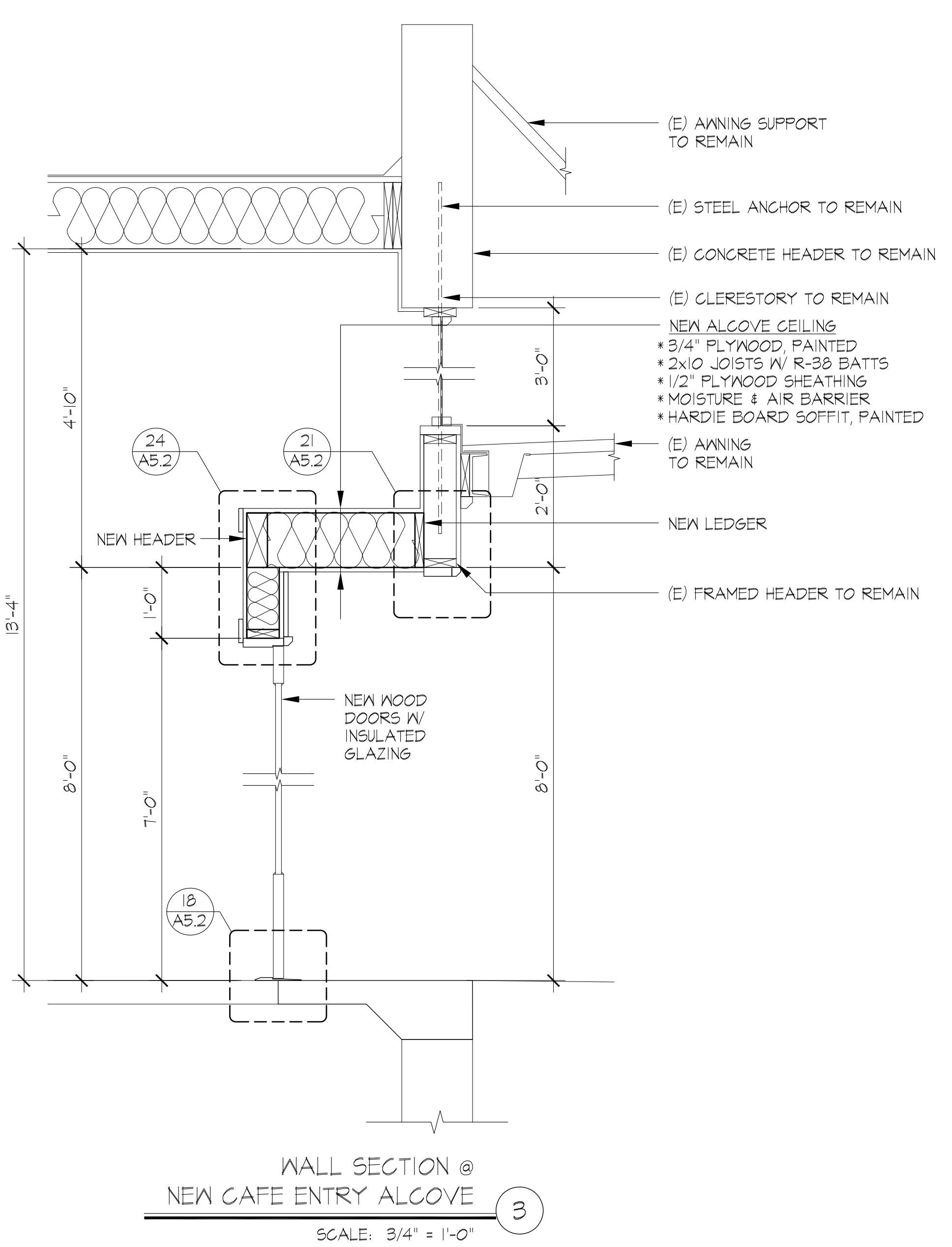
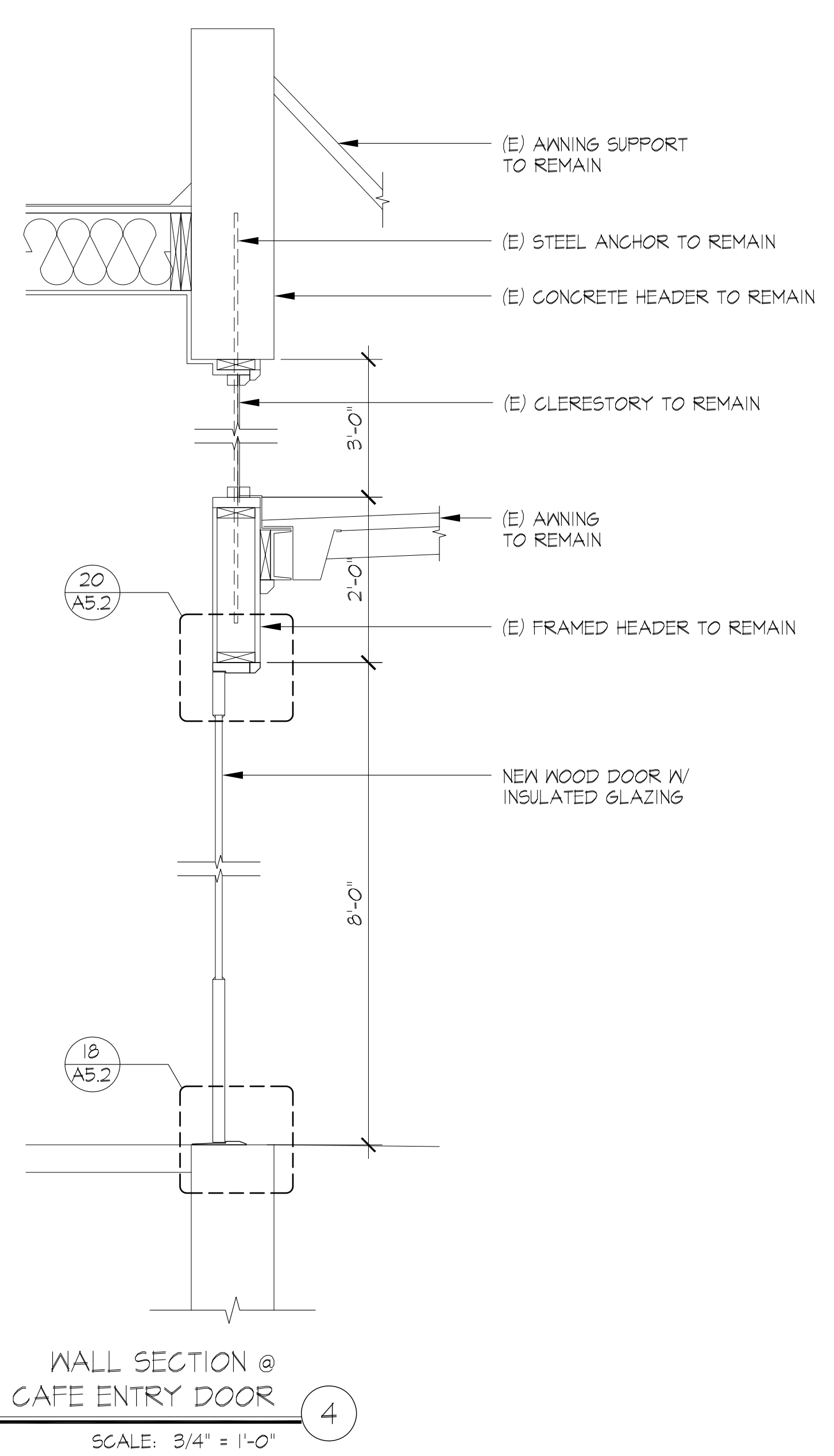
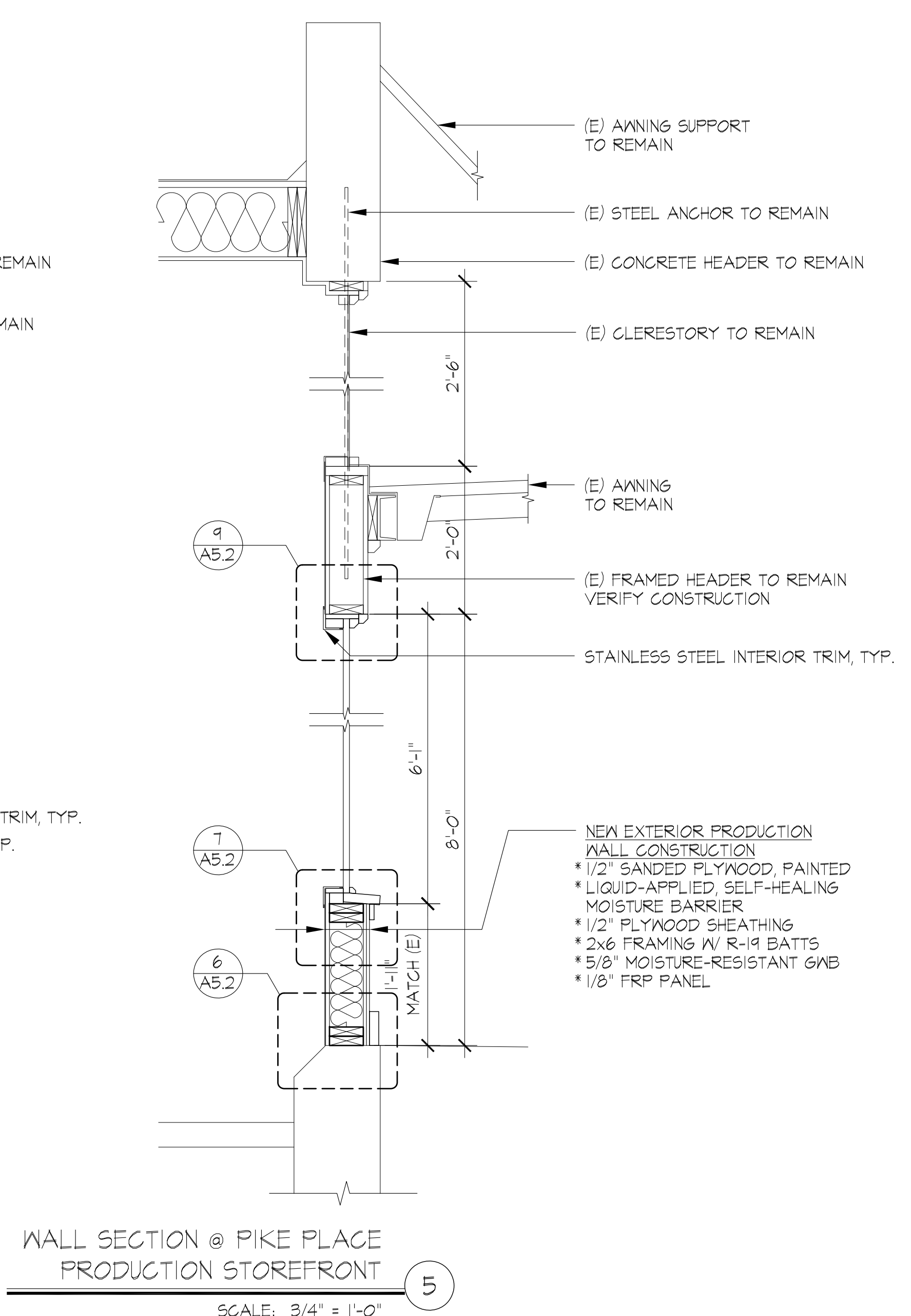
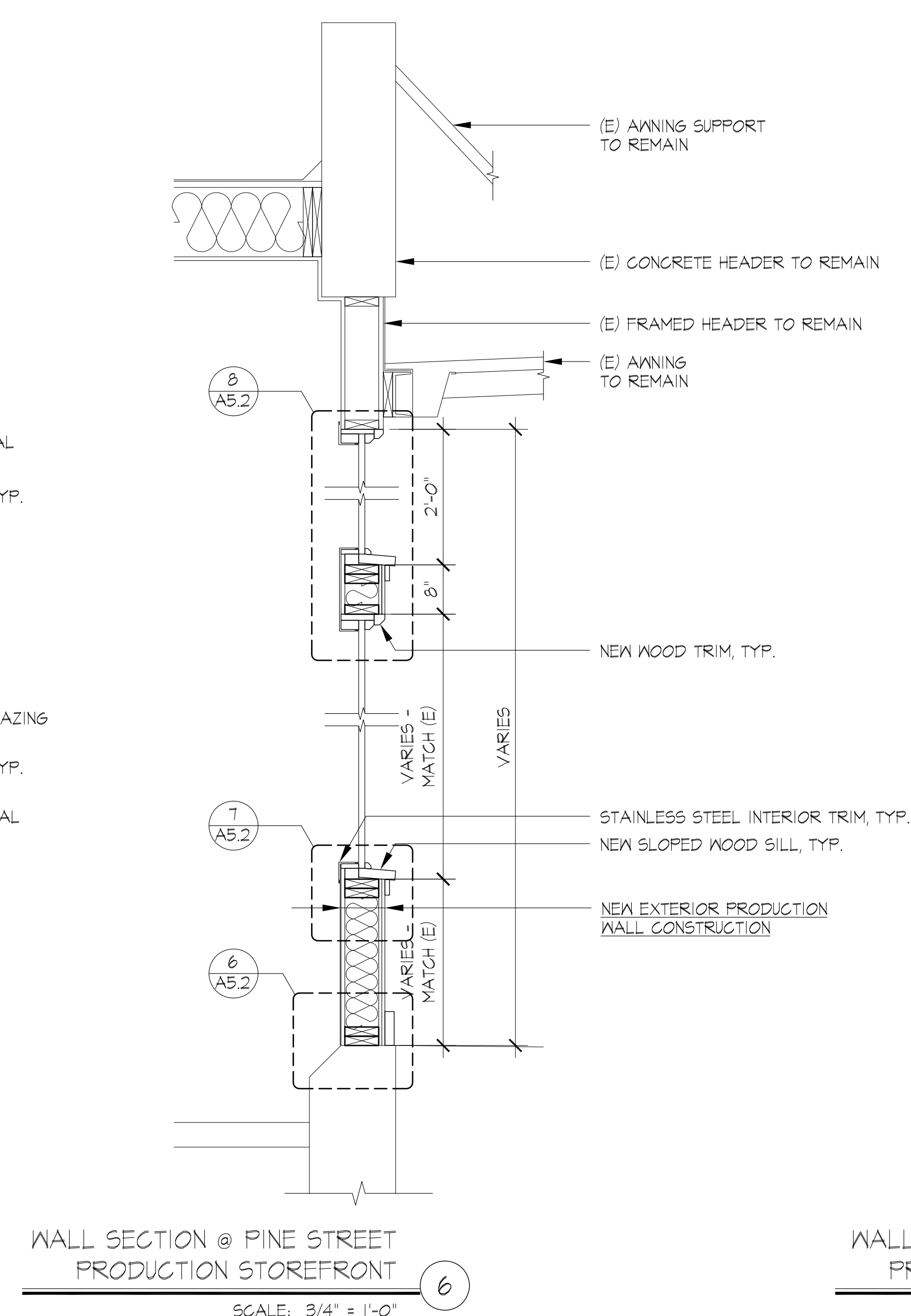
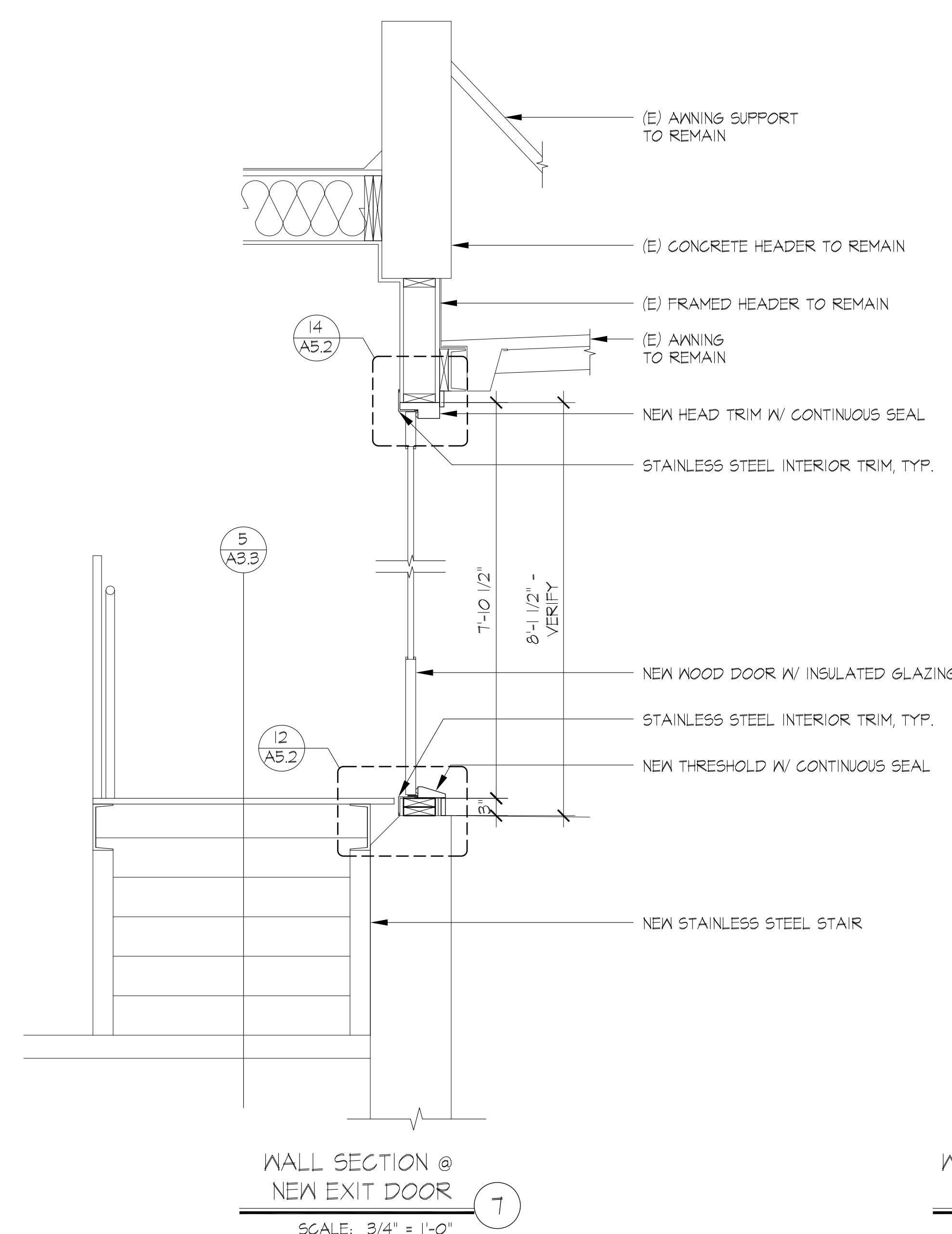


BUILDING SECTION 2
 1/4" = 1'-0"



BUILDING SECTION 1
 1/4" = 1'-0"

NO.	REVISIONS



BEECHER'S CHEESE RENOVATION

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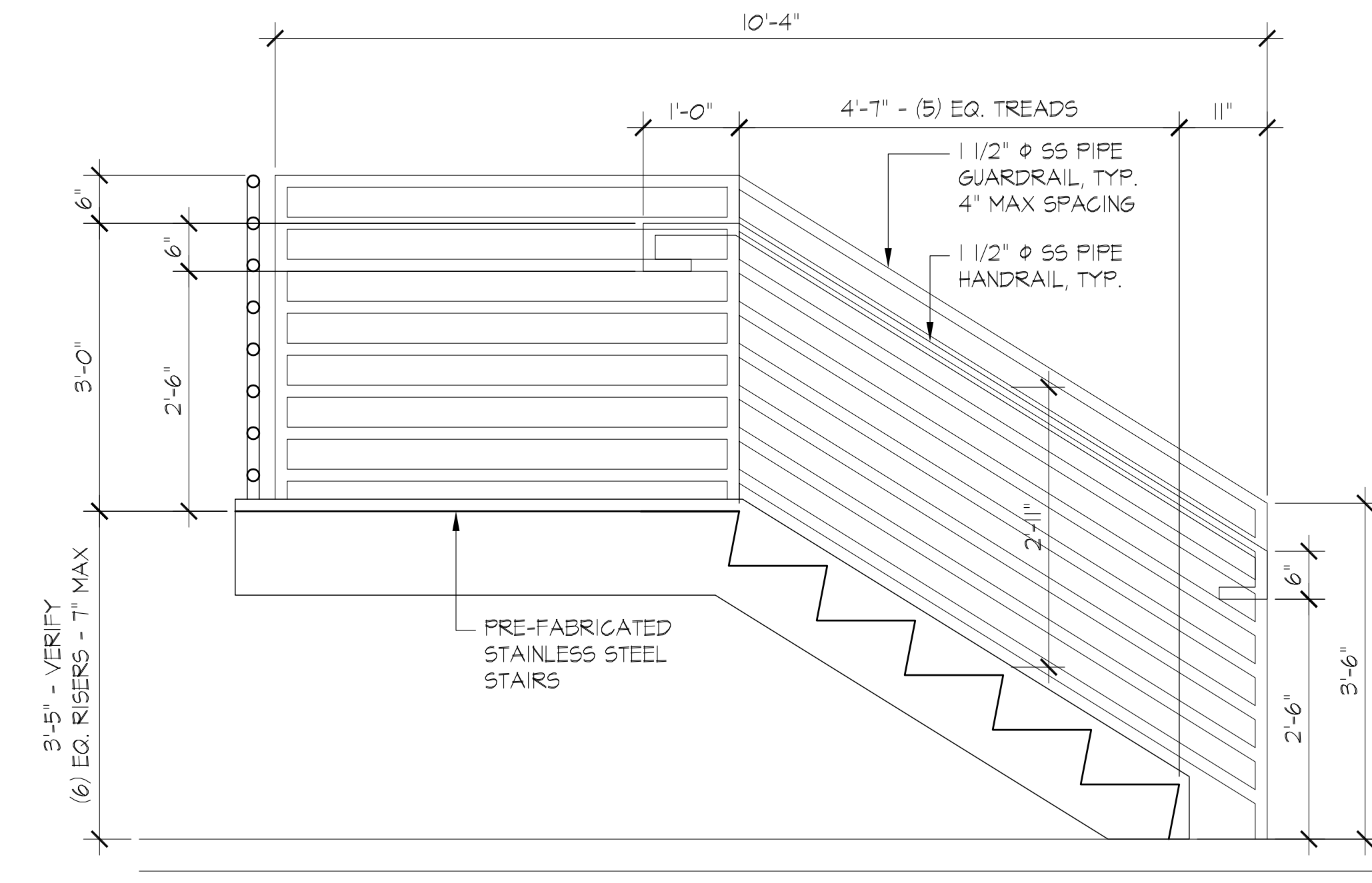
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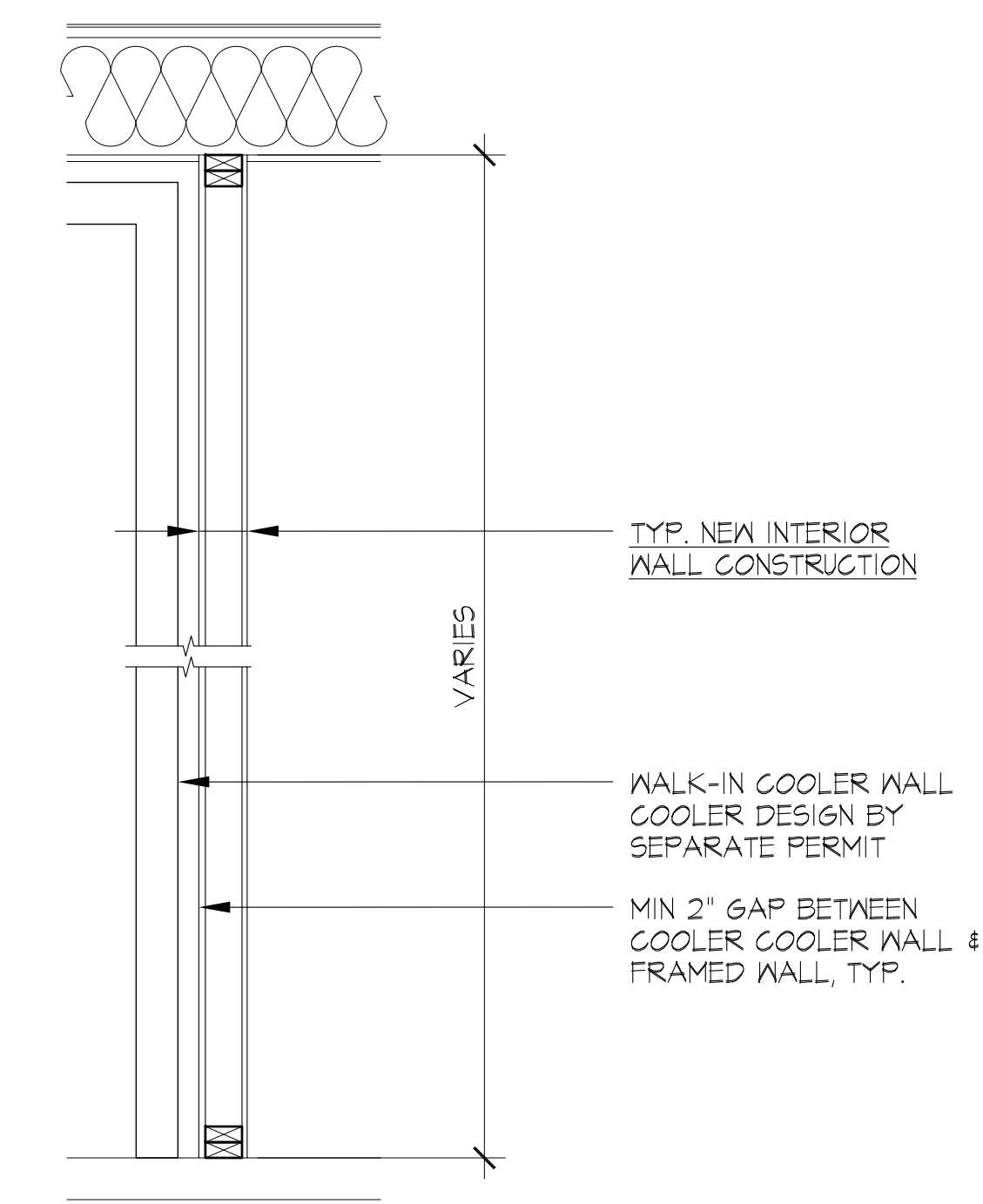
WALL SECTIONS

A3.2

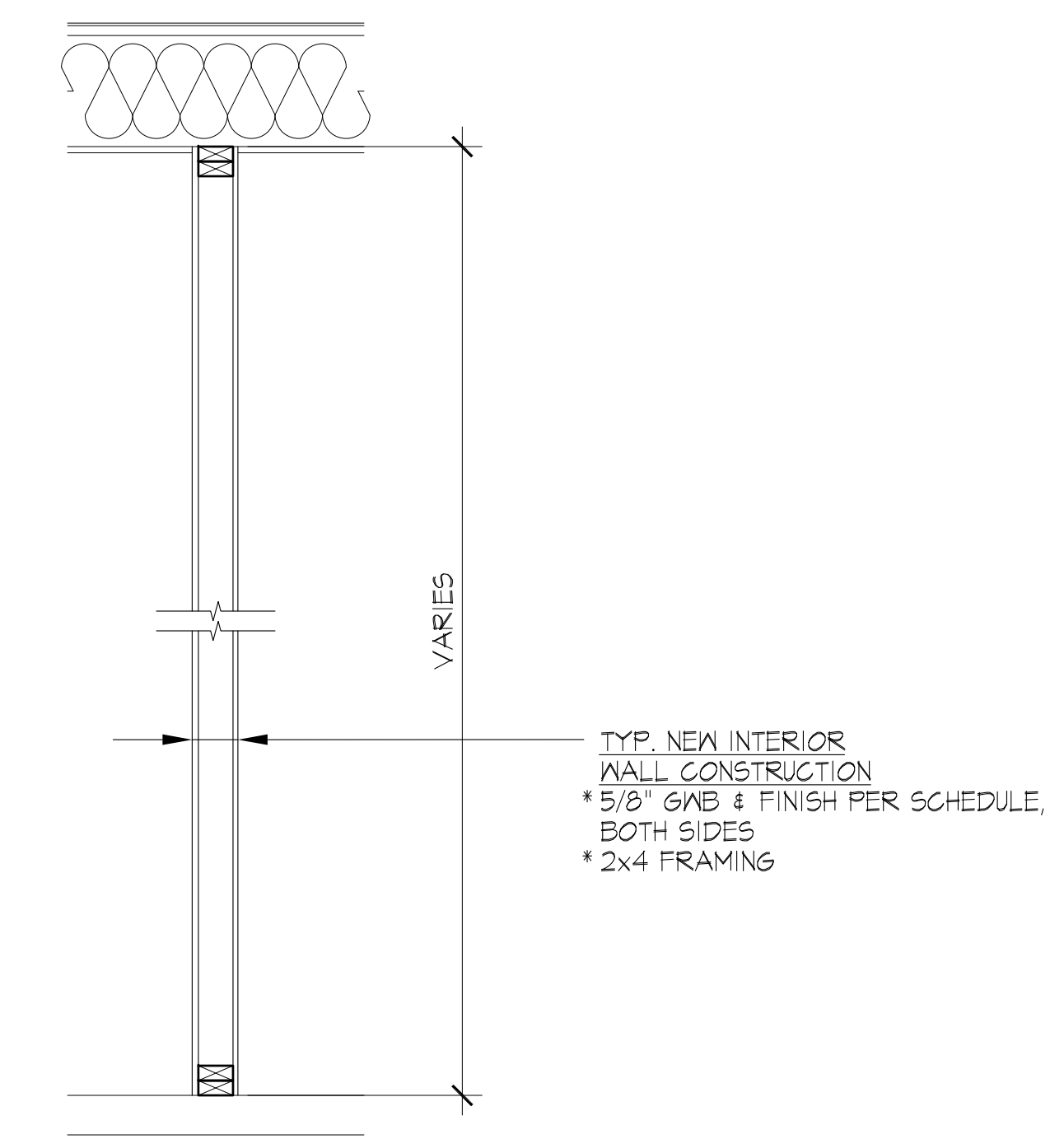
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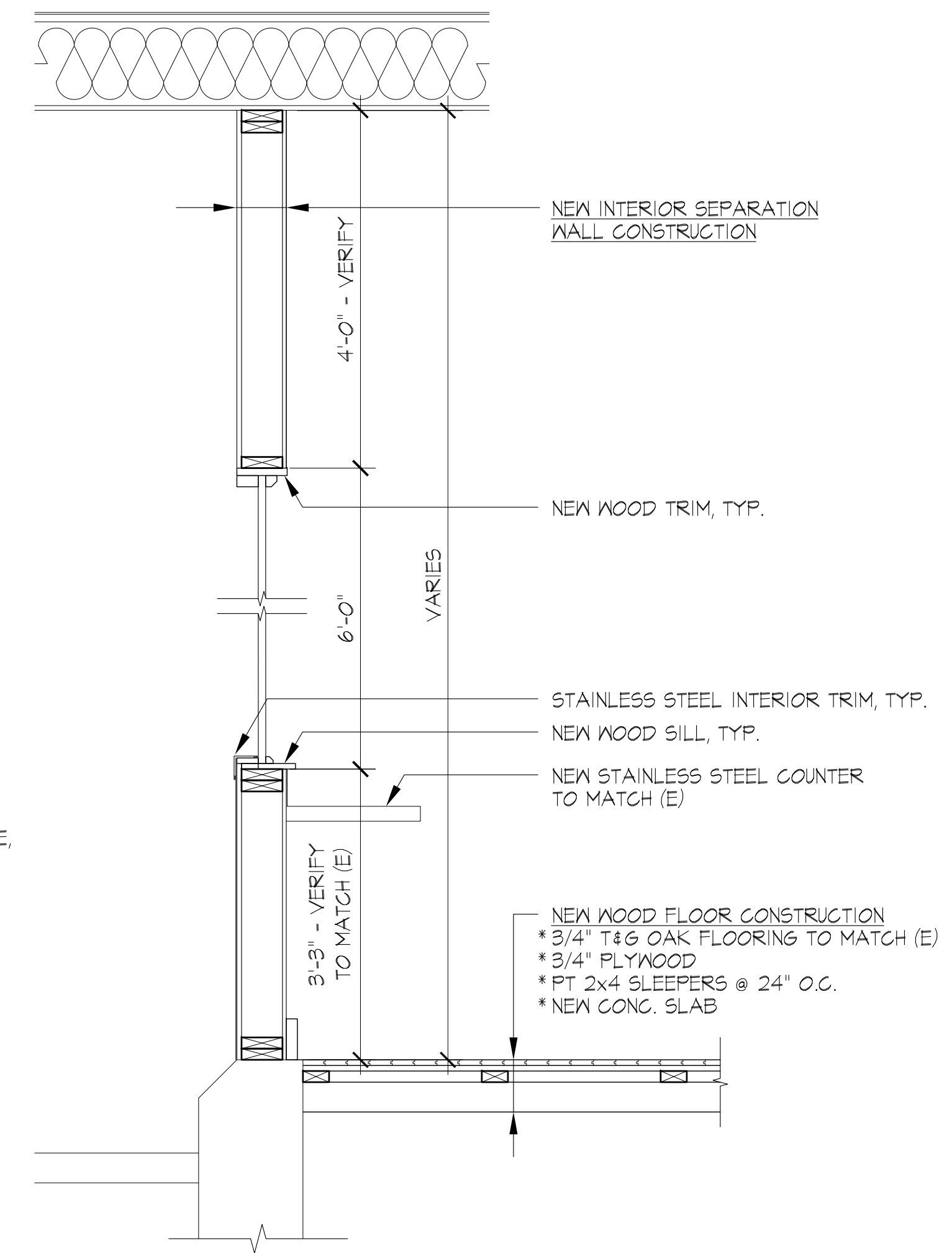
STAIR SECTION 5
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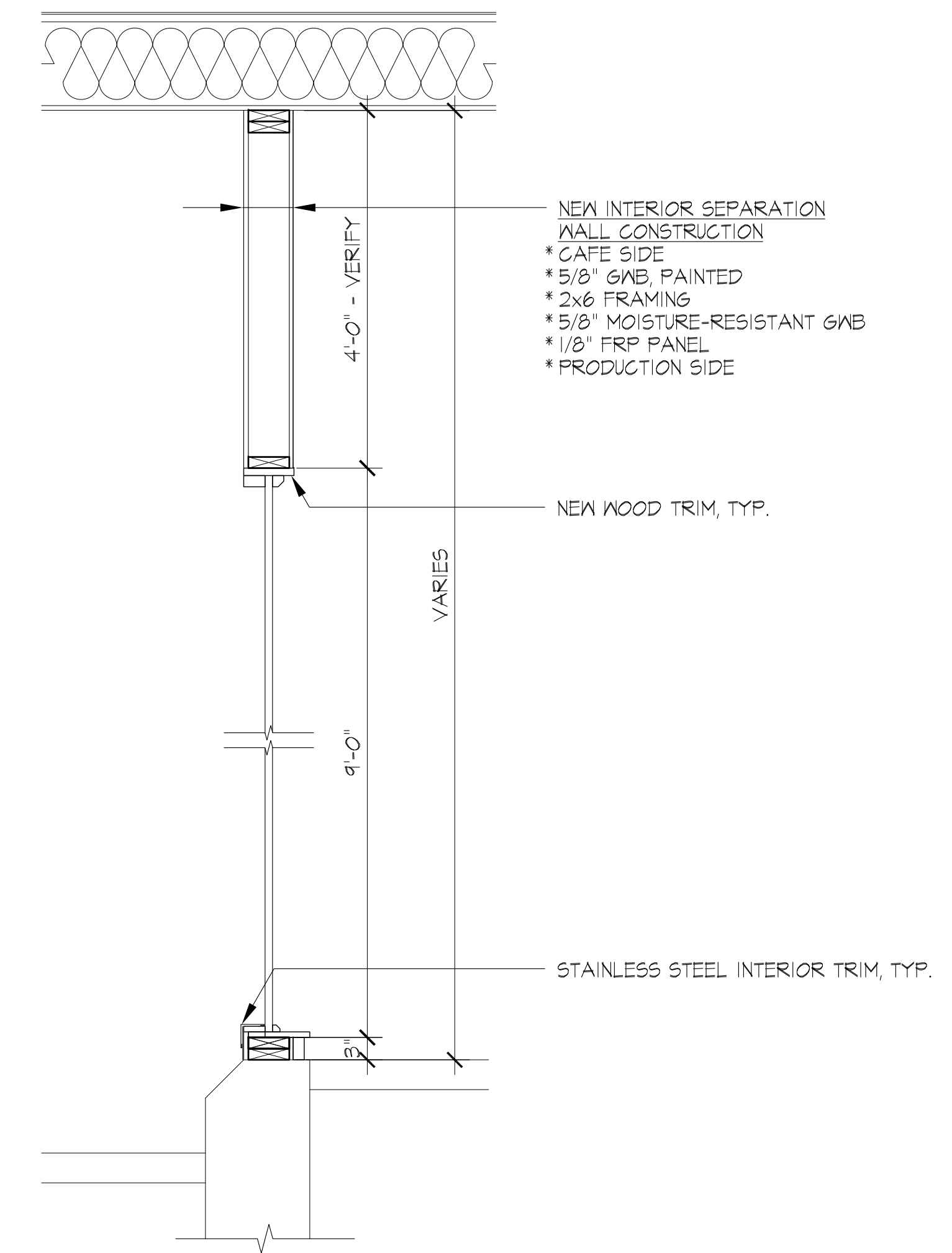
TYP. INTERIOR WALL SECTION @ NEW WALK-IN COOLER 4
 SCALE: 3/4" = 1'-0"



TYP. INTERIOR WALL SECTION 3
 SCALE: 3/4" = 1'-0"



WALL SECTION @ NEW WALL & COUNTER BETWEEN PRODUCTION & CAFE 2
 SCALE: 3/4" = 1'-0"



WALL SECTION @ NEW FULL-HEIGHT GLAZING BETWEEN PRODUCTION & CAFE 1
 SCALE: 3/4" = 1'-0"

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101



2219
 28 APRIL 2023

INTERIOR WALL SECTIONS

A3.3

REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

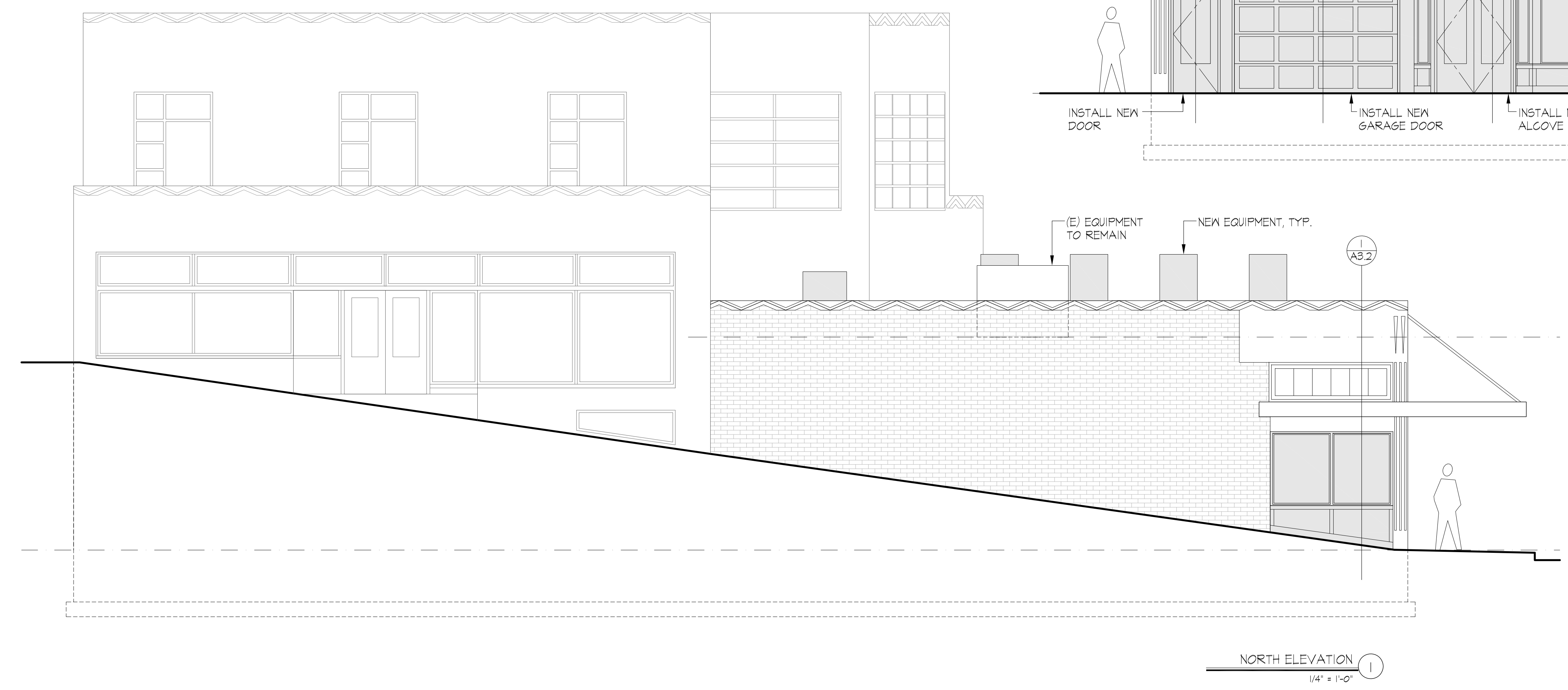
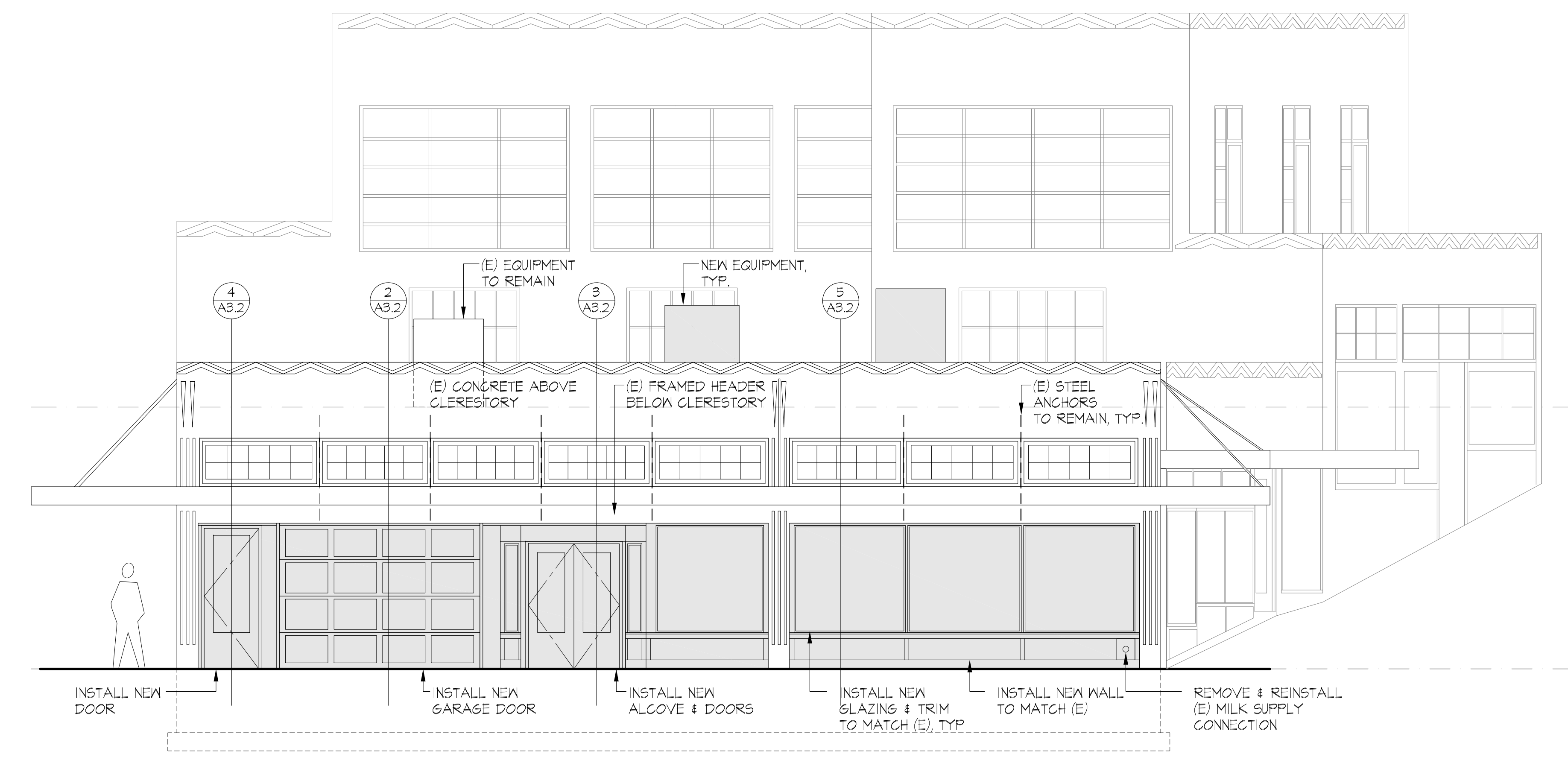
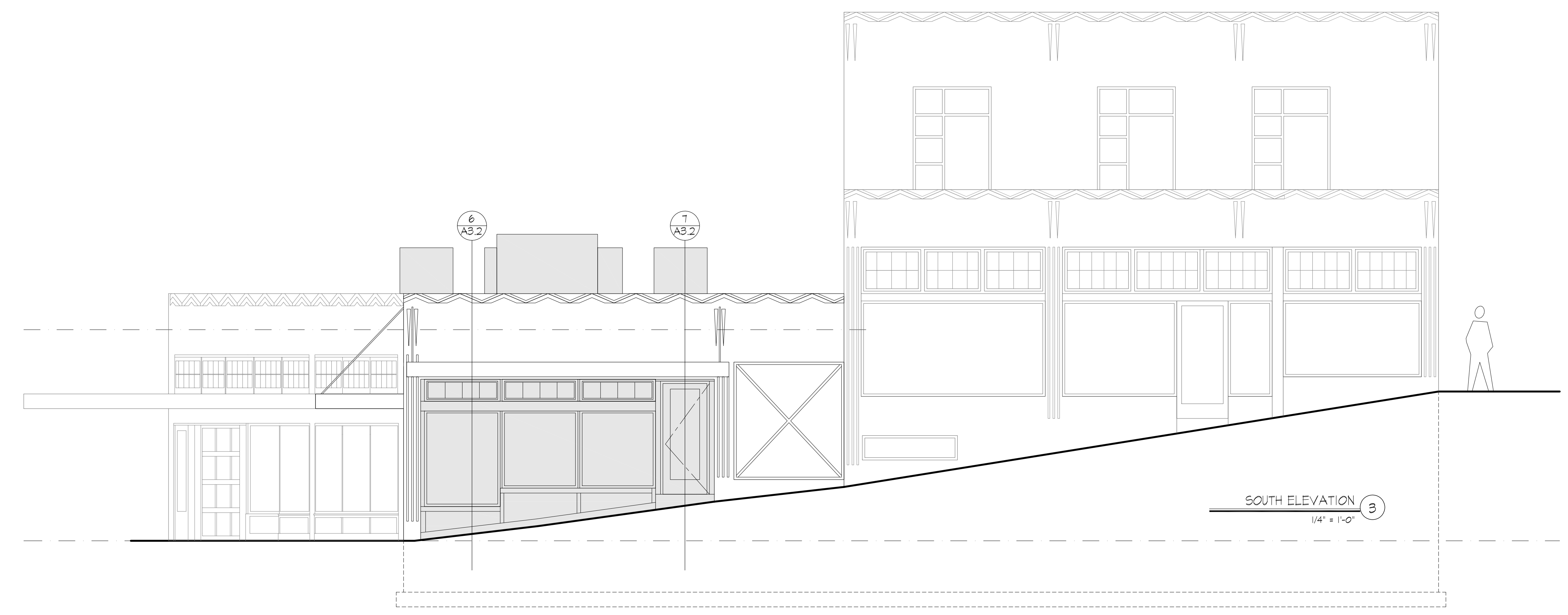
CARDINAL ARCHITECTURE PC

1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

BUILDING ELEVATIONS

A4.1



REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

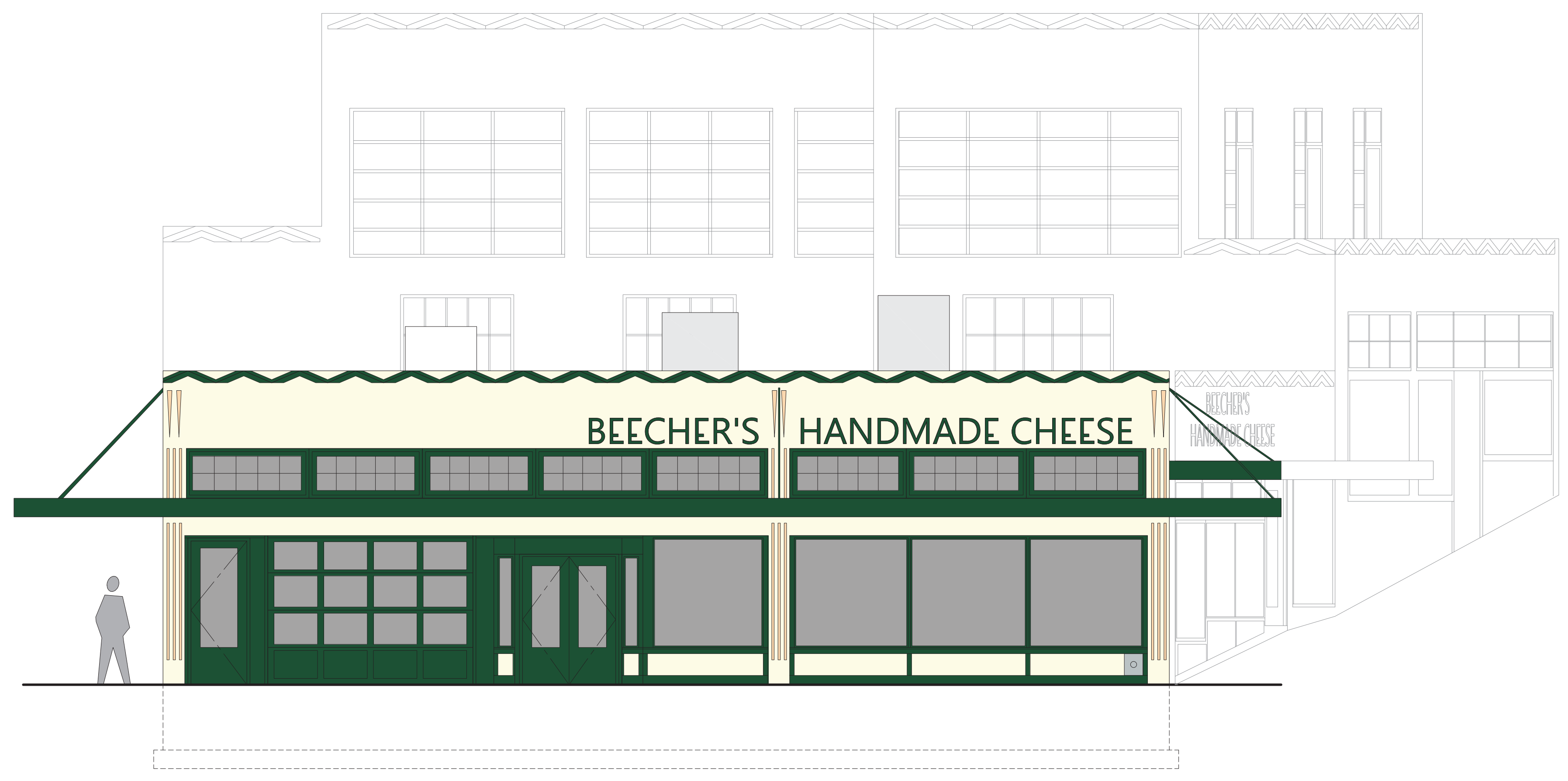
CARDINAL
 ARCHITECTURE PC

1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

COLOR
 BUILDING
 ELEVATIONS

A4.2



NO.	REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

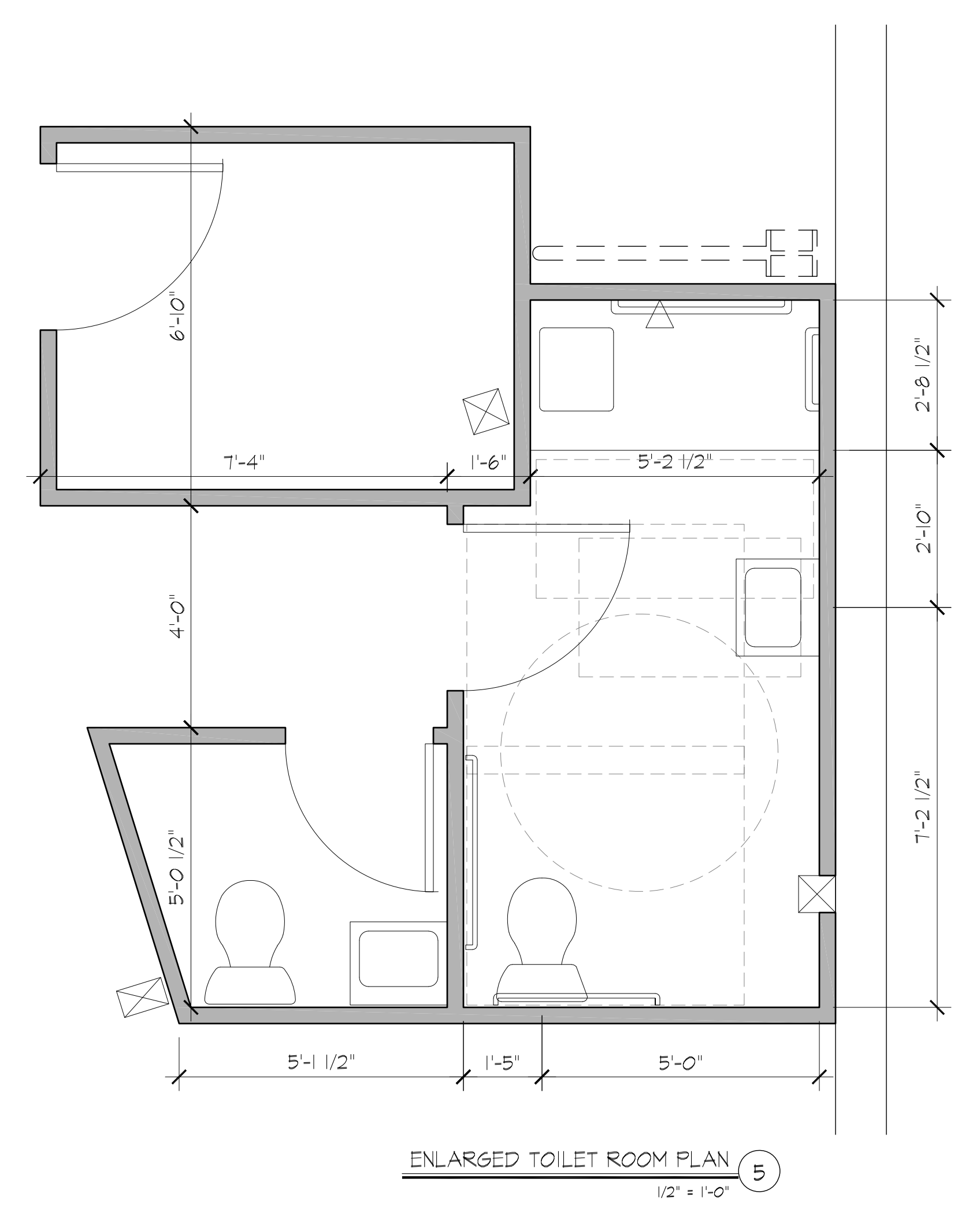
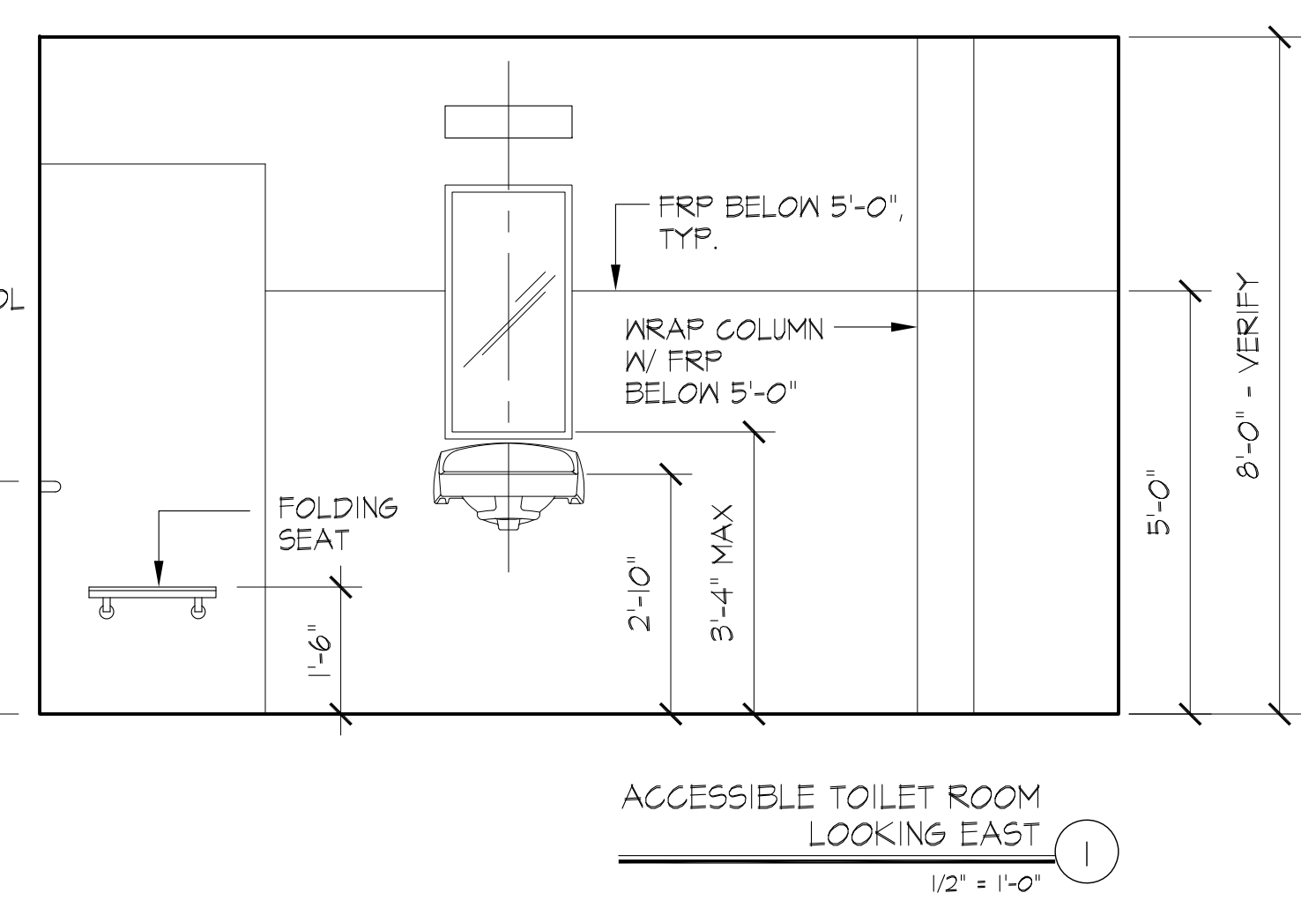
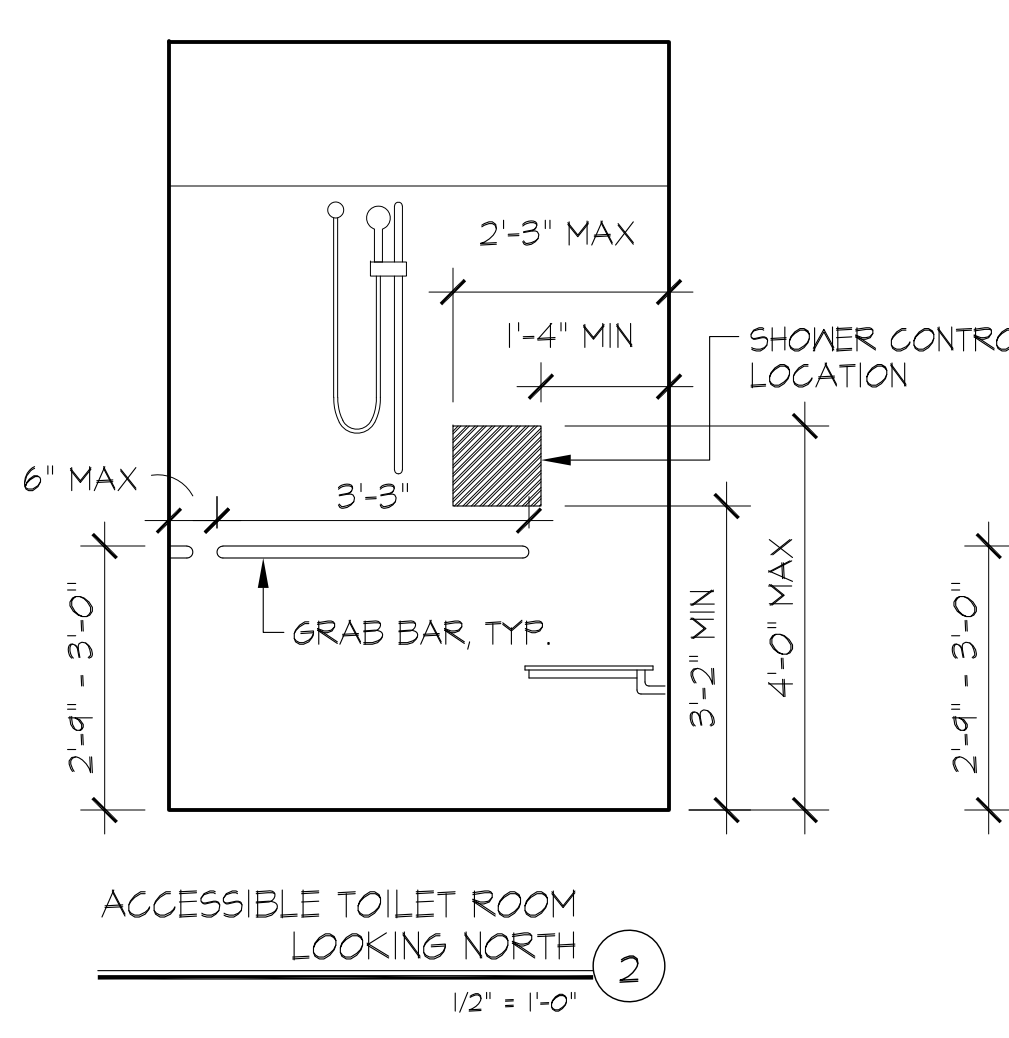
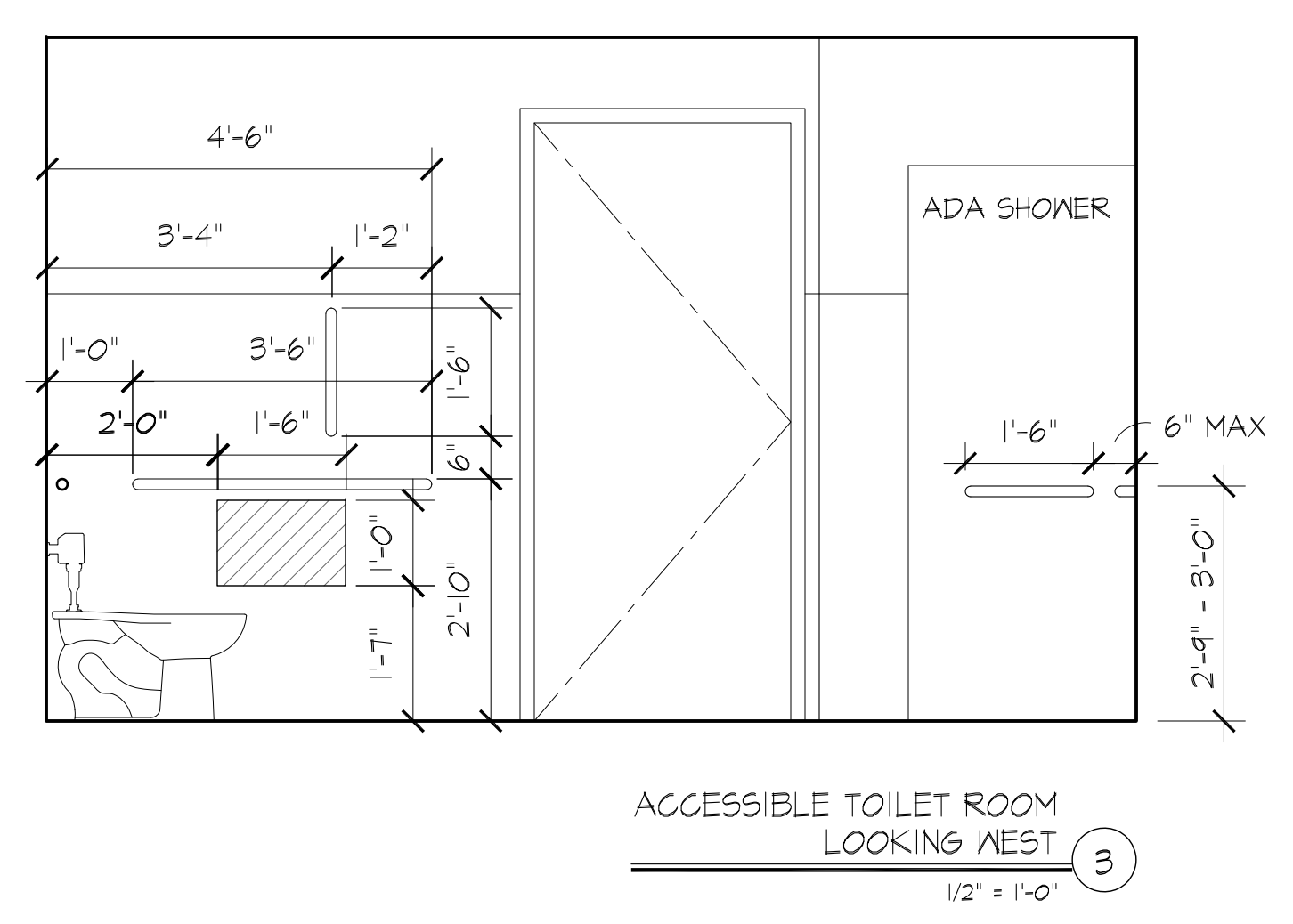
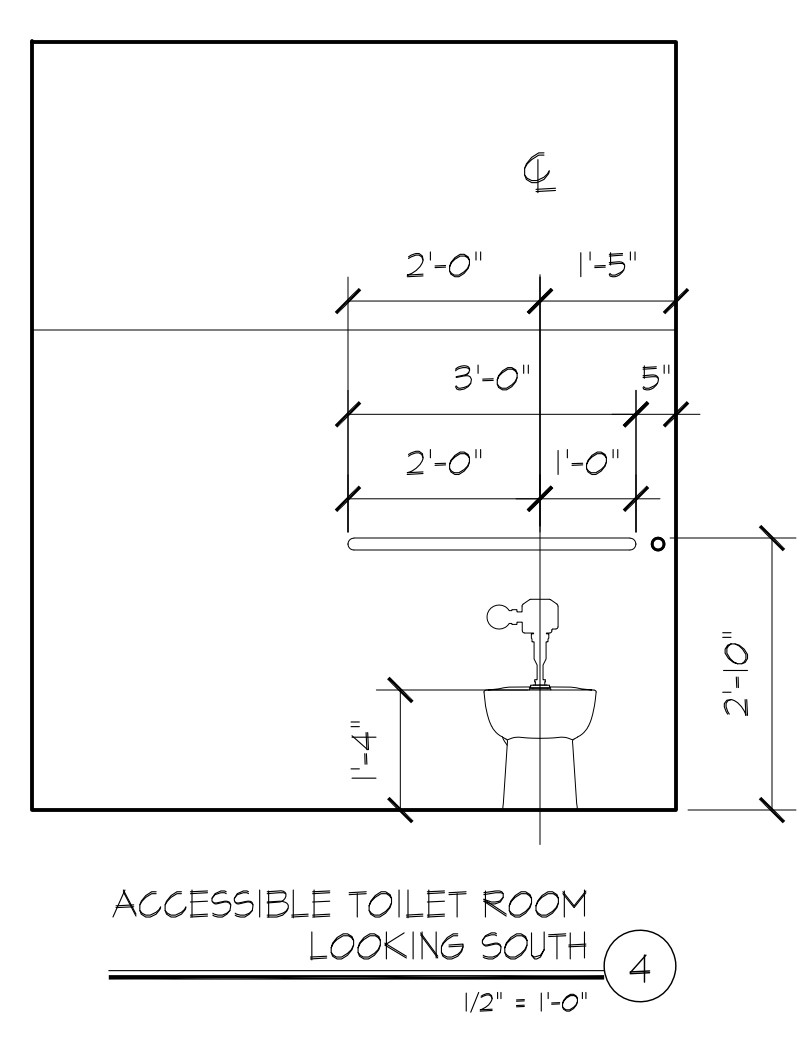


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

TOILET ROOM
 PLAN & INTERIOR
 ELEVATIONS

A4.3



REVISIONS

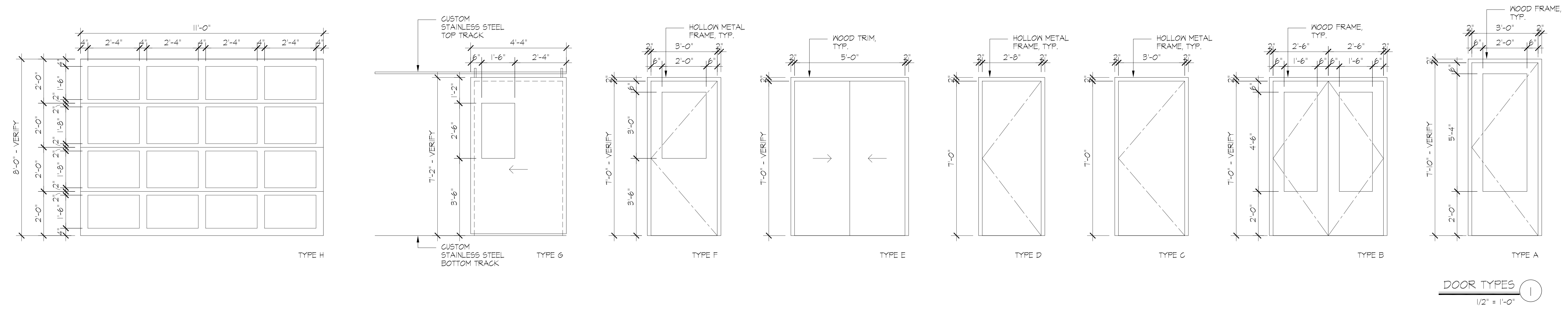
NO.	DATE	DESCRIPTION

GLAZING TYPES	
INSULATED SHATTERPROOF - 1" IGU	INSULATED SAFETY - 1" IGU
* OUTSIDE	* OUTSIDE
* 1/8" CLEAR TEMPERED OUTSIDE	* 1/8" CLEAR TEMPERED OUTSIDE
* 3/8" ARGON-FILLED GAP	* 3/4" ARGON-FILLED GAP
* 1/8" CLEAR TEMPERED	* 1/8" CLEAR TEMPERED INSIDE
* CLEAR LAMINATED PVB INTERLAYER	
* 1/8" CLEAR TEMPERED INSIDE	
SHATTERPROOF	SAFETY
* 1/8" CLEAR TEMPERED	* 1/8" CLEAR TEMPERED
* CLEAR LAMINATED PVB INTERLAYER	
* 1/8" CLEAR TEMPERED	

HARDWARE TYPES		
* PASSAGE	* PRIVACY	* EXIT
* PASSAGE FUNCTION LOCKSET	* PRIVACY FUNCTION LOCKSET	* EXIT FUNCTION LOCKSET
SCHLAGE L9010 OR SIMILAR	SCHLAGE L9040 OR SIMILAR	SCHLAGE L9025 OR SIMILAR
* OFFICE	* ENTRY	
* OFFICE FUNCTION LOCKSET	* ENTRANCE FUNCTION LOCKSET	
SCHLAGE L9050 OR SIMILAR	SCHLAGE L9453 OR SIMILAR	
* STOREROOM	* CAFE ENTRY	
* STOREROOM FUNCTION LOCKSET	* VERTICAL LATCH ENTRY FUNCTION LOCKSET	
SCHLAGE L9080 OR SIMILAR	SCHLAGE LM4250 OR SIMILAR	

WINDOW SCHEDULE				
#	WINDOW SIZE (W x H)	GLAZING TYPE	FRAME	NOTES
101A	4'-0" x 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
101B	4'-0" x 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
102	1'-11" x 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
103	1'-11" x 5'-0"	SAFETY/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
104	6'-2" x 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
105A	6'-3" x 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
105B	6'-3" x 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
105C	6'-3" x 6'-0"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
106A	5'-2" x 6'-6"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
106B	5'-2" x 5'-8"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
106C	5'-2" x 5'-8"	SHATTERPROOF/INSULATED	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
107	5'-6" x 9'-6"	SHATTERPROOF	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
108	5'-6" x 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
109	5'-6" x 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
110	5'-6" x 6'-0"	SHATTERPROOF	WOOD, MATCH EXISTING	VERIFY WINDOW SIZE
111	4'-0" x 4'-0"	SAFETY	PAINTED HOLLOW METAL FRAME	

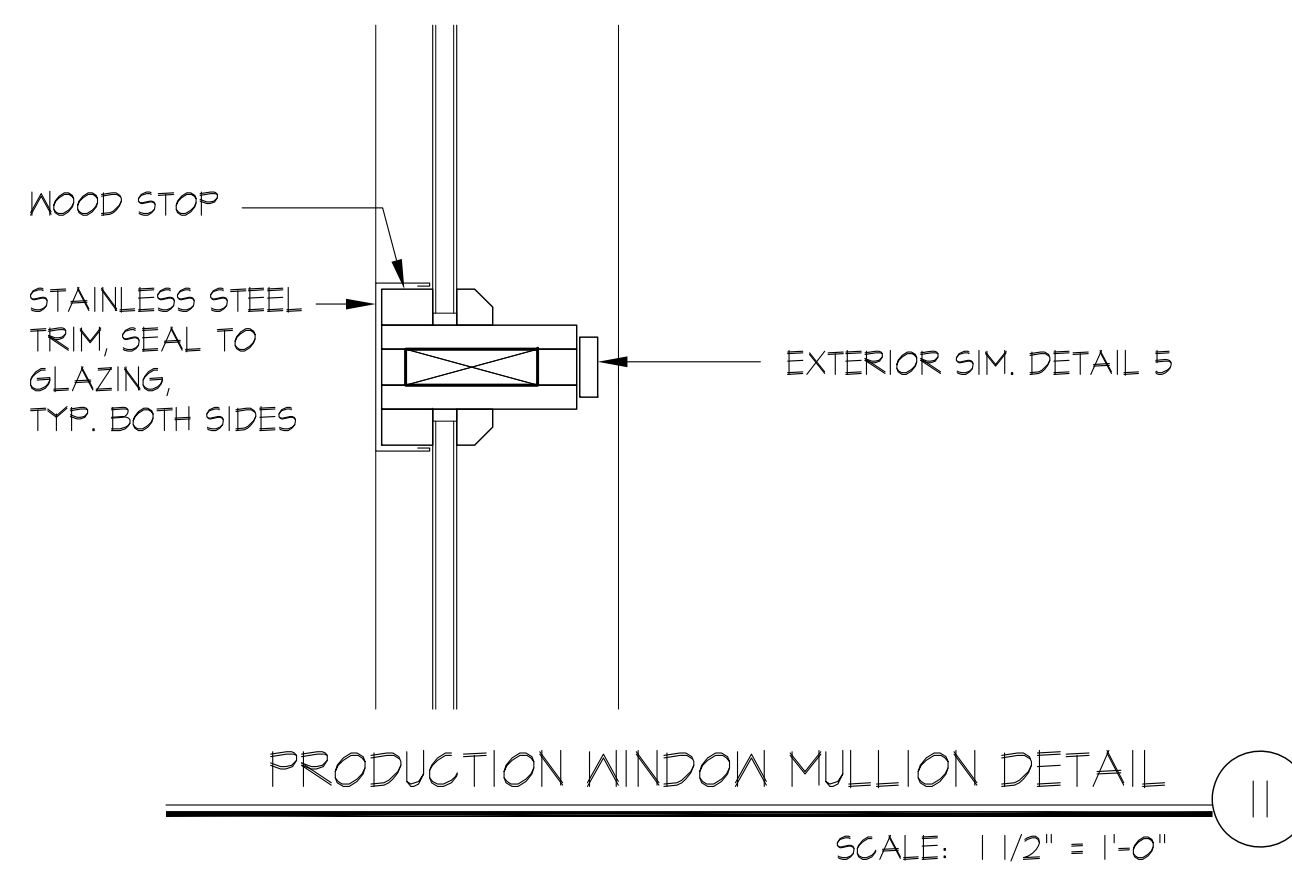
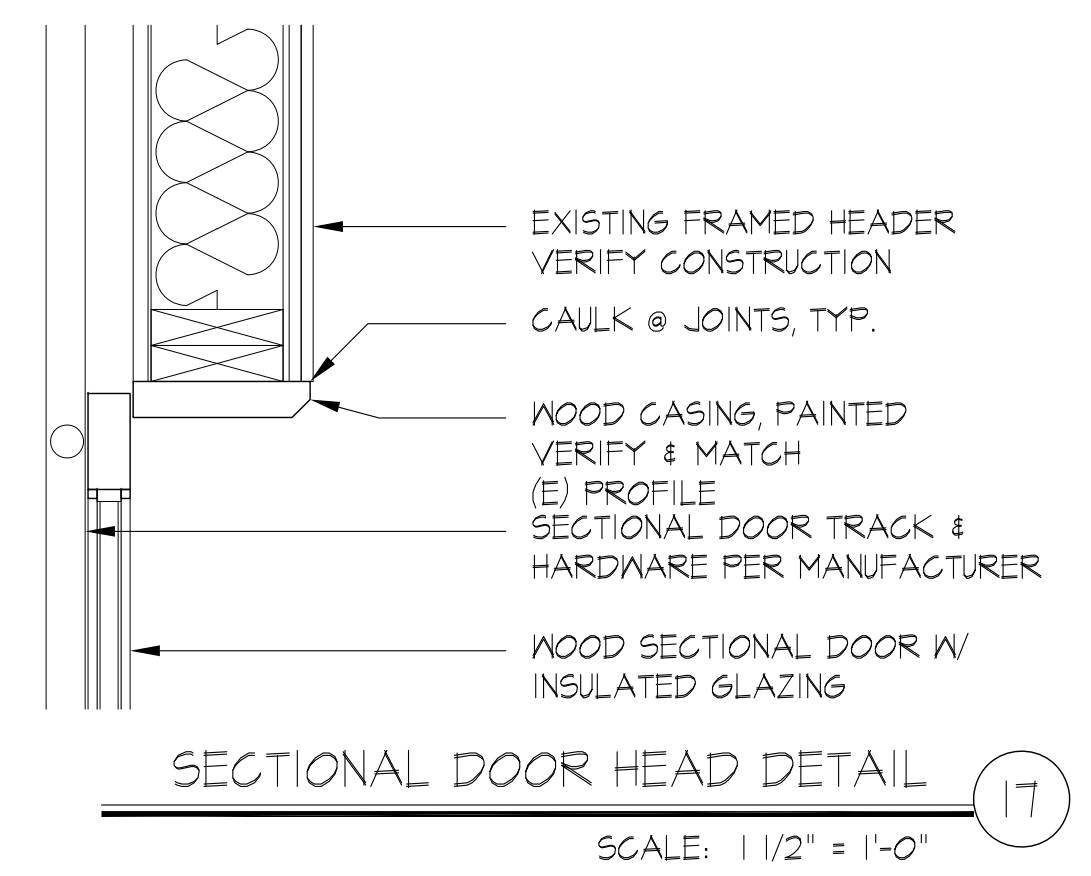
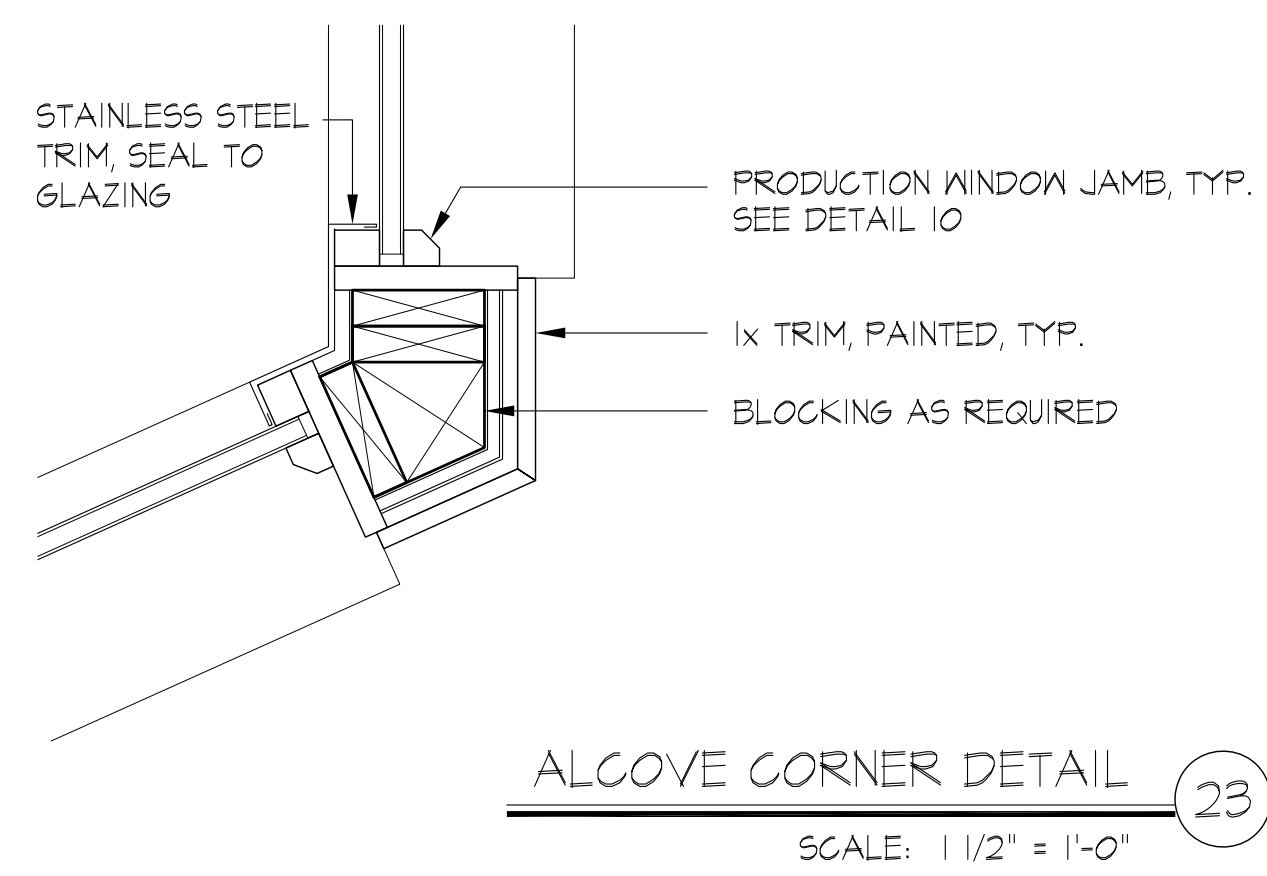
DOOR SCHEDULE					
#	TYPE	DOOR SIZE (W x H)	HARDWARE TYPE	FINISH	NOTES
100	TYPE A	3'-0" x 8'-0"	ENTRY	PAINTED WOOD DOOR	WOOD FRAME, INSULATED SAFETY GLAZING
101	TYPE H	11'-0" x 8'-0"	GARAGE	PAINTED WOOD SECTIONAL DOOR	WOOD FRAME, INSULATED SAFETY GLAZING
102	TYPE B	(2) 2'-6" x 7'-0"	CAFE ENTRY	PAINTED WOOD DOORS	WOOD FRAME, INSULATED SAFETY GLAZING
103	TYPE A	3'-0" x 8'-0"	EXIT	PAINTED WOOD DOOR	WOOD FRAME, INSULATED SHATTERPROOF GLAZING, CONTINUOUS SEAL
104	TYPE C	3'-0" x 7'-0"	OFFICE	PAINTED WOOD DOOR	
105	TYPE C	3'-0" x 7'-0"	STOREROOM	PAINTED WOOD DOOR	
106	TYPE C	3'-0" x 7'-0"	PRIVACY	PAINTED WOOD DOOR	
107	TYPE D	2'-8" x 7'-0"	PRIVACY	PAINTED WOOD DOOR	
108	N/A	3'-0" x 7'-0"	HASP & PADLOCK	CHAIN LINK	CHAIN LINK GATE
109	TYPE F	5'-0" x 7'-0"	BYPASS	PAINTED WOOD DOORS	BYPASS SLIDING DOORS
110	TYPE C	3'-0" x 7'-0"	OFFICE	PAINTED STEEL DOOR	PAINTED HOLLOW METAL FRAME
111	TYPE F	3'-0" x 7'-0"	OFFICE	REINSTALL (E) STAINLESS STEEL DOOR	REINSTALL (E) STAINLESS STEEL DOOR FRAME
112	TYPE F	3'-0" x 7'-0"	STOREROOM	FIBERGLASS DOOR	STAINLESS STEEL FRAME, SHATTERPROOF GLAZING
113	TYPE C	3'-0" x 7'-0"	OFFICE	FIBERGLASS DOOR	STAINLESS STEEL FRAME
114	TYPE G	3'-0" x 7'-0"	BARN DOOR	GLAZED STAINLESS STEEL DOOR	CUSTOM SLIDING DOOR HARDWARE, SHATTERPROOF GLAZING
115	N/A	4'-0" x 7'-0"	SLIDING COOLER	FACTORY FINISH	SLIDING DOOR BY COOLER MANUFACTURER
116	N/A	4'-0" x 7'-0"	SWINGING COOLER	PAINT OVER FACTORY FINISH	SWING DOOR BY COOLER MANUFACTURER



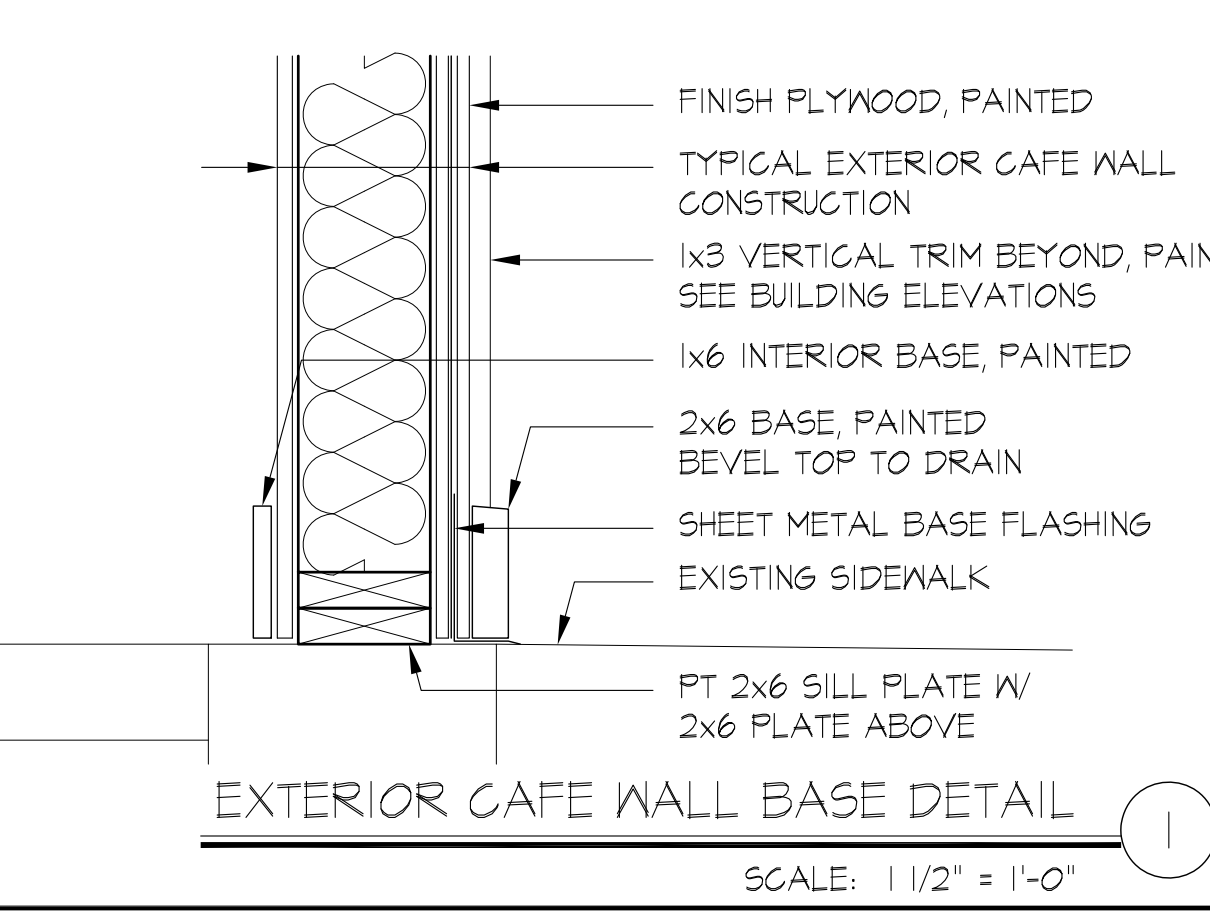
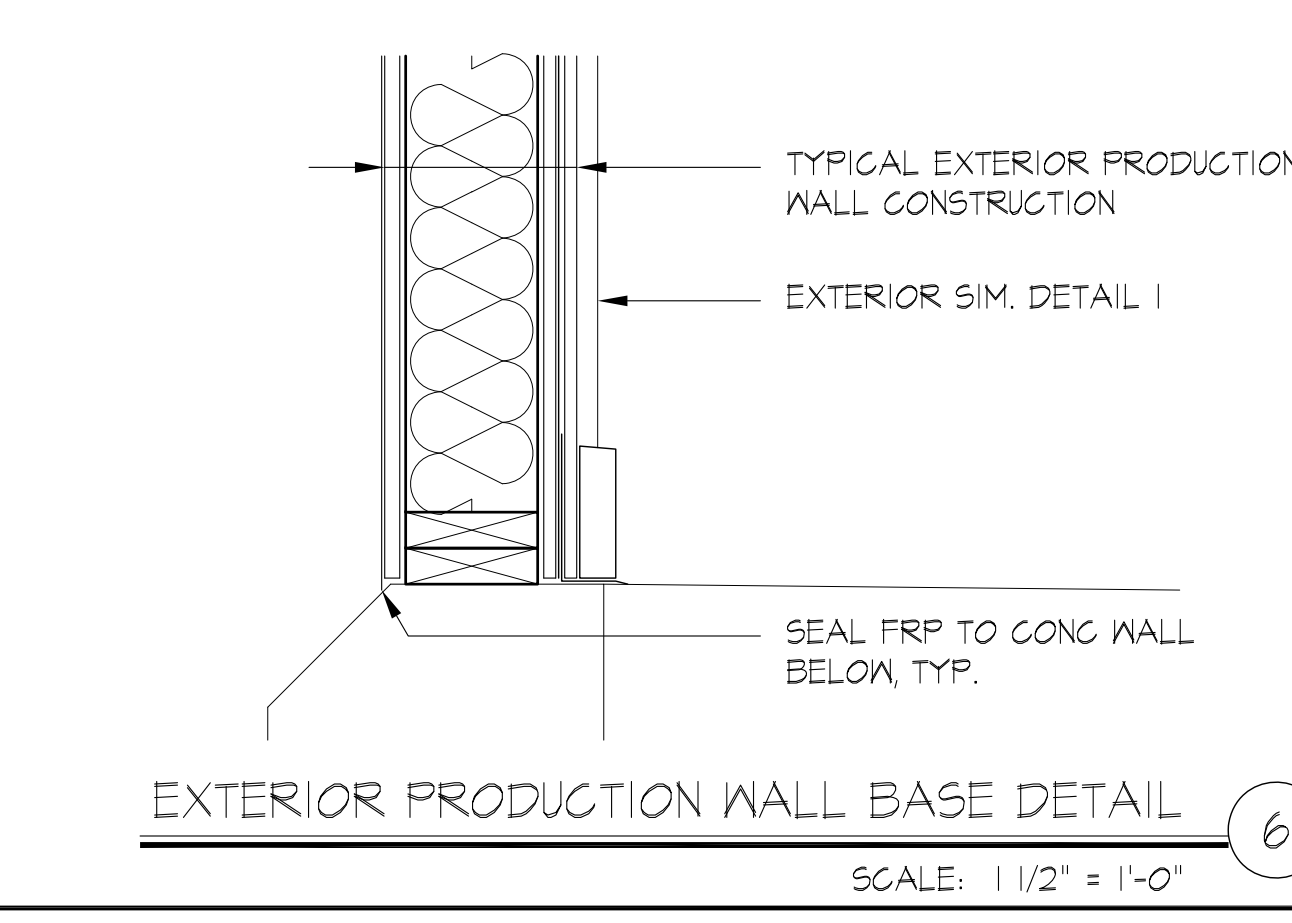
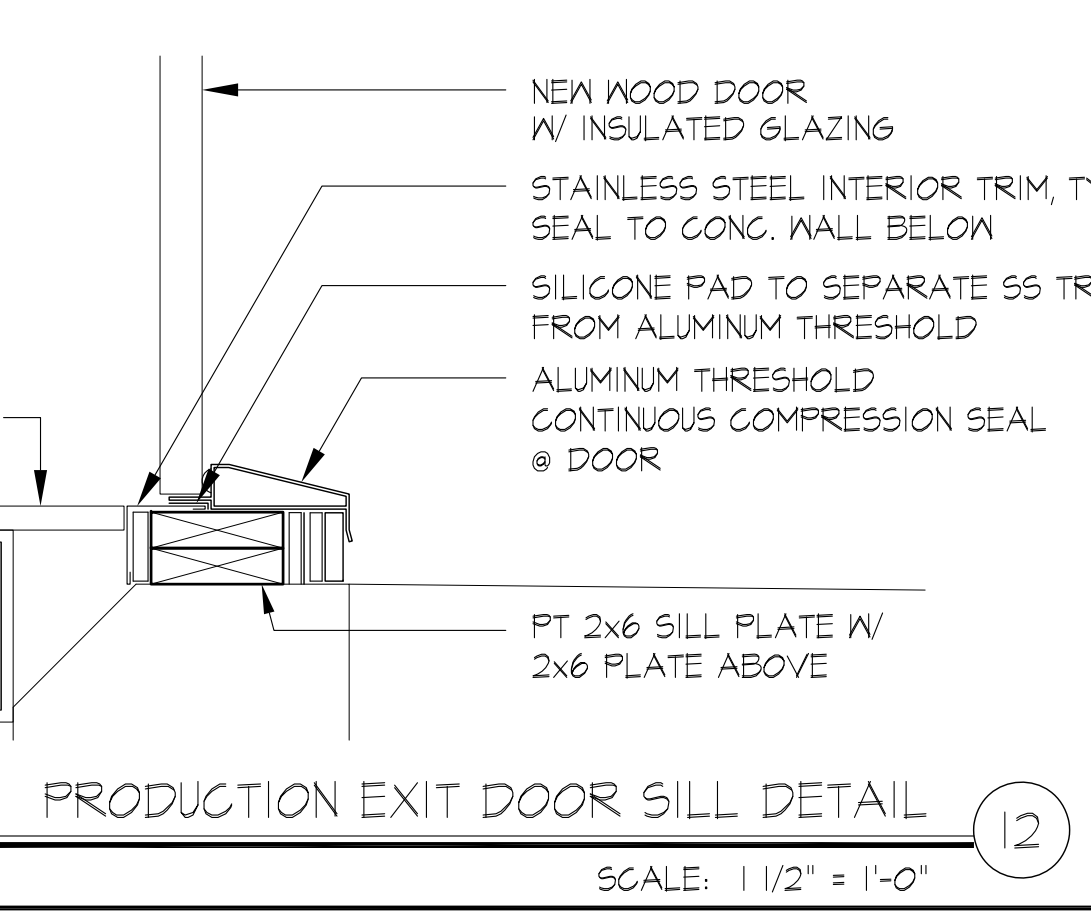
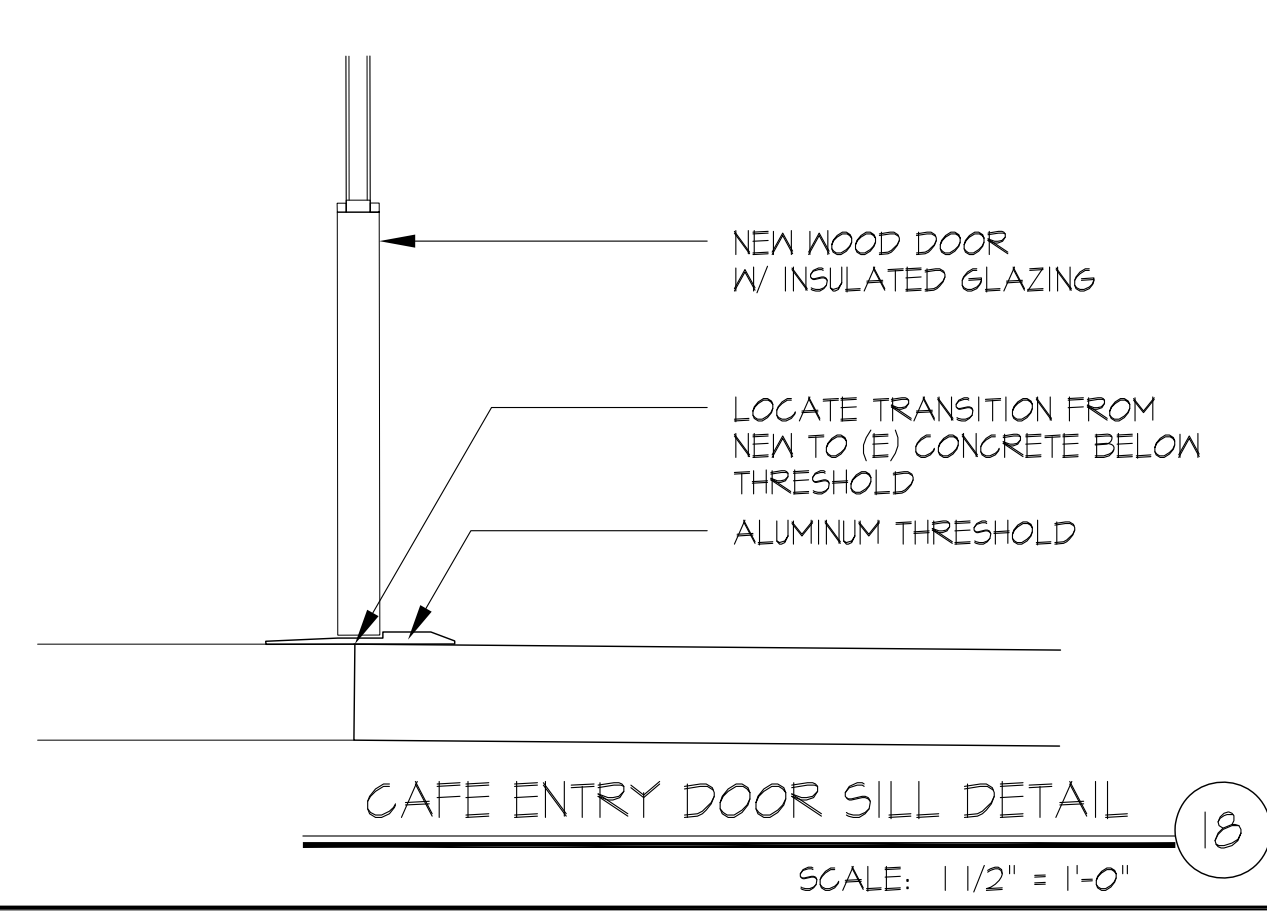
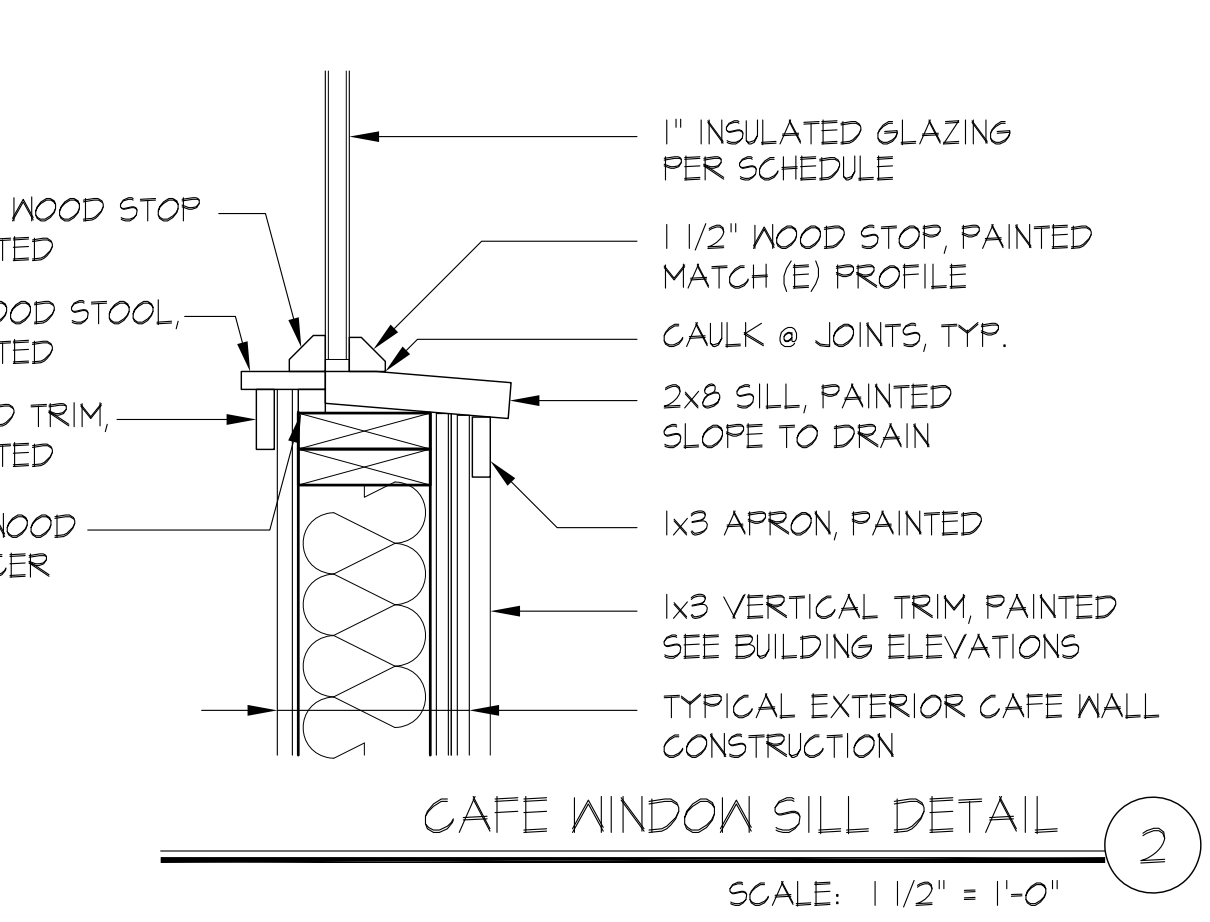
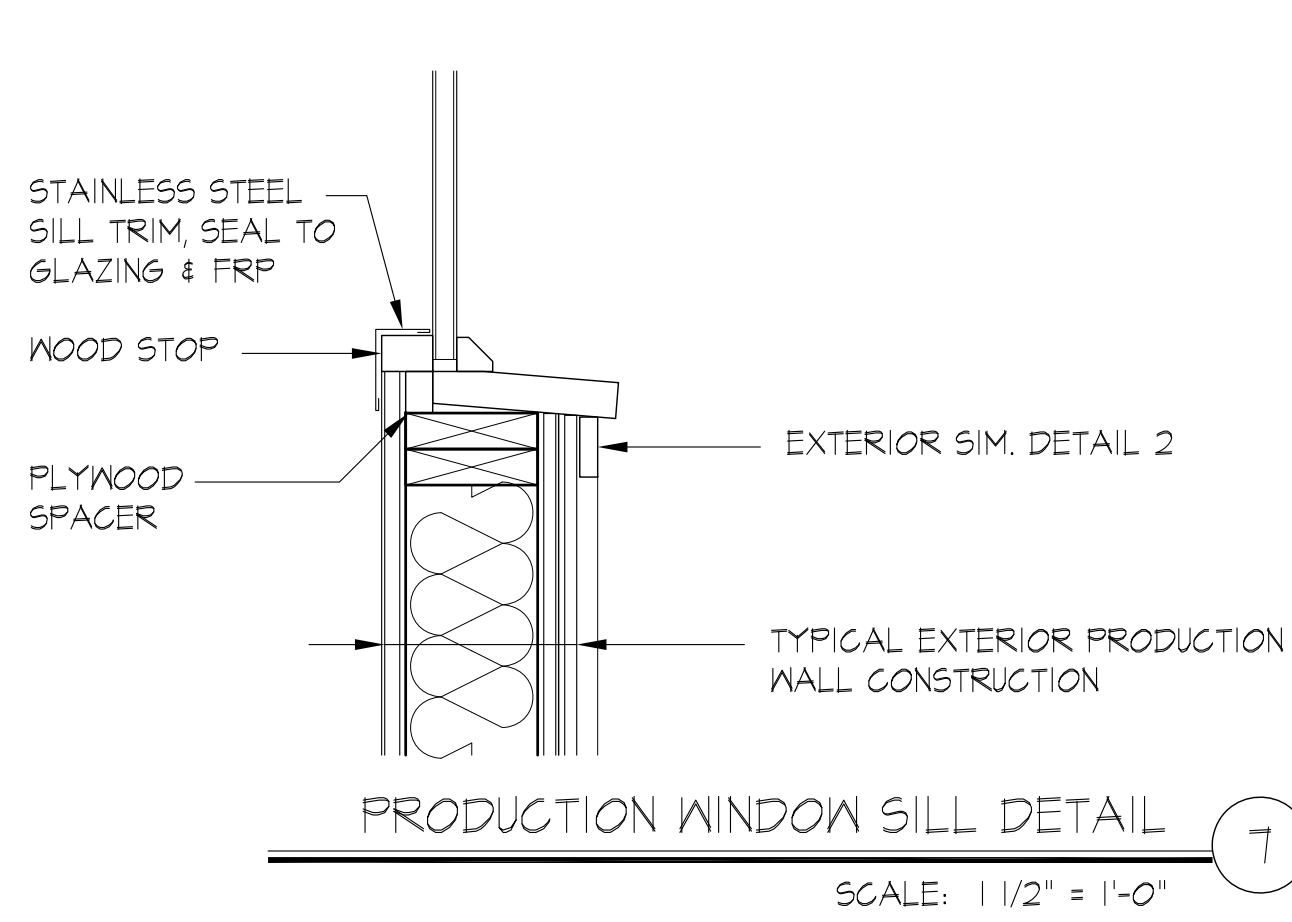
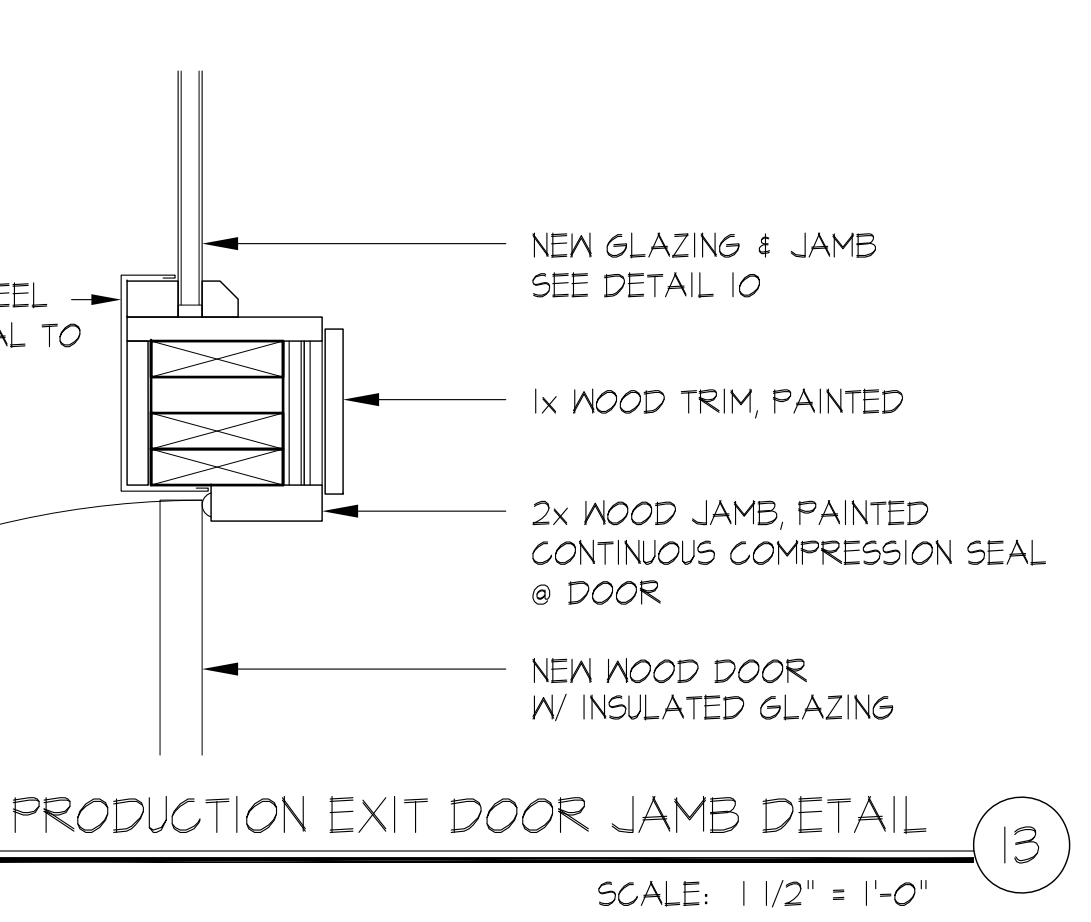
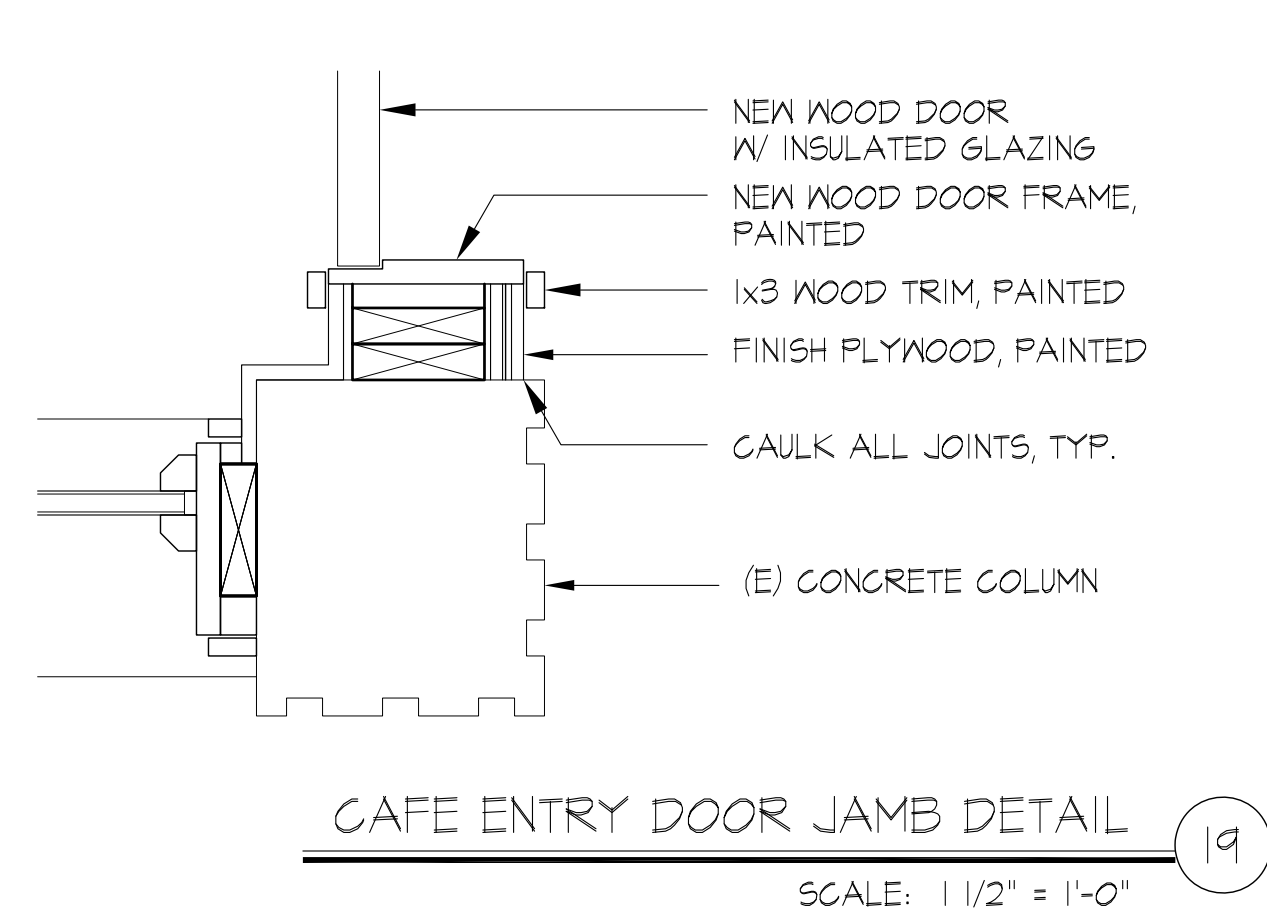
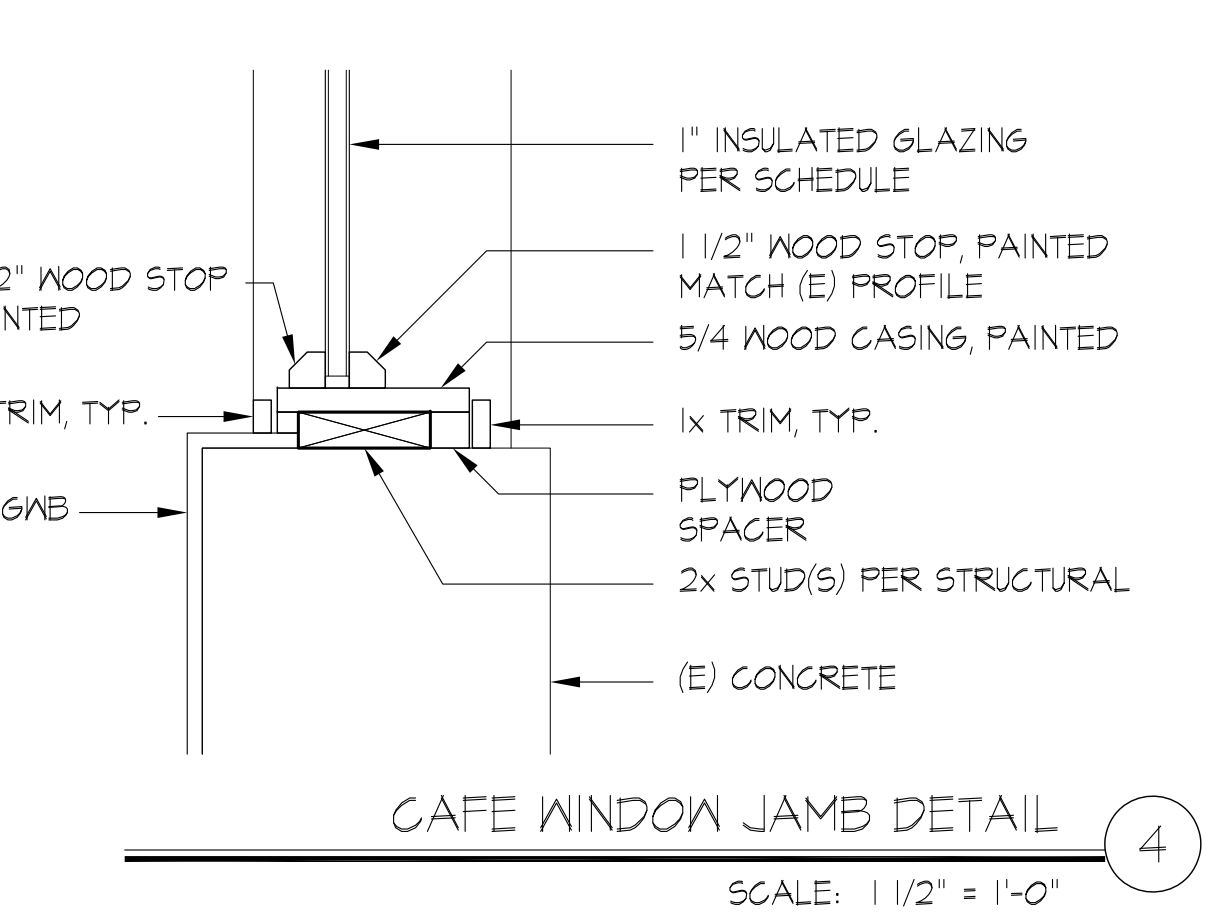
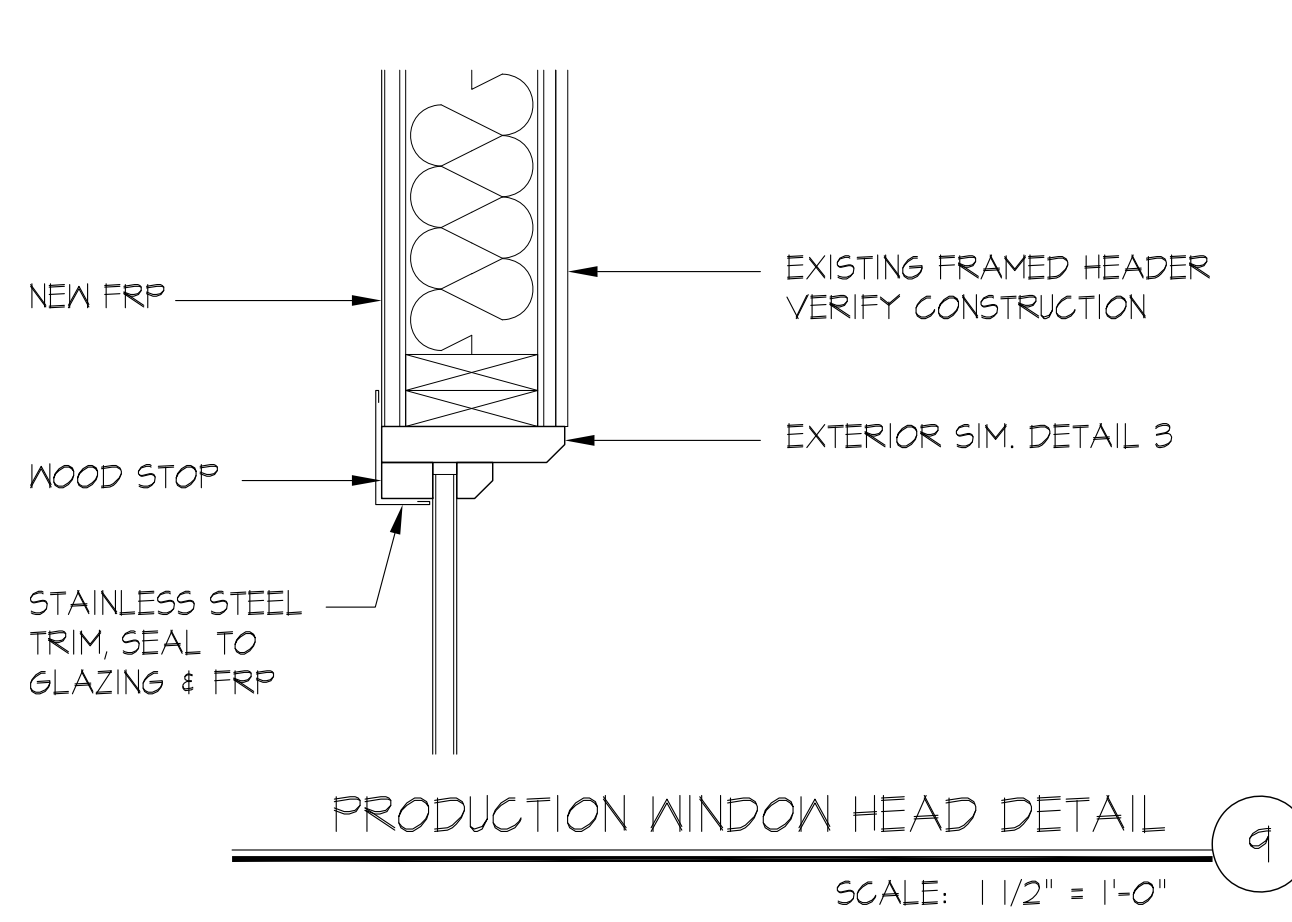
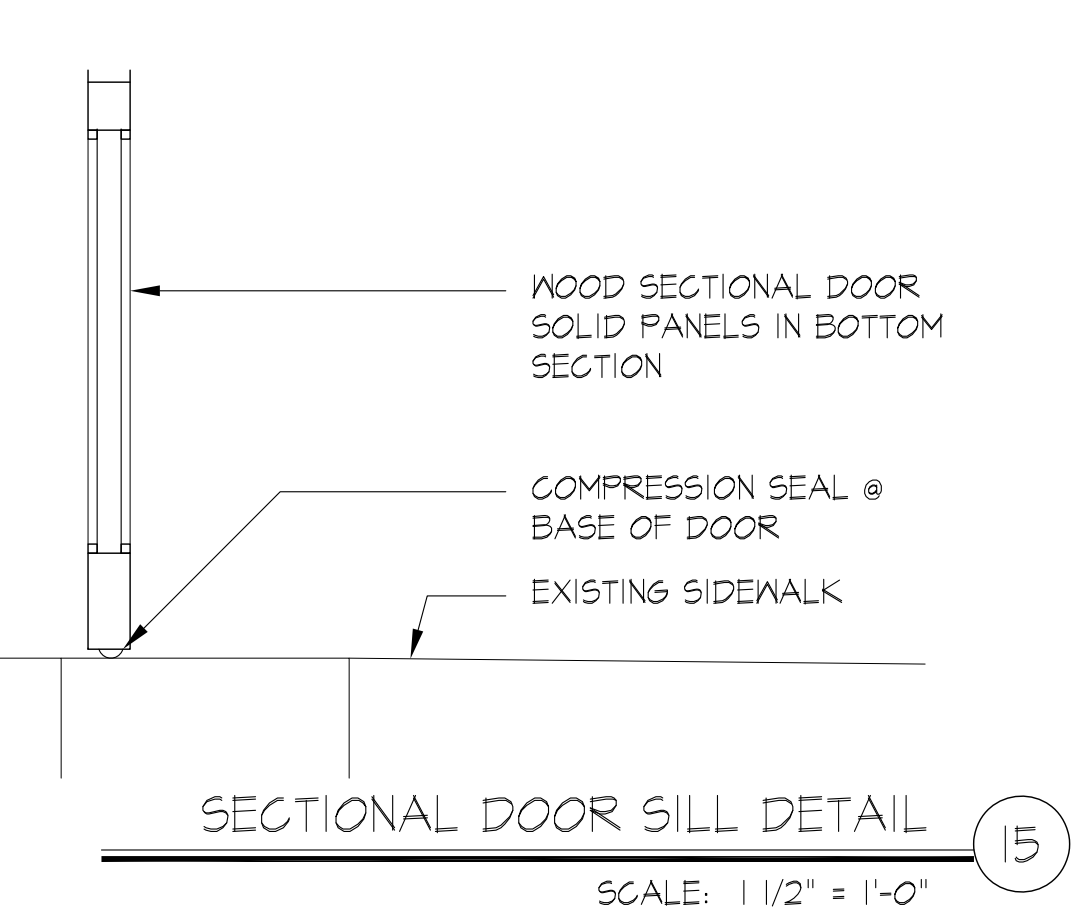
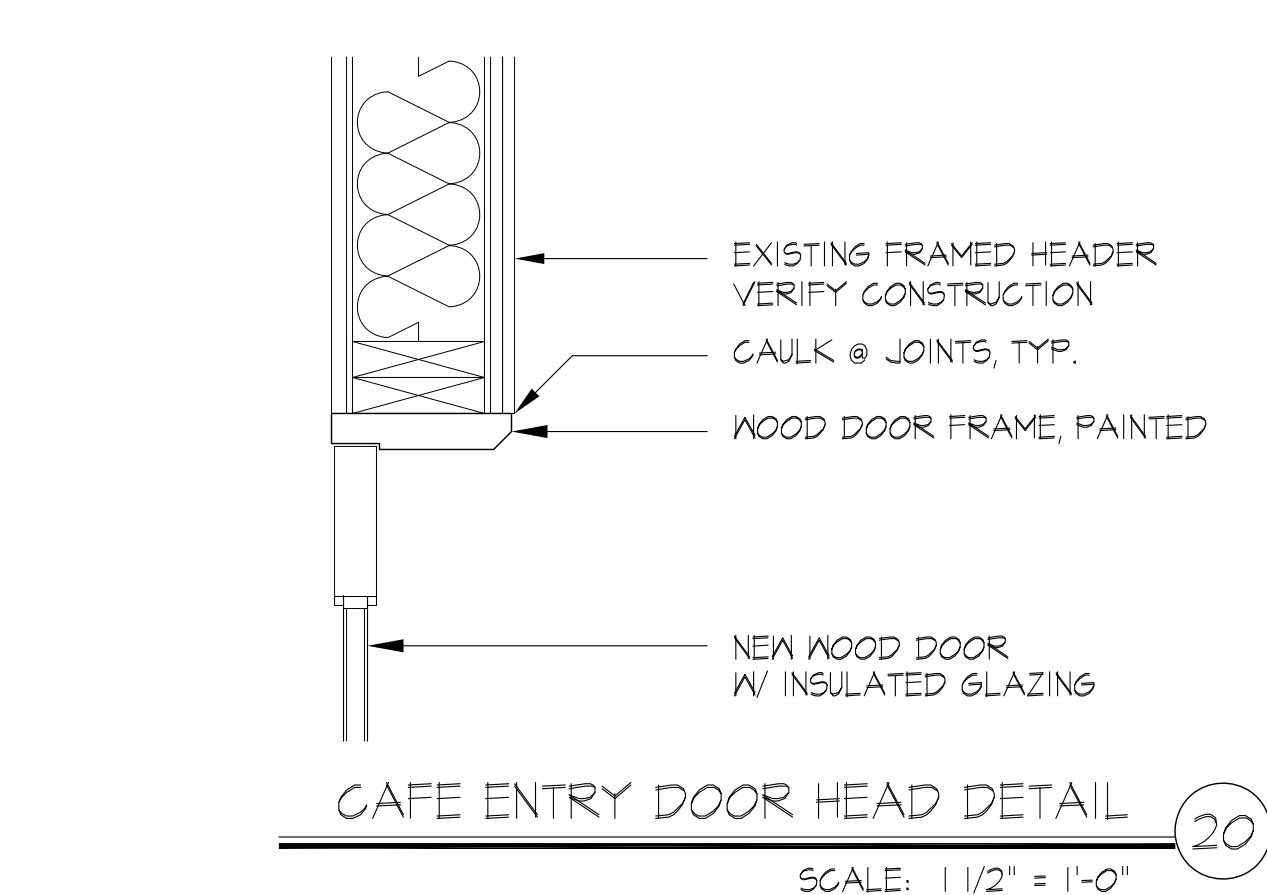
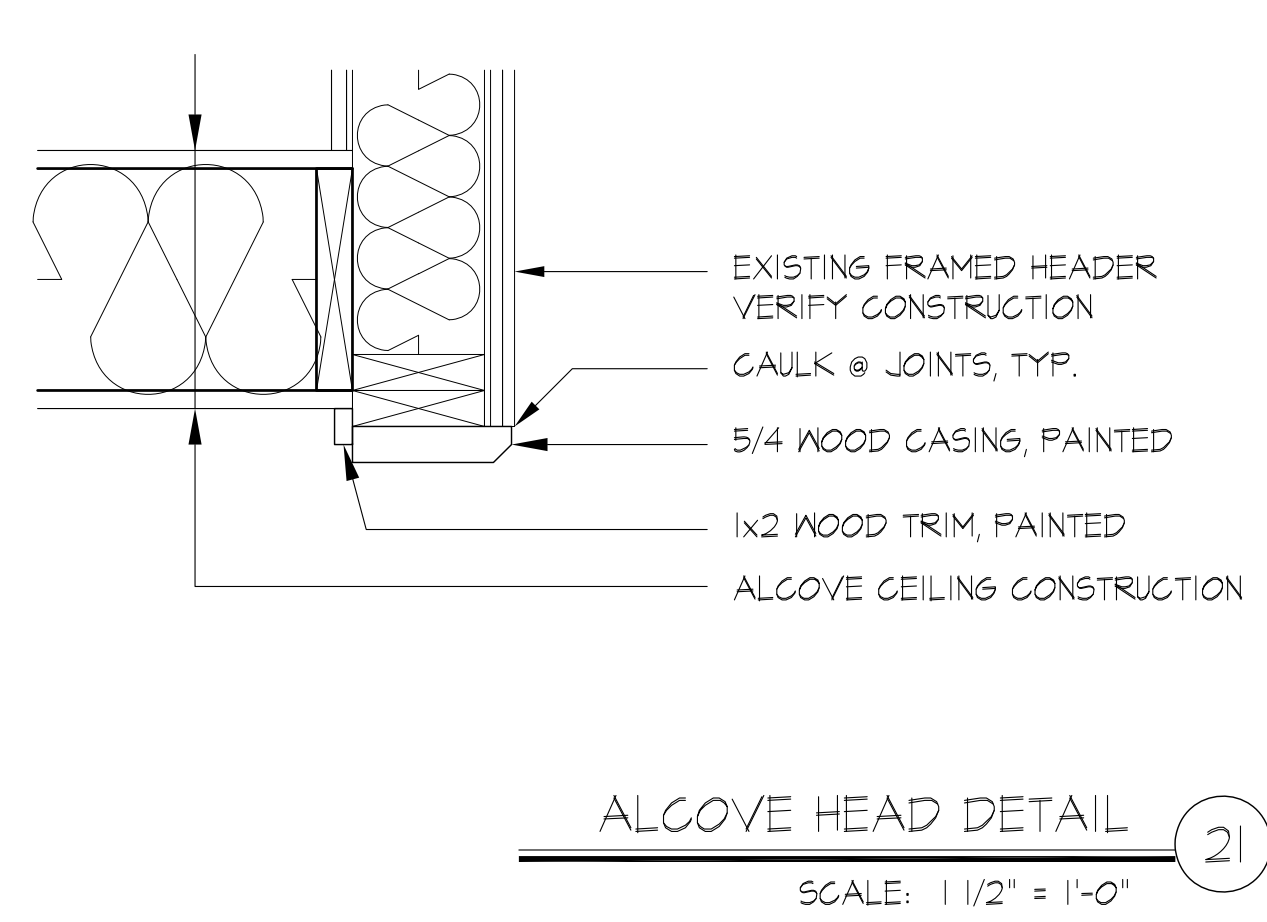
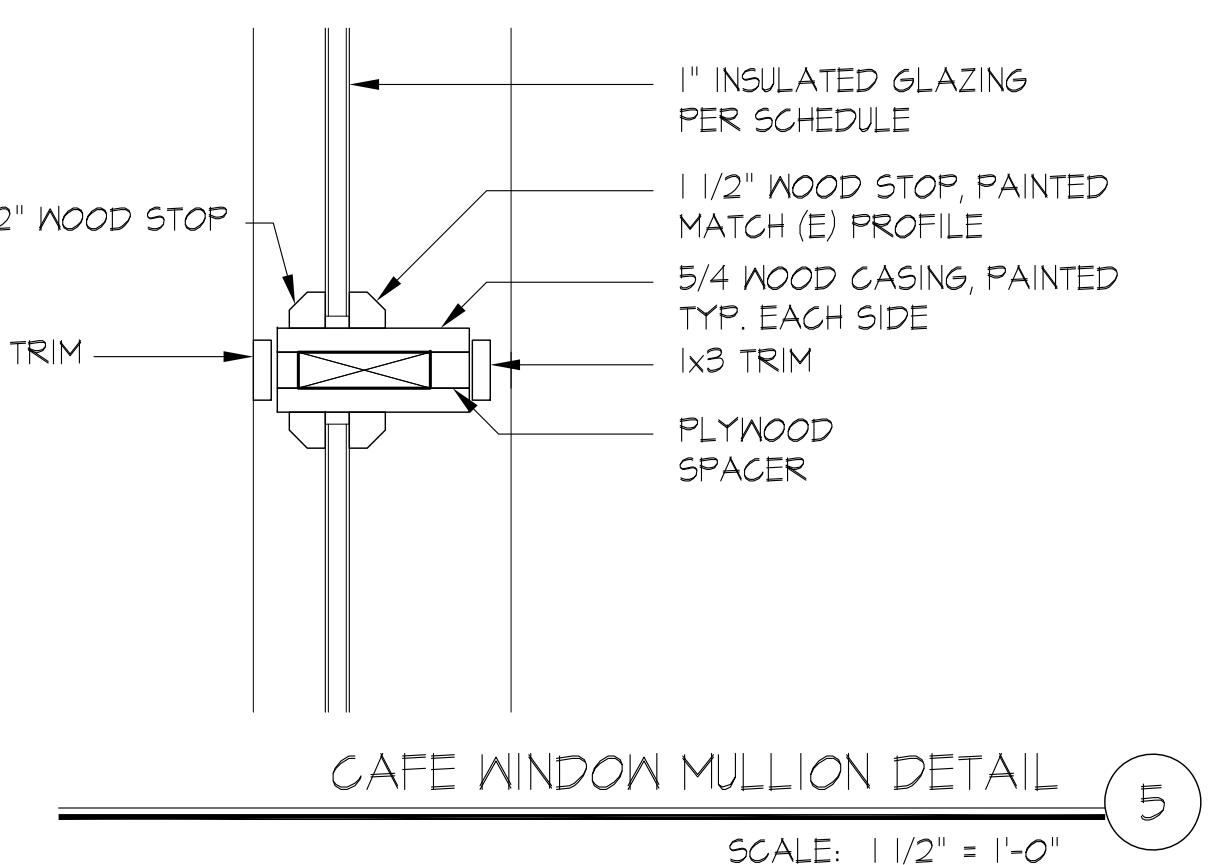
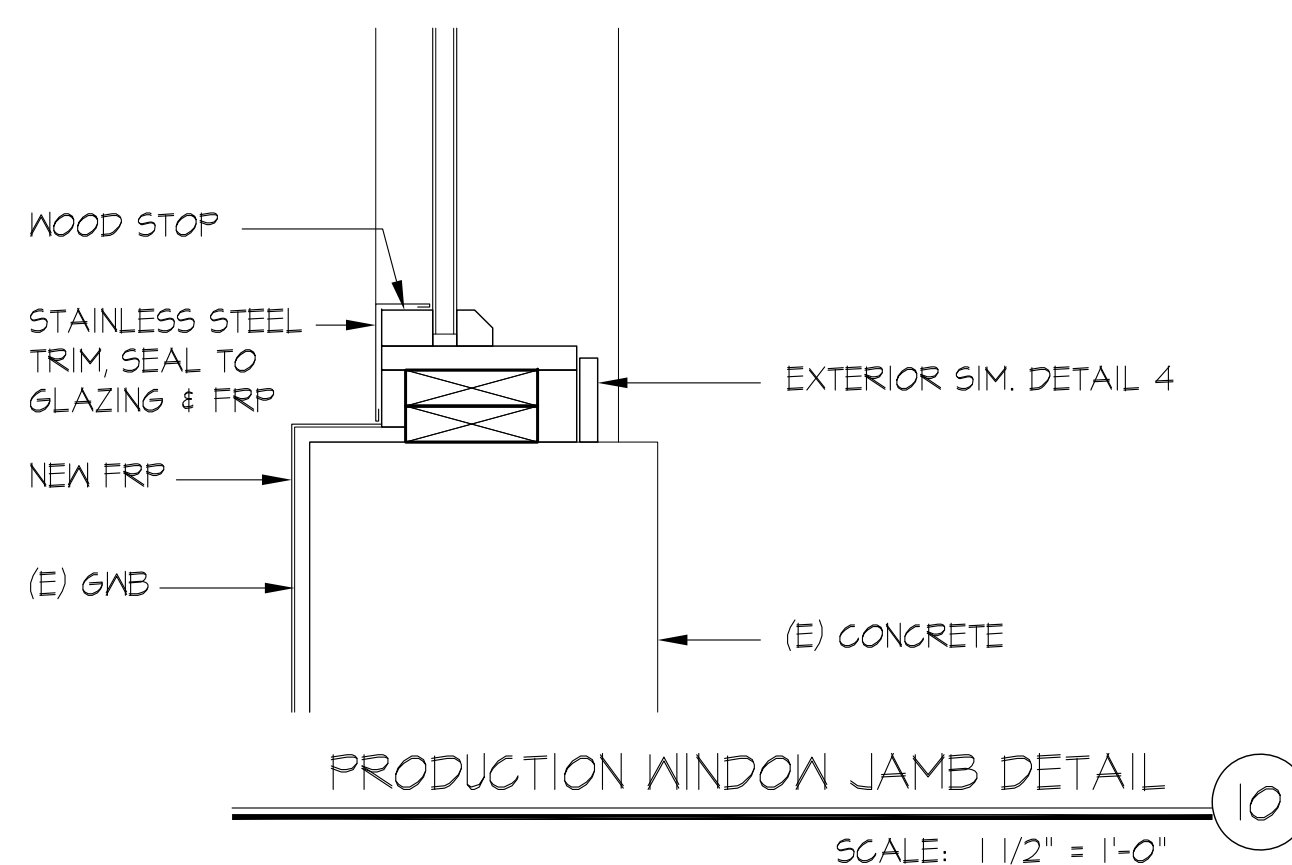
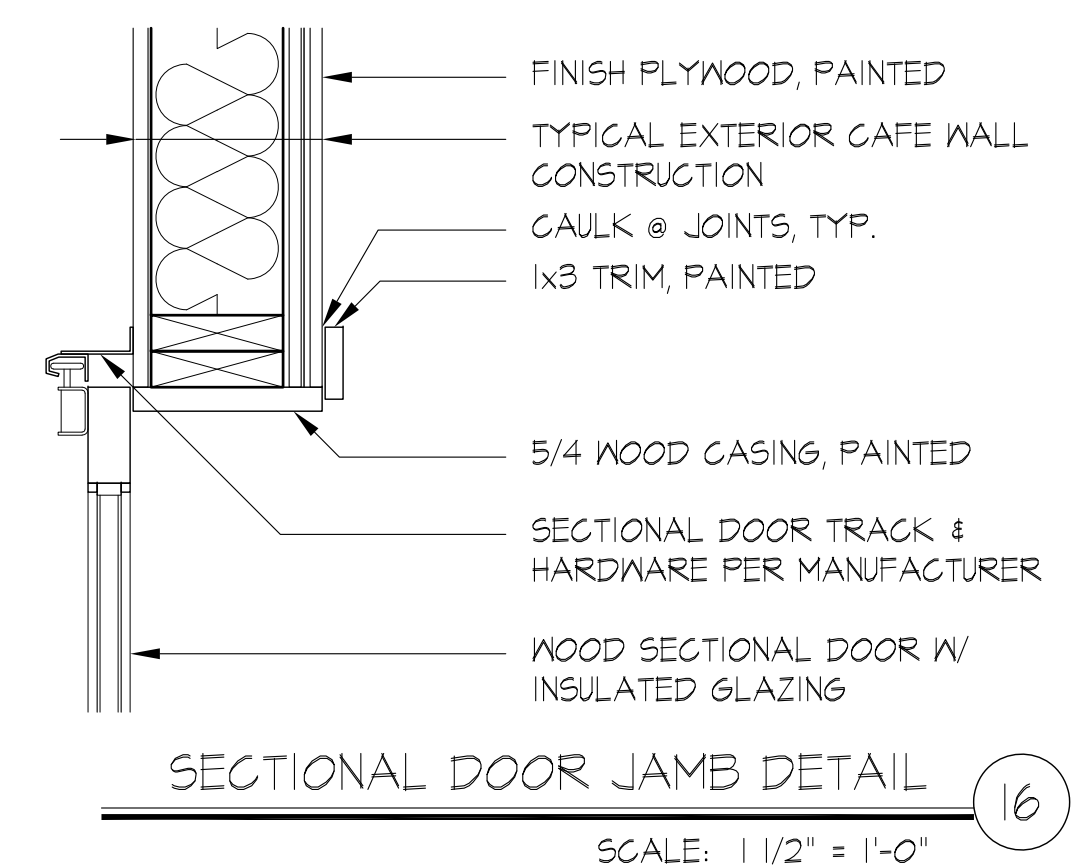
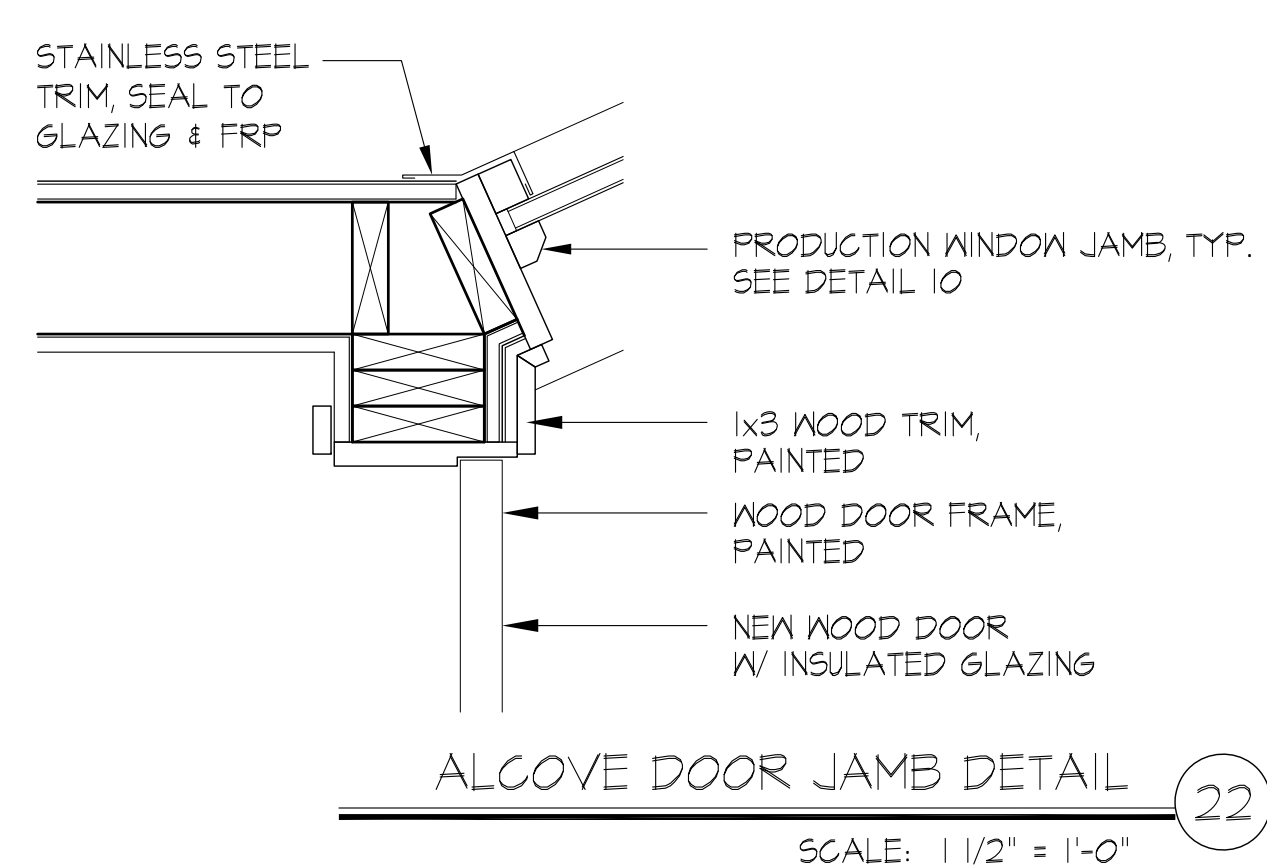
BEECHER'S CHEESE RENOVATION

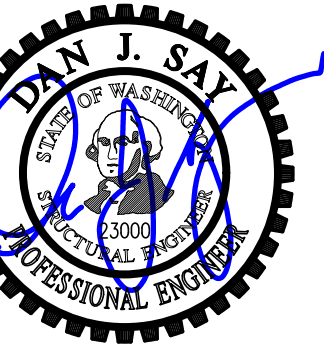
1600 PIKE PLACE
 SEATTLE, WA 98101

REVISIONS



TRIM NOTES:
 * ALL TRIM TO MATCH EXISTING.
 * CONTRACTOR TO VERIFY & DOCUMENT ALL EXISTING TRIM & DETAILS PRIOR TO DEMOLITION.
 * NEW TRIM & DETAILS TO MATCH EXISTING TO THE GREATEST EXTENT POSSIBLE.
 * NEW EXTERIOR WOOD TRIM TO BE PAINTED DARK GREEN TO MATCH EXISTING UNLESS NOTED OTHERWISE.
 * NEW EXTERIOR FINISH PLYWOOD TO BE PAINTED "SAND" TO MATCH EXISTING EXTERIOR WALLS UNLESS NOTED OTHERWISE.





DRAWN:	RJ
DESIGN:	FR
CHECKED:	FR
APPROVED:	DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Beechers Pike Place Renovation
 1600 Pike Place
 Seattle, WA 98101

ARCHITECT:



1328 5TH AVENUE #440
 SEATTLE, WA 98101
 206-444-1285

ISSUE:

PERMIT

SHEET TITLE:

Level 1 Plan

SCALE:

1/4" = 1'-0"

DATE:

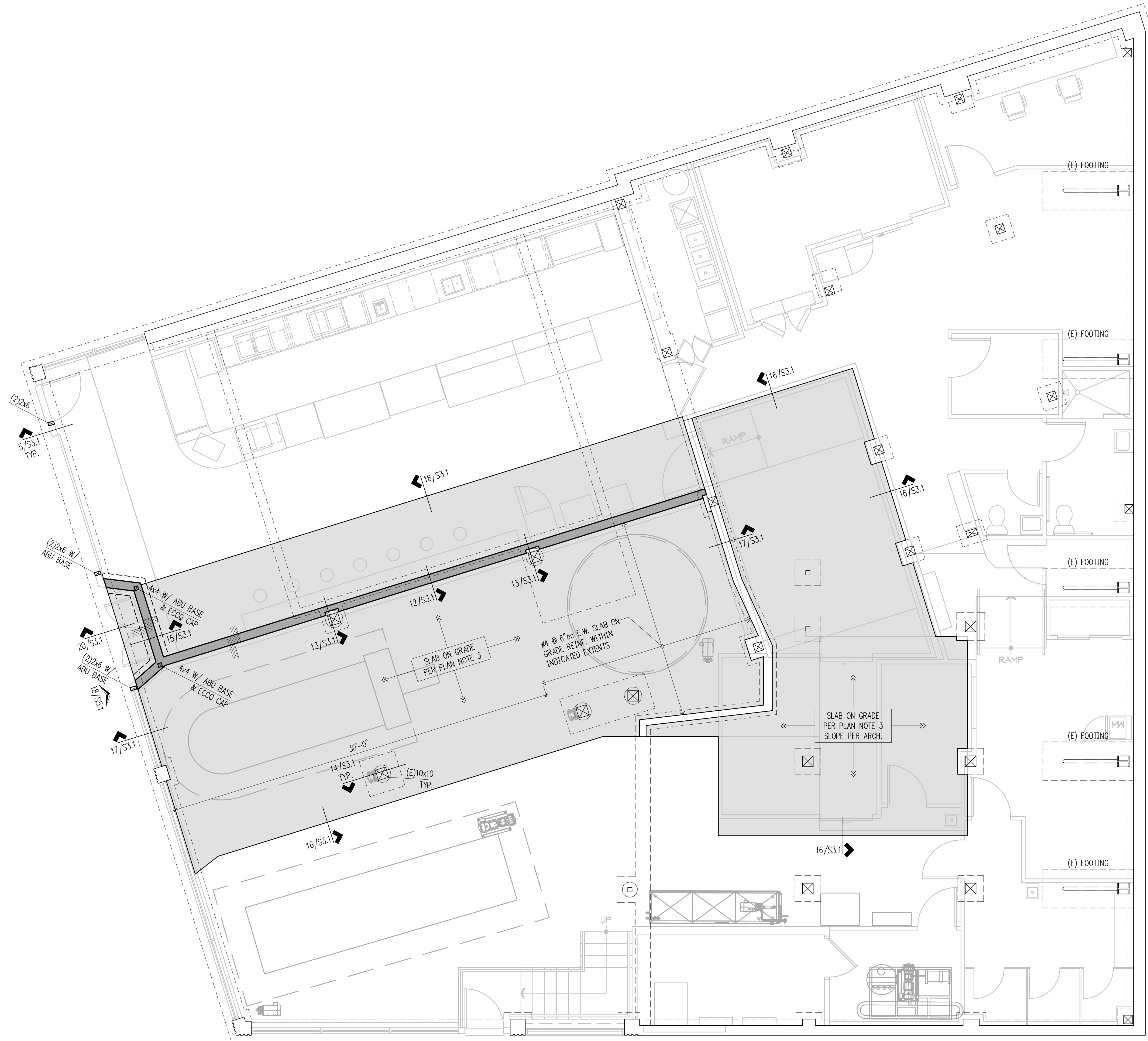
April 28, 2023

PROJECT NO:

01543-2022-08

SHEET NO:

S2.1



20/S5.1

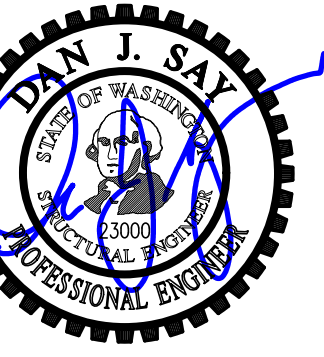
Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW GRADE.
- 6" CONCRETE SLAB OVER 10 MIL VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL. REINFORCE WITH #4 BARS @18" ON CENTER EACH WAY, UNLESS NOTED OTHERWISE. PROVIDE CONSTRUCTION/CONTROL JOINTS PER DETAIL 19/S3.1.
- PROVIDE CORNER BARS PER DETAIL 10/S3.1 AT ALL WALL AND FOOTING INTERSECTIONS.
- PROVIDE EPOXY GROUTED #4 X 2-6" DOWELS EMBEDDED A MINIMUM OF 6" IN TO EXISTING CONCRETE TO MATCH NEW HORIZONTAL REINFORCING. TYPICAL WHERE NEW CONCRETE WALL OR FOOTING TERMINATES AT EXISTING CONCRETE. EPOXY GROUT PER GENERAL STRUCTURAL NOTES.
- ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE CONTINUOUS FULL BEARING THROUGH FLOORS TO THE FOUNDATION.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

- (E) STRUCTURAL WALL
- NEW CONCRETE WALL
- NEW SLAB ON GRADE

Level 1 Plan
 Scale: 1/4" = 1'-0"



DRAWN:	RJ
DESIGN:	FR
CHECKED:	FR
APPROVED:	DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Beechers Pike Place Renovation
 1600 Pike Place
 Seattle, WA 98101

ARCHITECT:



ISSUE:

PERMIT

SHEET TITLE:

Roof Plan

SCALE:

1/4" = 1'-0"

DATE:

April 28, 2023

PROJECT NO:

01543-2022-08

SHEET NO:

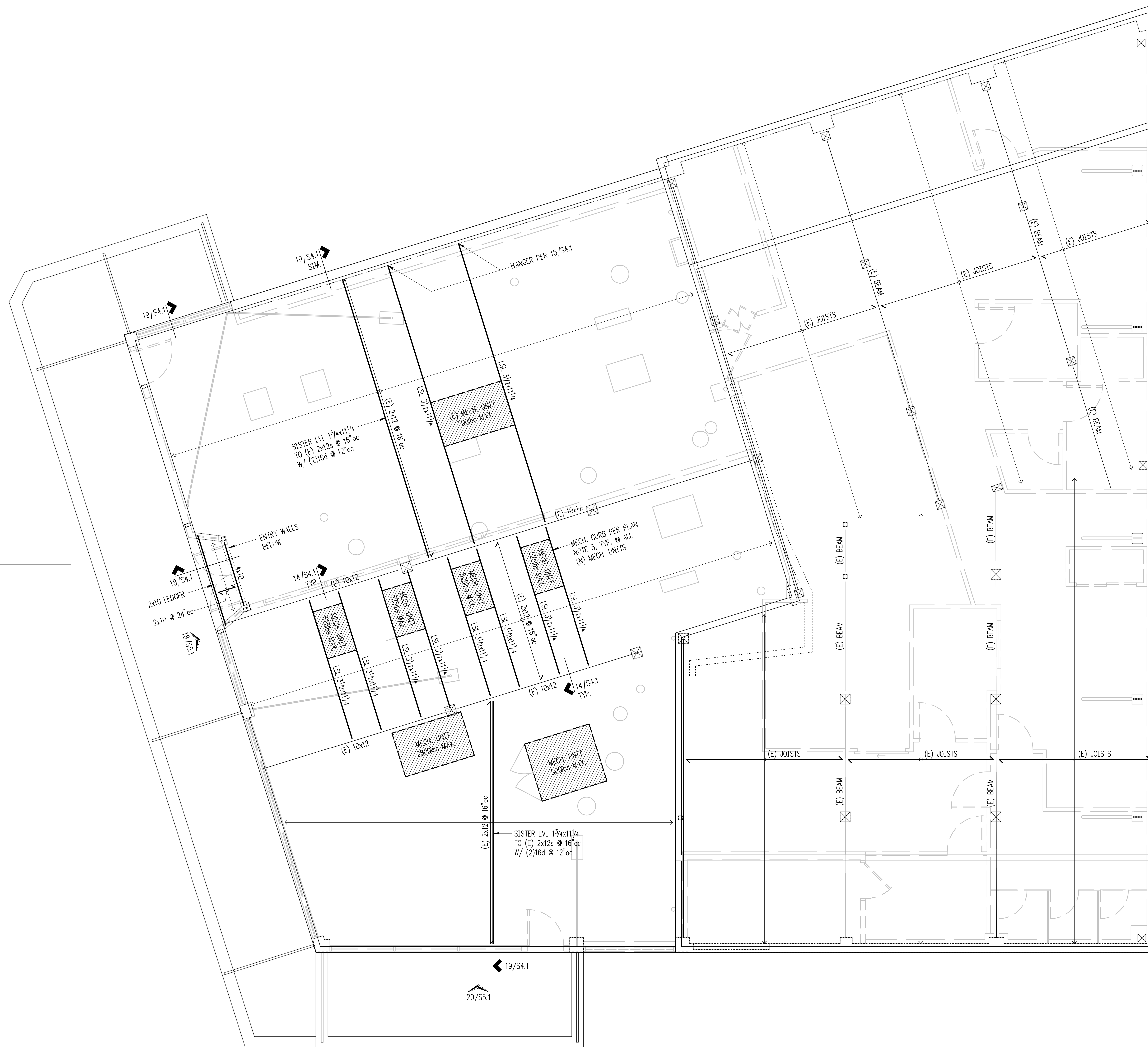
S2.2

Plan Notes

- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
- MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, QI) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
- PROVIDE TYPICAL MECHANICAL CURB PER 5/S4.1.
- REFER TO DETAILS 182/S4.1 FOR TYPICAL ROOF REPAIR.
- NEW ROOF SHEATHING SHALL BE MIN. 1/2" A.P.A. RATED PANELS (EXPOSURE 1, SPAN RATING 32/16), FACE GRAIN PERPENDICULAR TO SUPPORTS OVER ROOF FRAMING PER PLAN. NAIL SHEATHING AT ALL FRAMED PANEL EDGES WITH 8D AT 6" O.C. AND TO ALL INTERMEDIATE FRAMING AT 12" O.C.
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.

Legend

- EXISTING WALL OR POST BELOW
- (E) STRUCTURAL WALL
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- EXISTING HEADER/BEAM
- BLOCKING PER 10/S4.1



Reinforcing Splice and Development Length Schedule

For $f_c = 4000$ psi, Grade 60 Reinforcing

I Minimum Straight Development Length (l_d)

Bar Size	Top Bars	Other Bars
#3	19"	15"
#4	25"	19"
#5	31"	24"
#6	37"	29"
#7	54"	42"
#8	62"	48"
#9	70"	54"
#10	79"	61"
#11	87"	67"

II Minimum Lap Splice Lengths (l_s)

Bar Size	Top Bars	Other Bars
#3	24"	19"
#4	32"	25"
#5	40"	31"
#6	48"	37"
#7	70"	54"
#8	81"	62"
#9	91"	70"
#10	102"	79"
#11	113"	87"

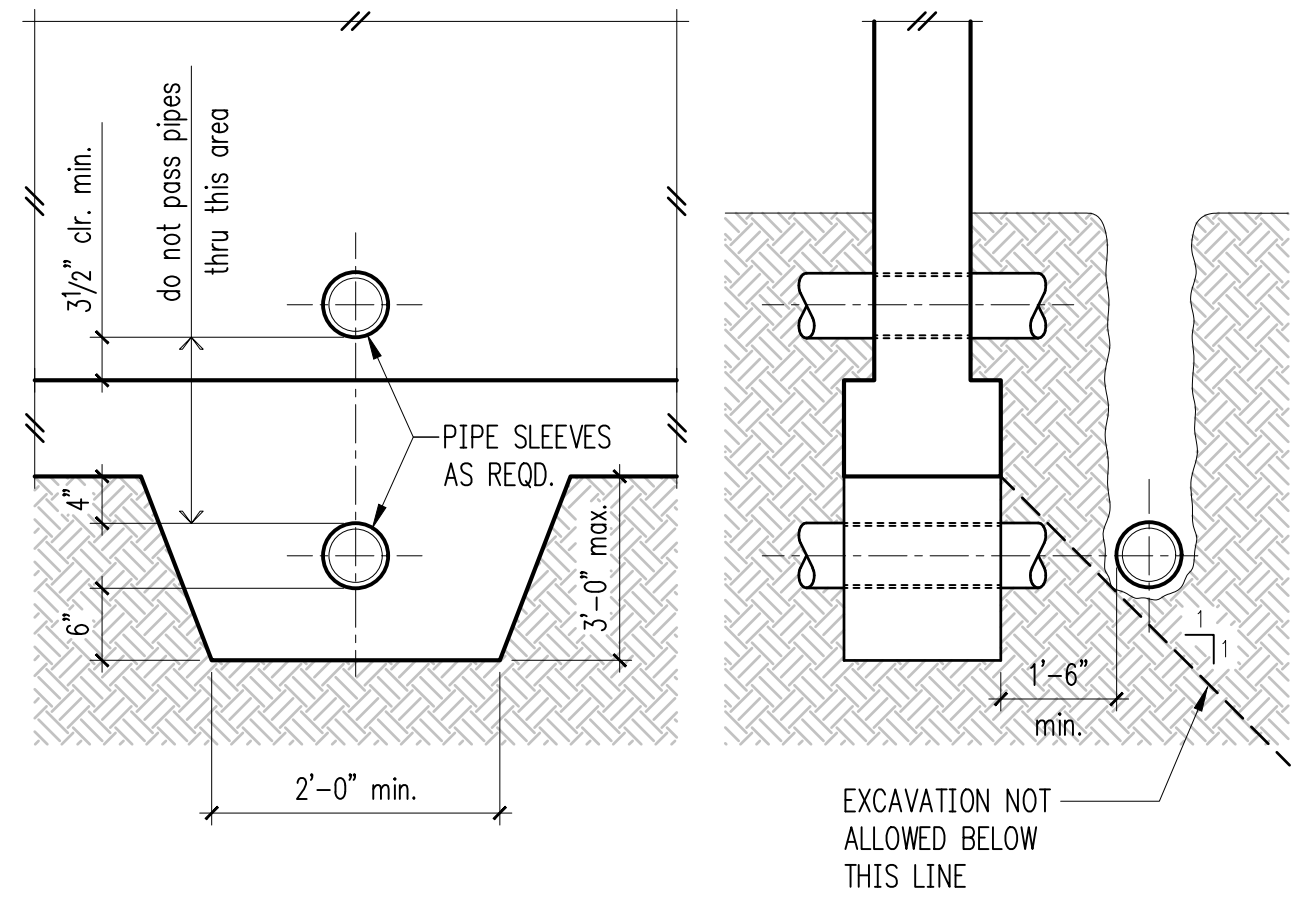
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

III Minimum Embedment Lengths (l_{dh}) For Standard End Hooks

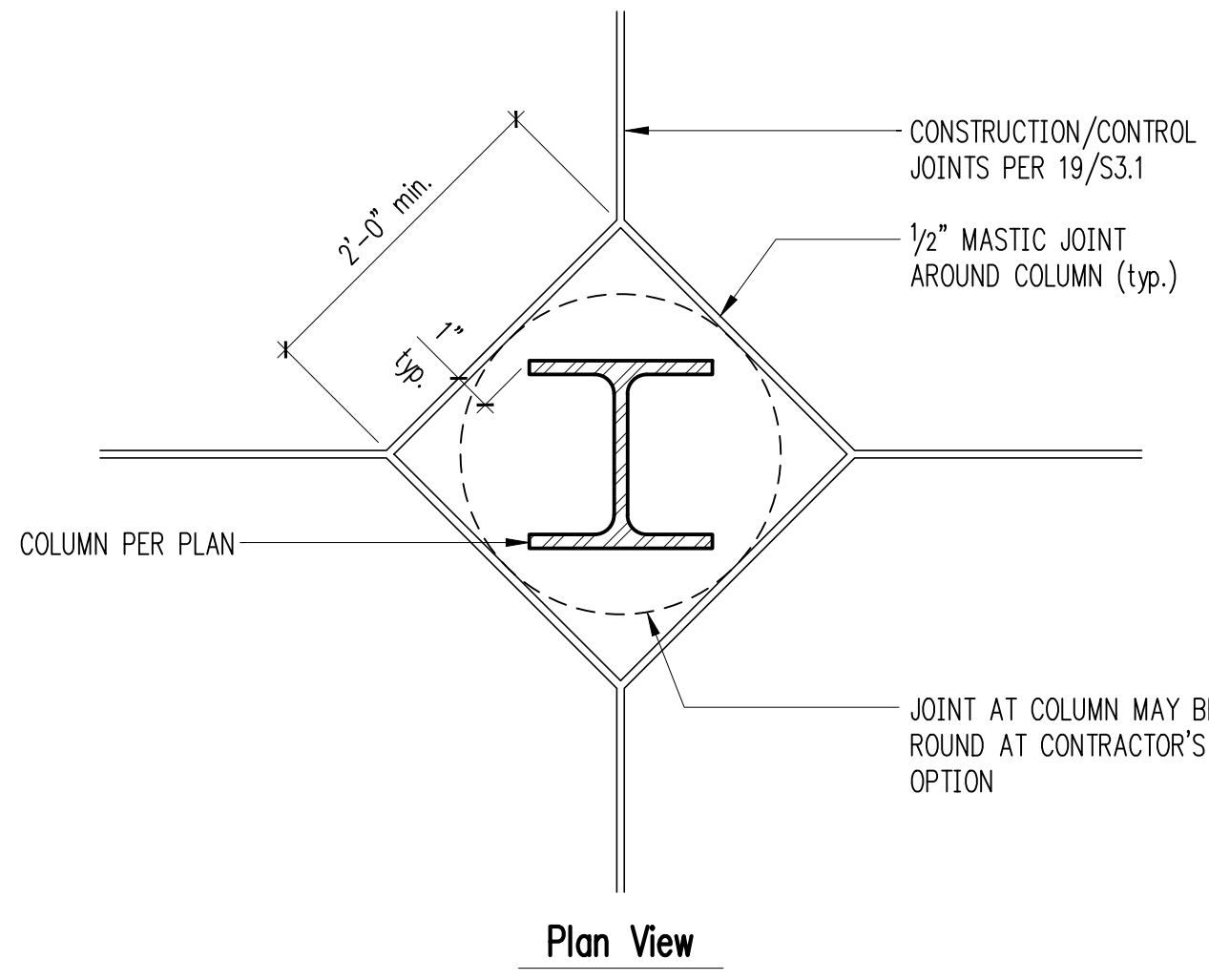
Bar Size	Length
#3	6"
#4	7"
#5	9"
#6	10"
#7	12"
#8	14"
#9	15"
#10	17"
#11	19"

- SIDE COVER MUST BE EQUAL TO OR GREATER THAN $2\frac{1}{2}d$
- END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"

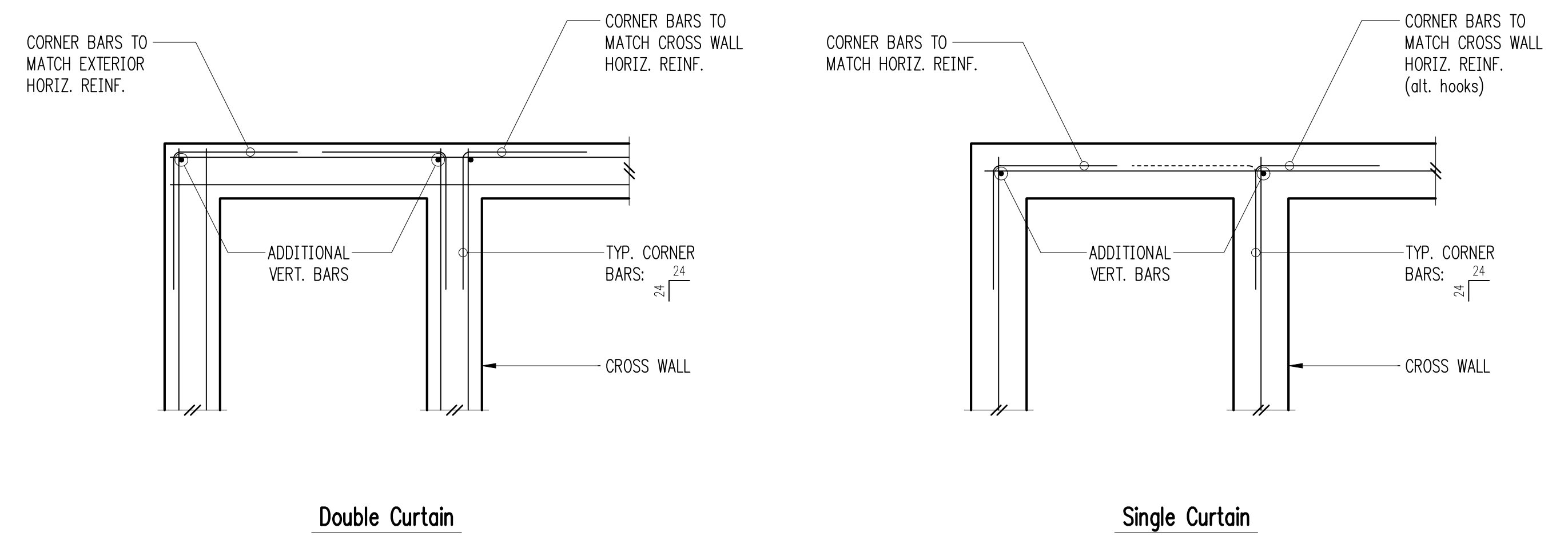


Pipe and Trench Locations 6

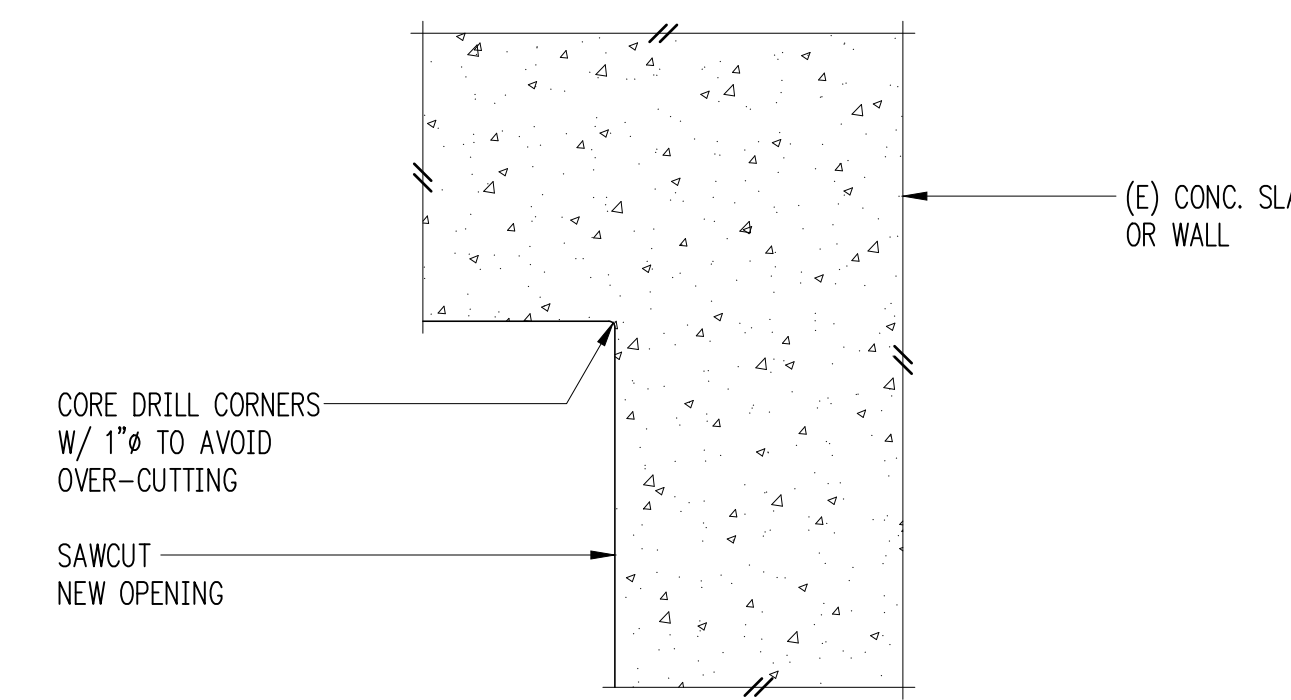
Reinforcing Splice Length Development Length (4000psi) 7



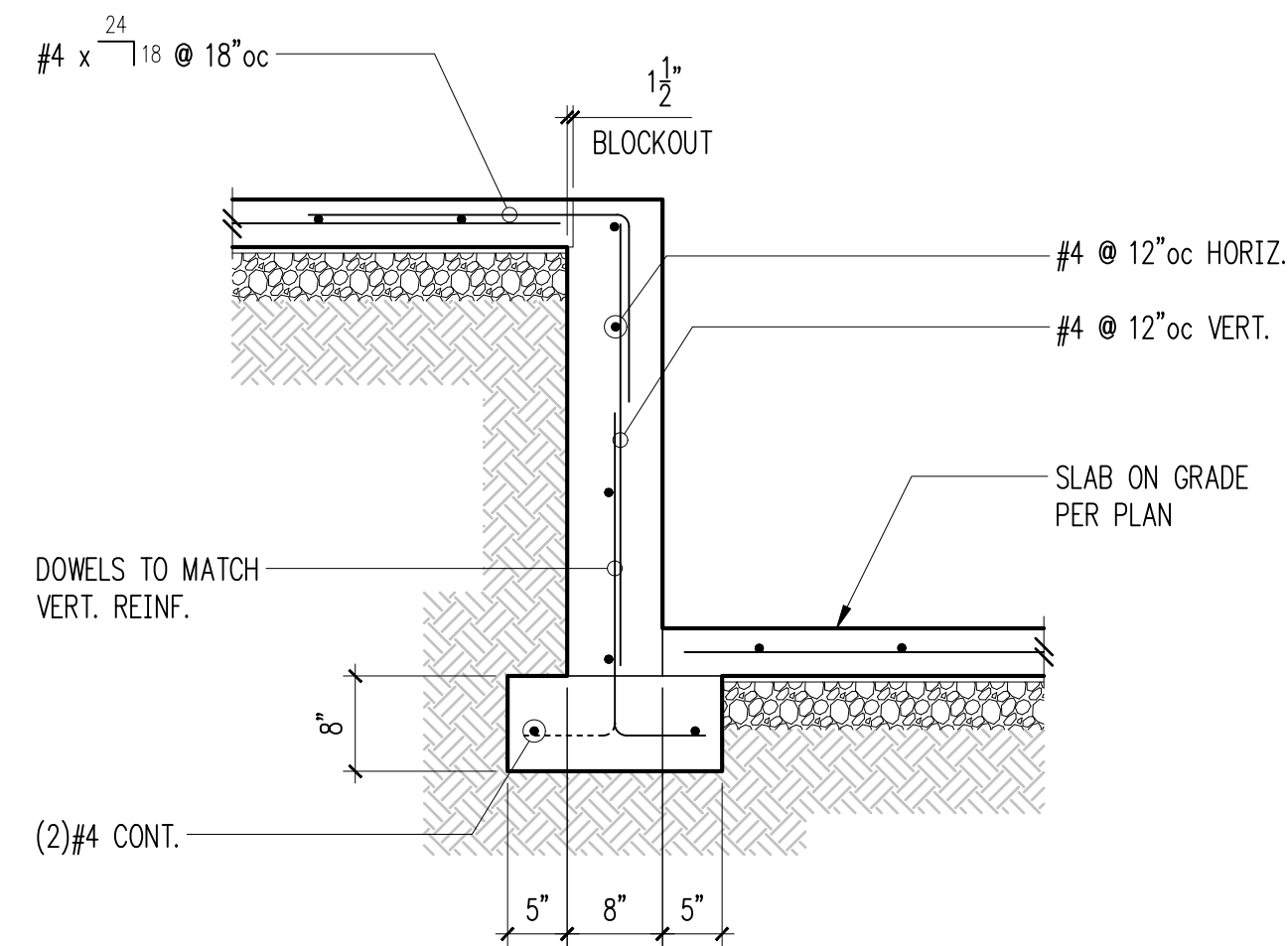
Typical Slab Isolation Joint 8



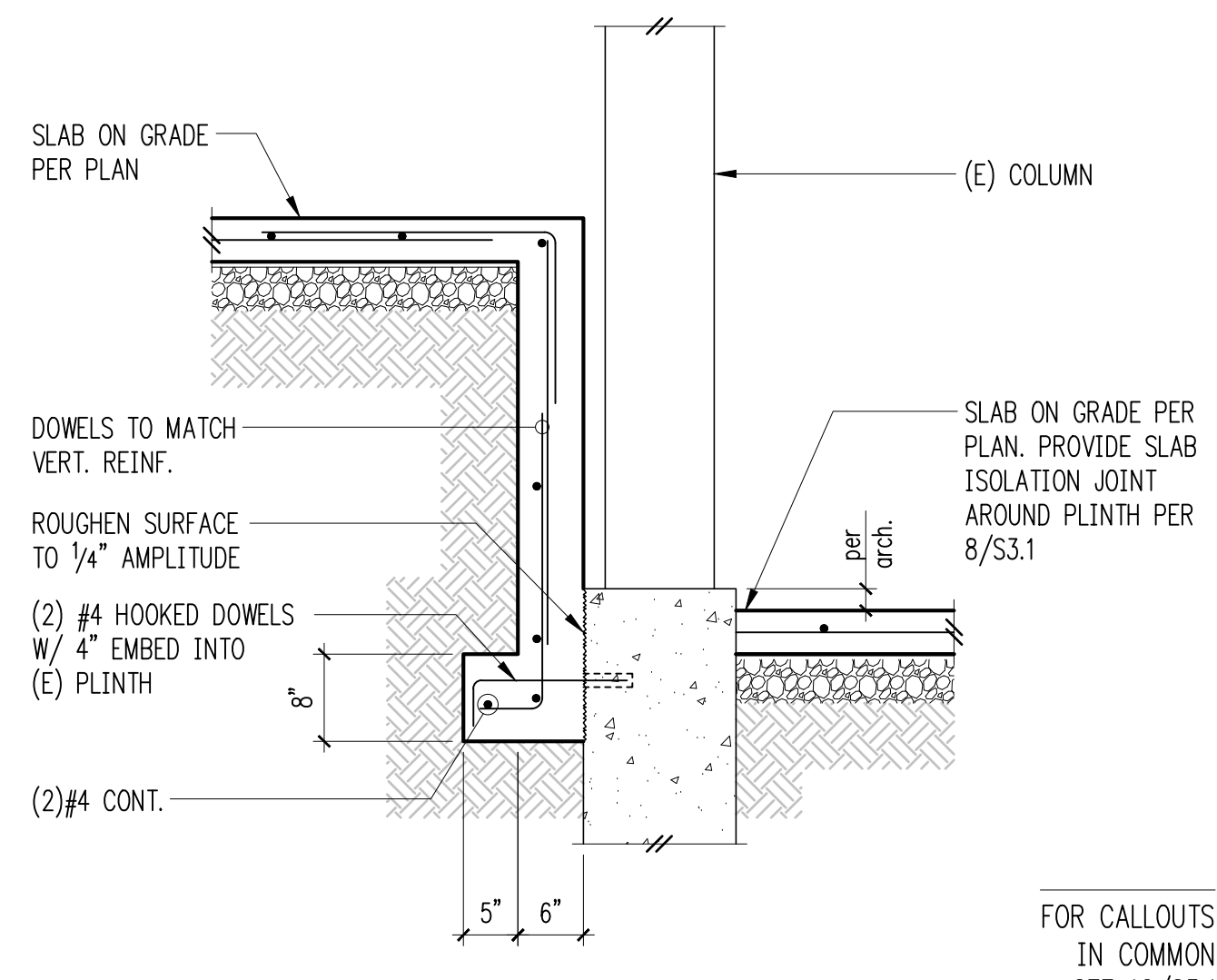
Typical Corner Bars at Concrete Walls and Footings 10



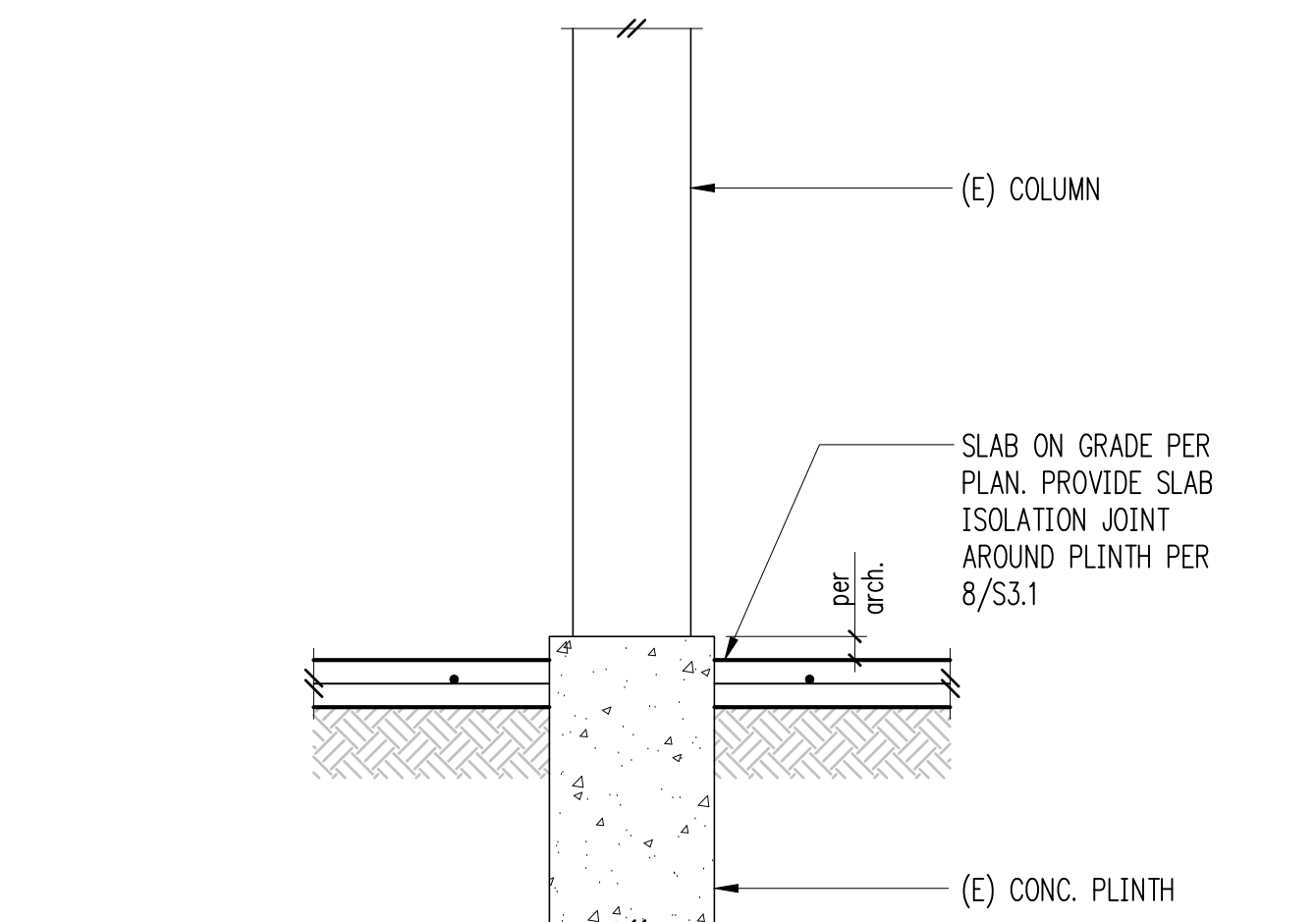
Typical Sawcut Opening in Existing Concrete 11



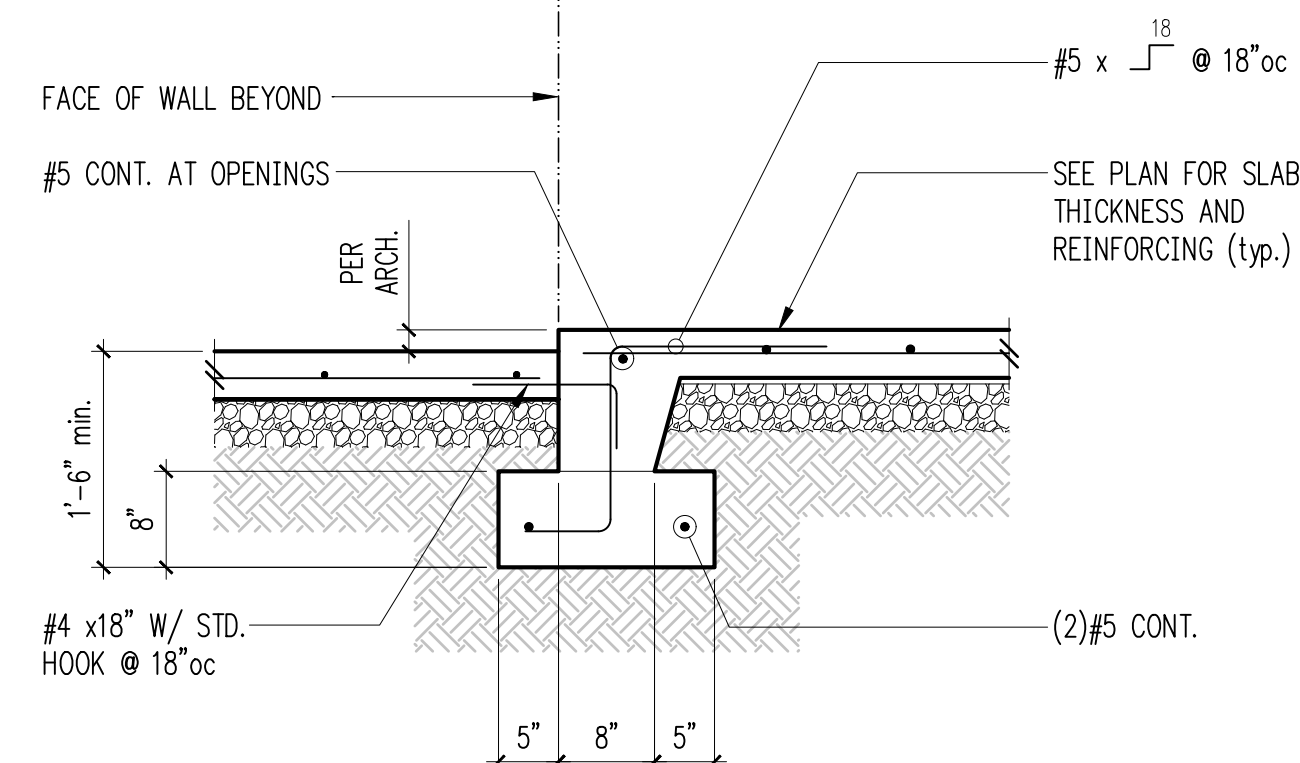
Typical Elevation Change 12



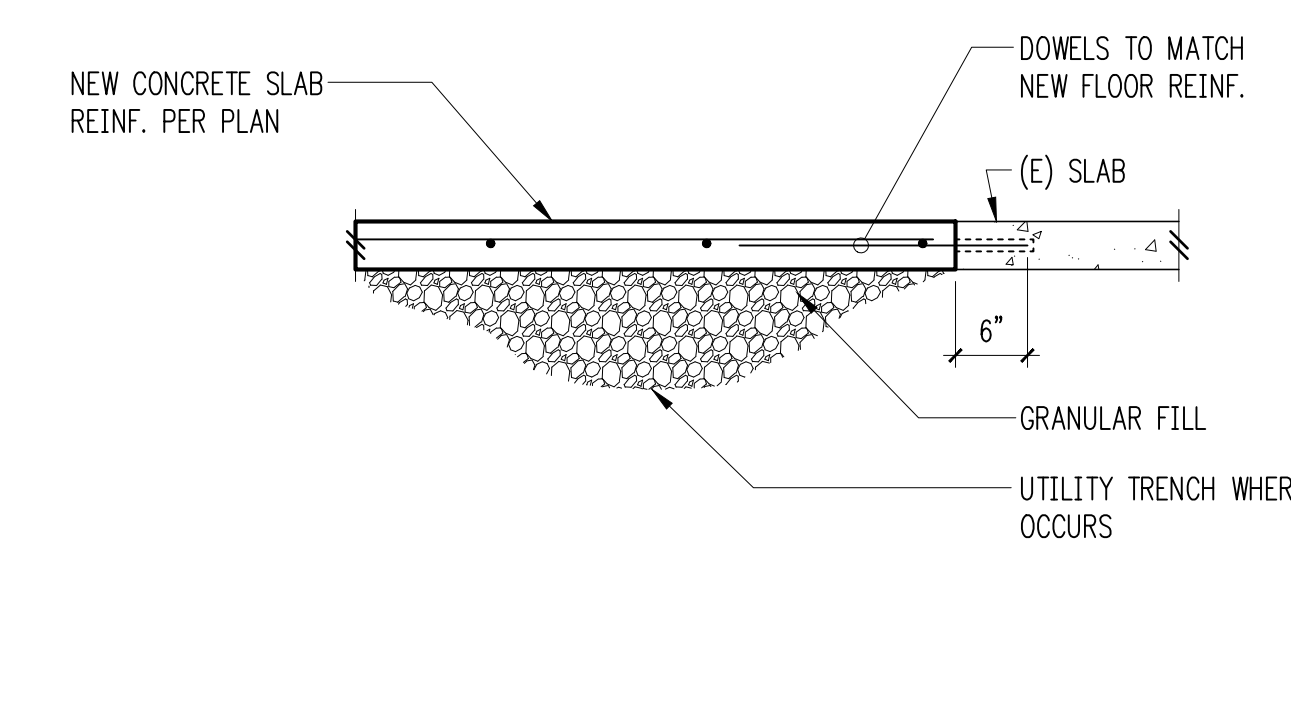
Elevation Change at (E) Column 13



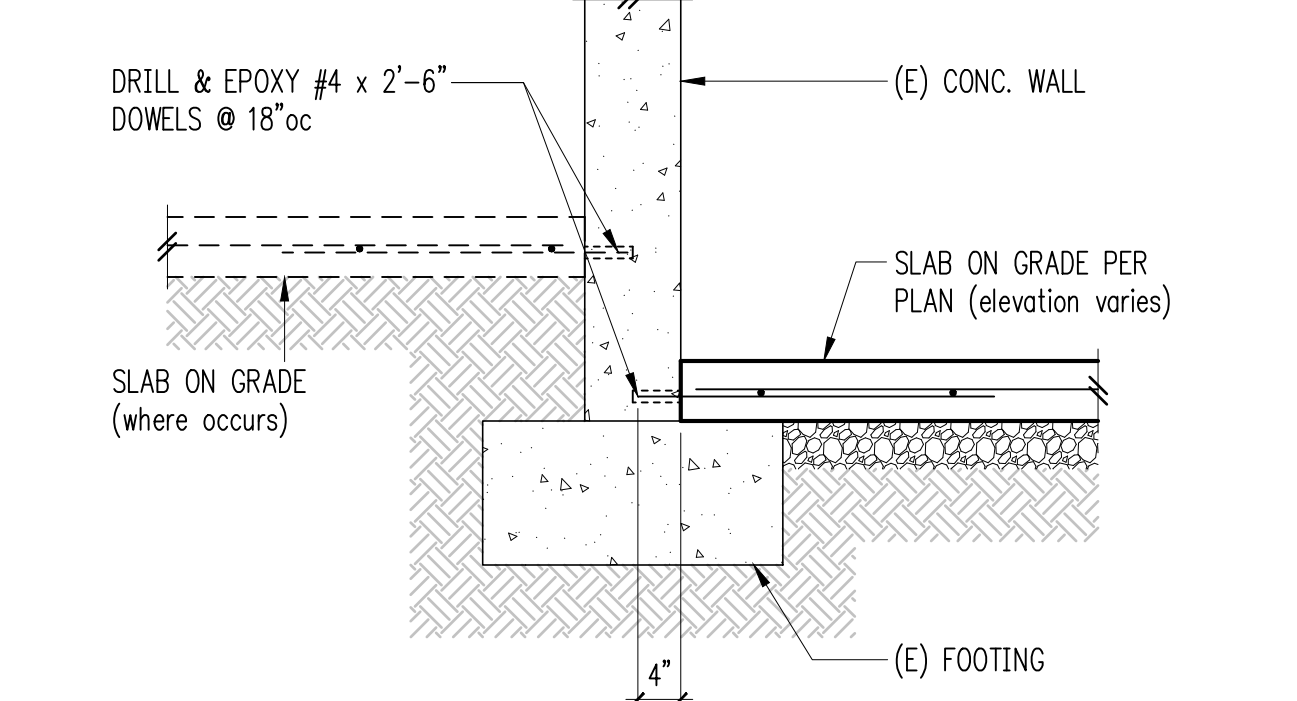
New Slab on Grade at (E) Column 14



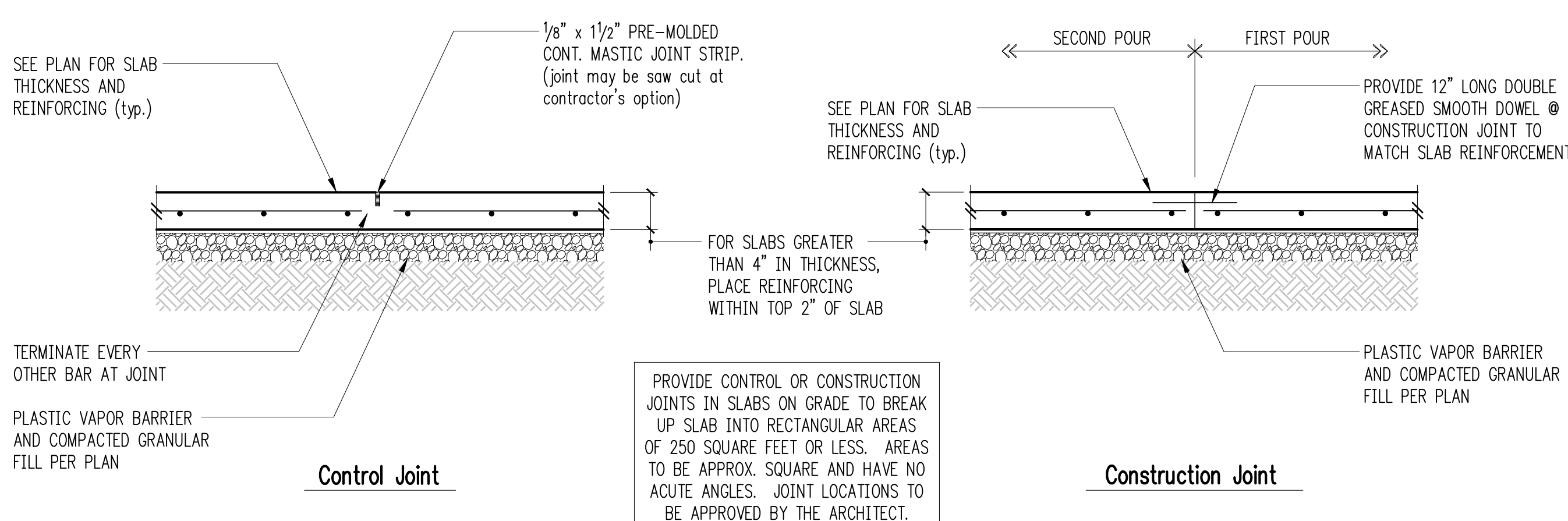
Typical Turned-Down Slab Edge 15



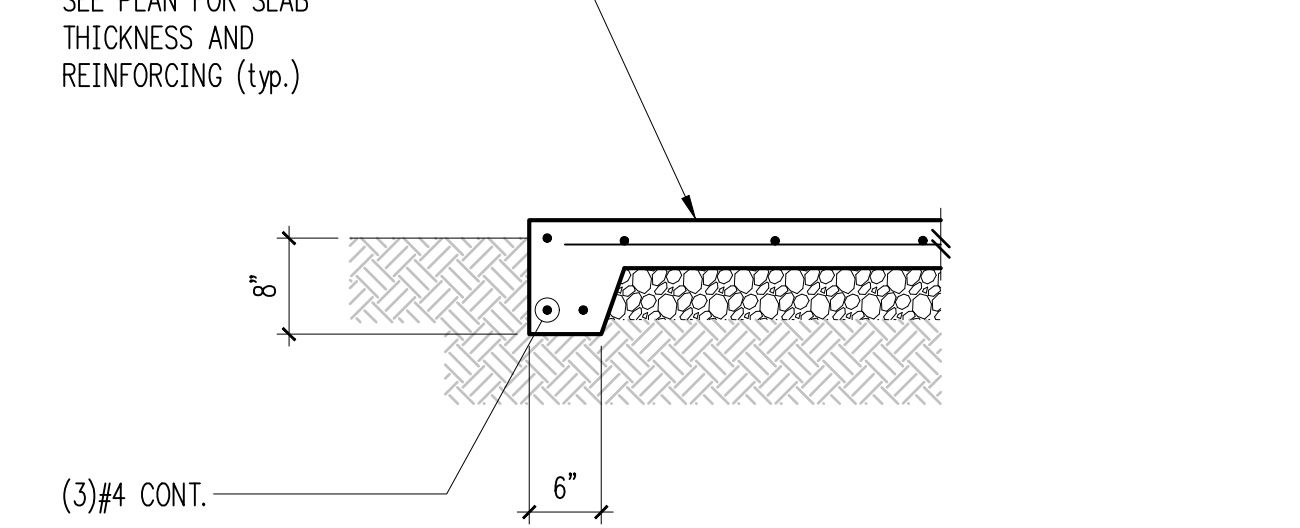
Typical Slab on Grade Edge 16



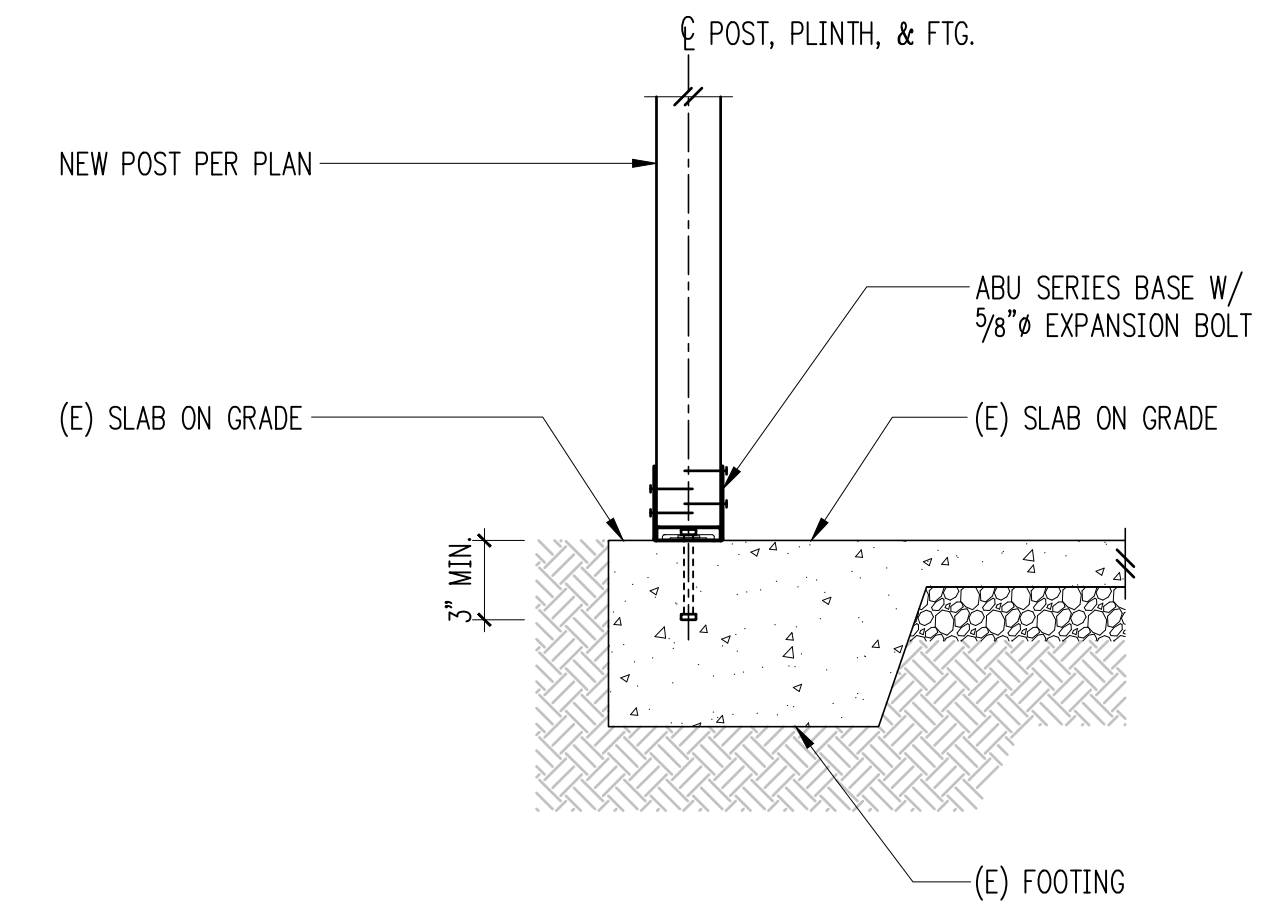
Typical Slab on Grade/Wall Intersection 17



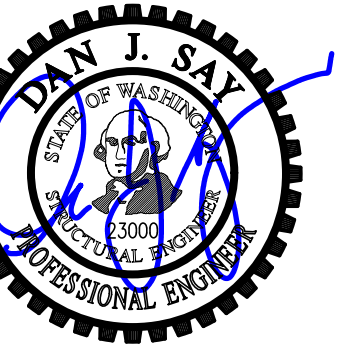
Typical Slab Joints 19



Typical Slab Edge 20



New Post W/ Existing Footing & Slab - ABU 5



DRAWN: RJ
DESIGN: FR
CHECKED: FR
APPROVED: DJS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Beechers Pike Place Renovation
1600 Pike Place
Seattle, WA 98101

ARCHITECT:



ISSUE:

PERMIT

SHEET TITLE:

Wood Framing Details

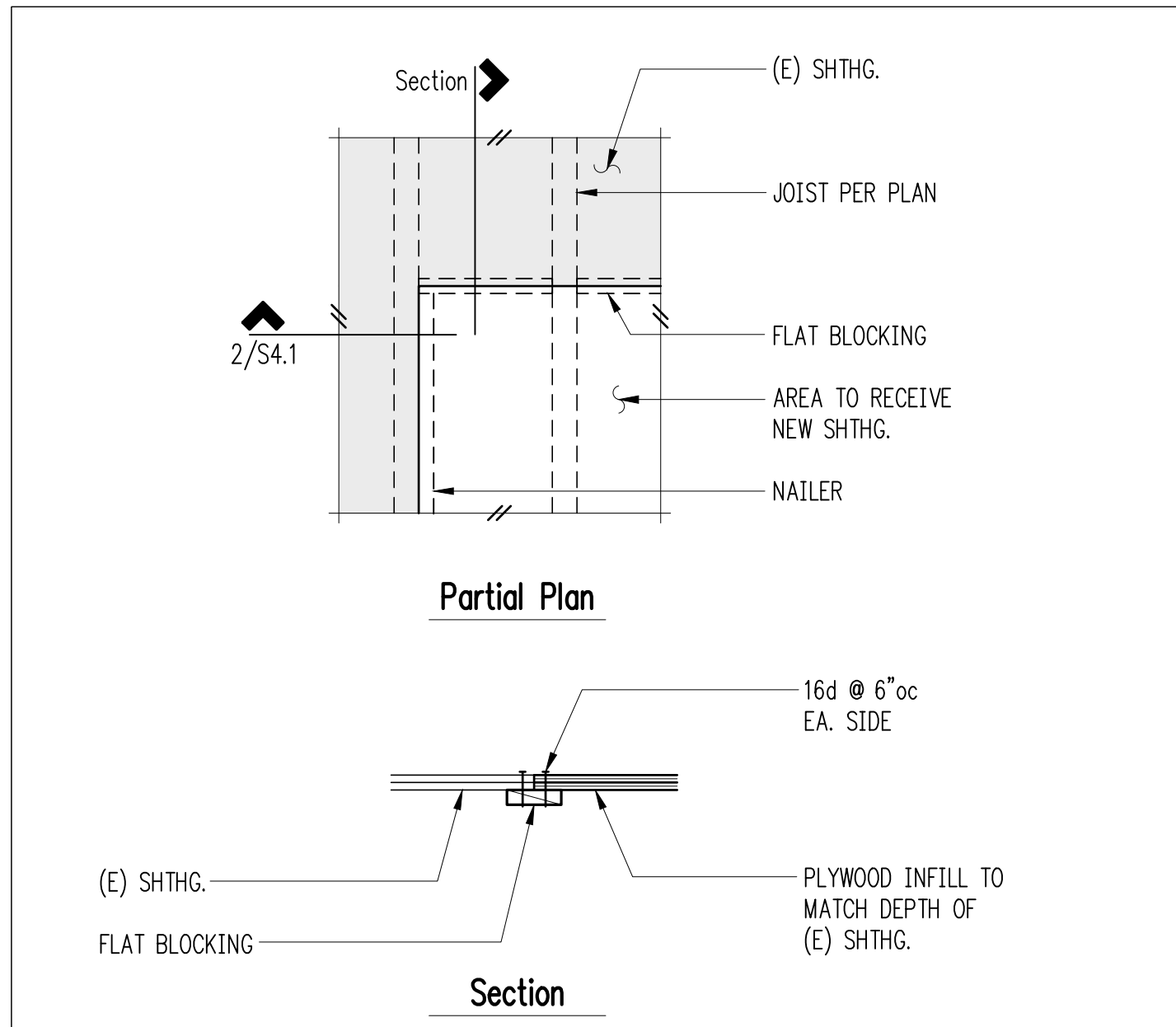
SCALE: = 1'-0" U.N.O.

DATE: April 28, 2023

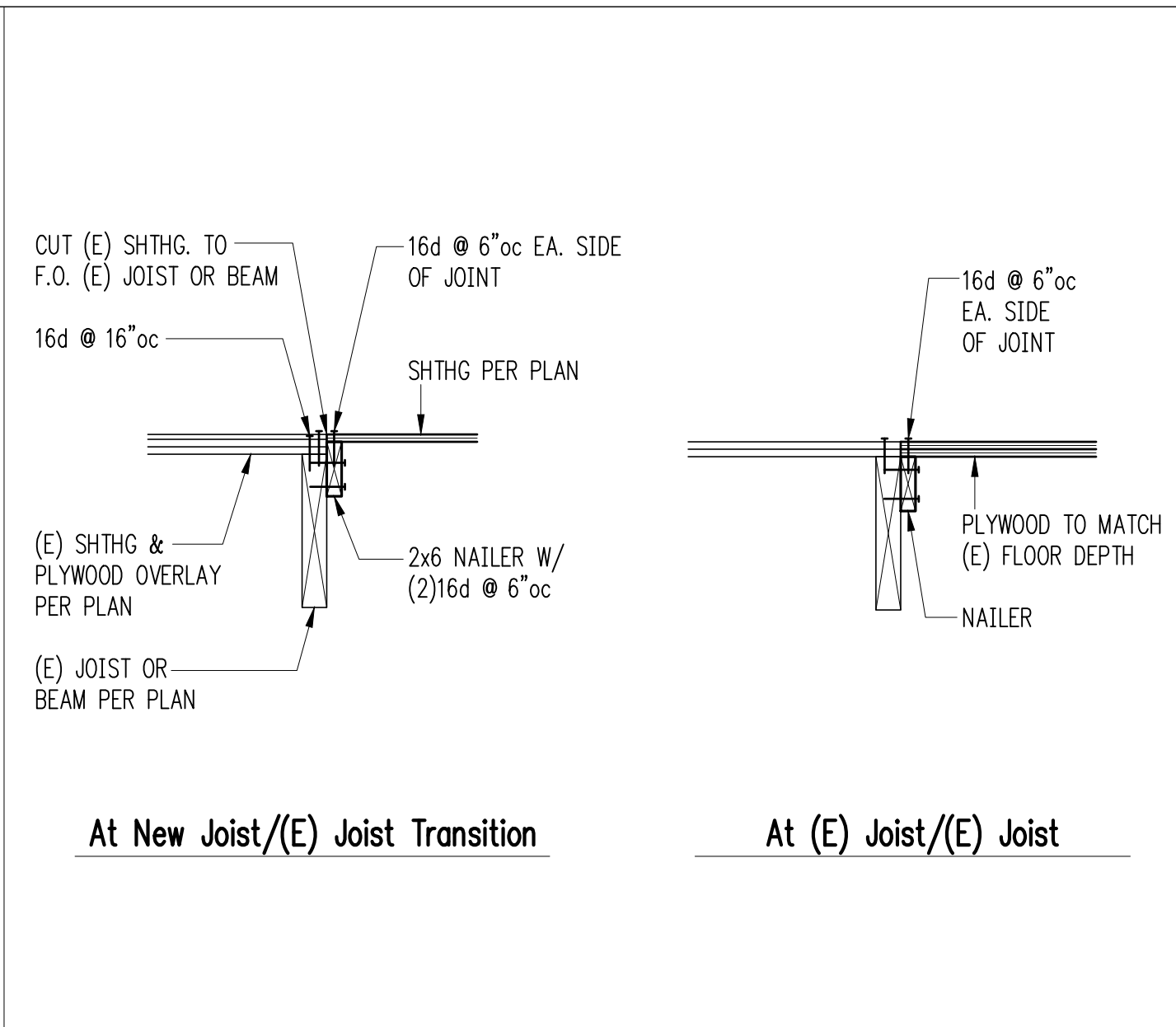
PROJECT NO: 01543-2022-08

SHEET NO:

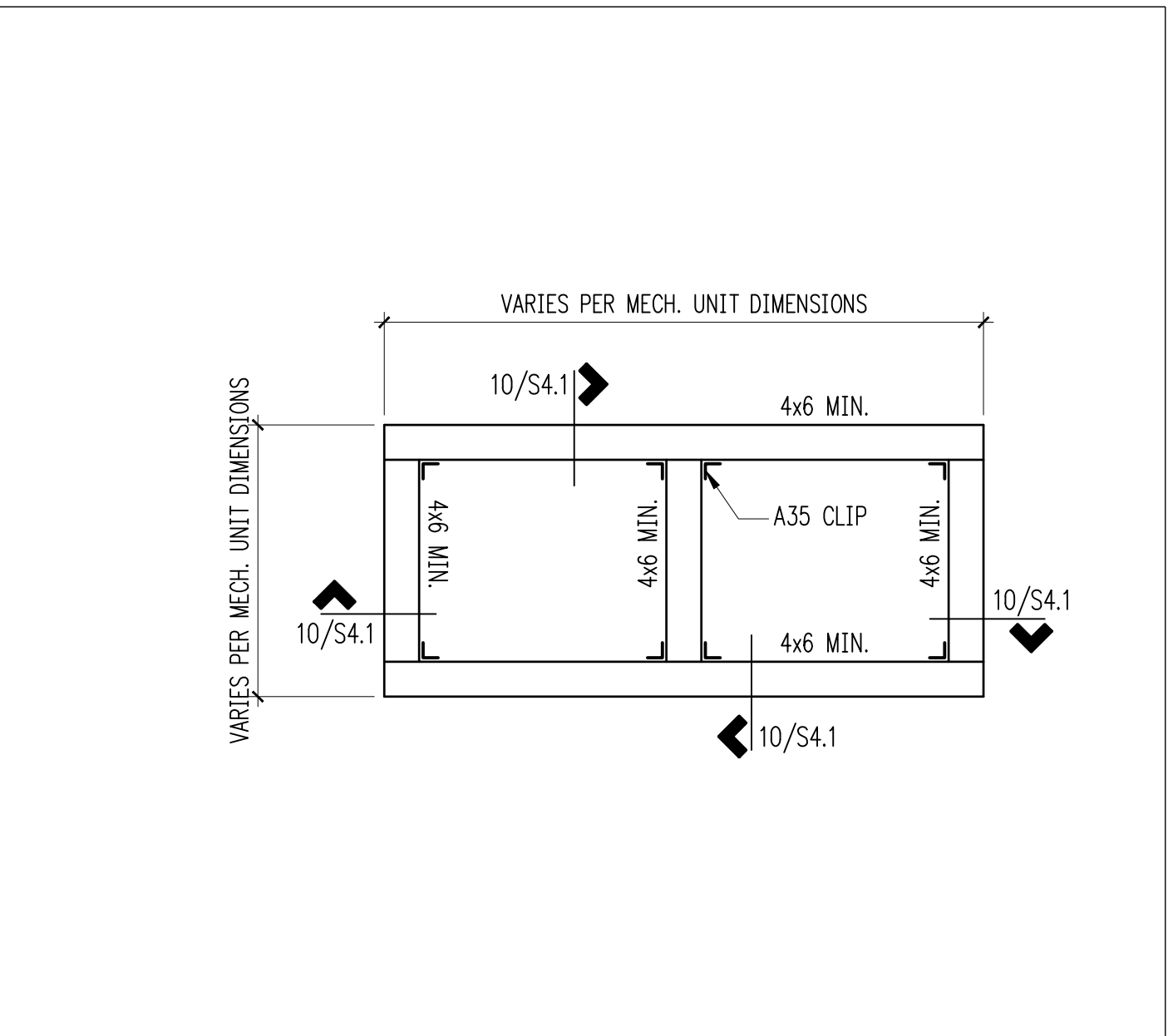
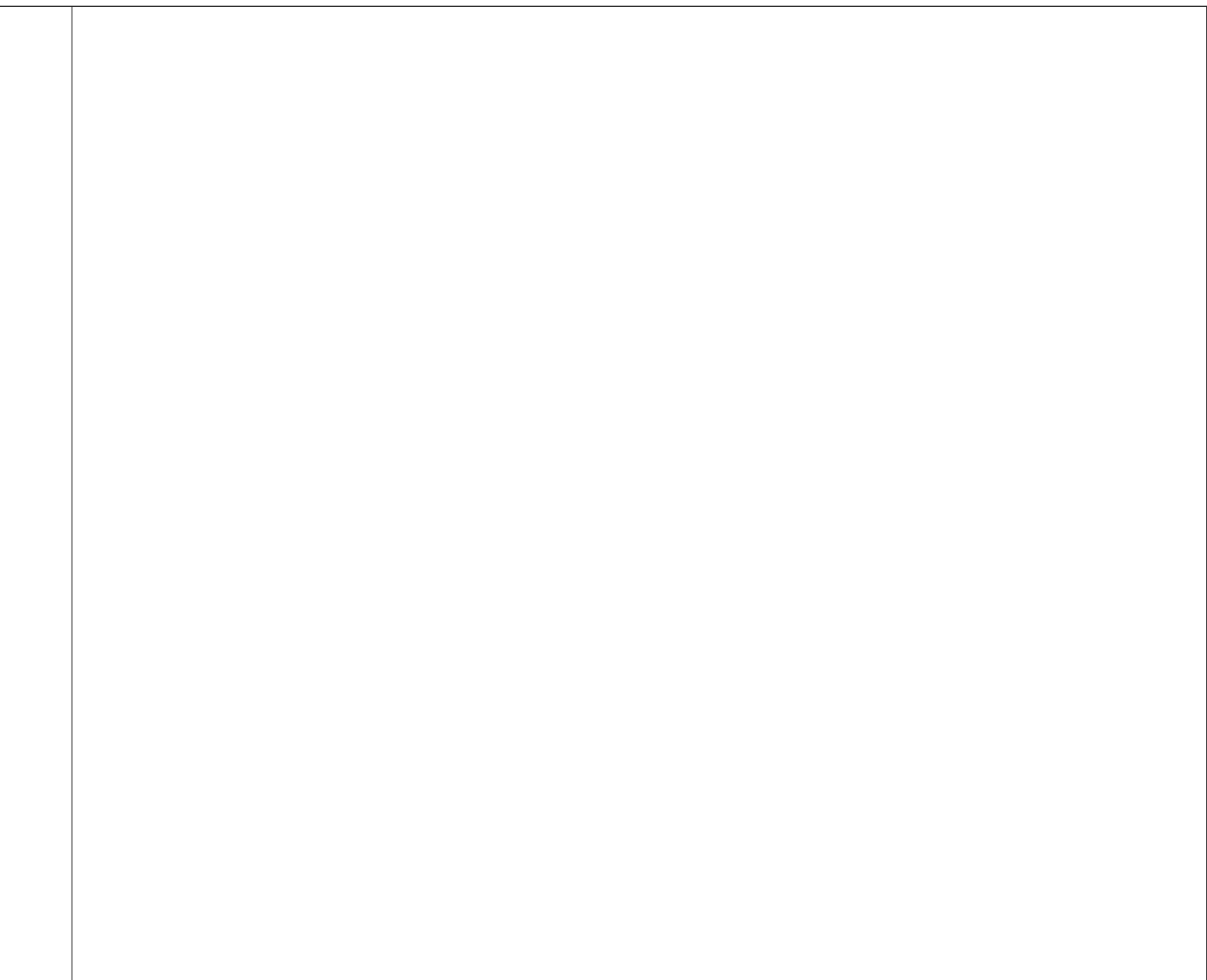
S4.1



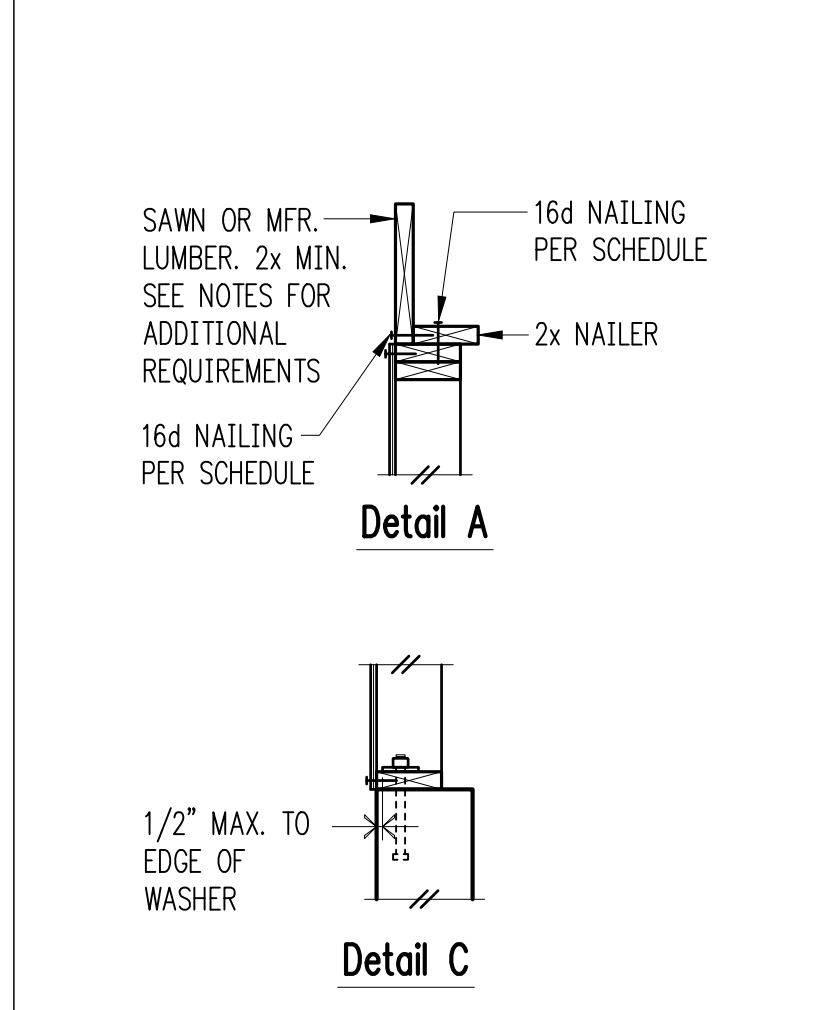
Typical Floor Repair 1



Typical Floor Repair with New Overlay 2



Typical Mechanical Curb 5

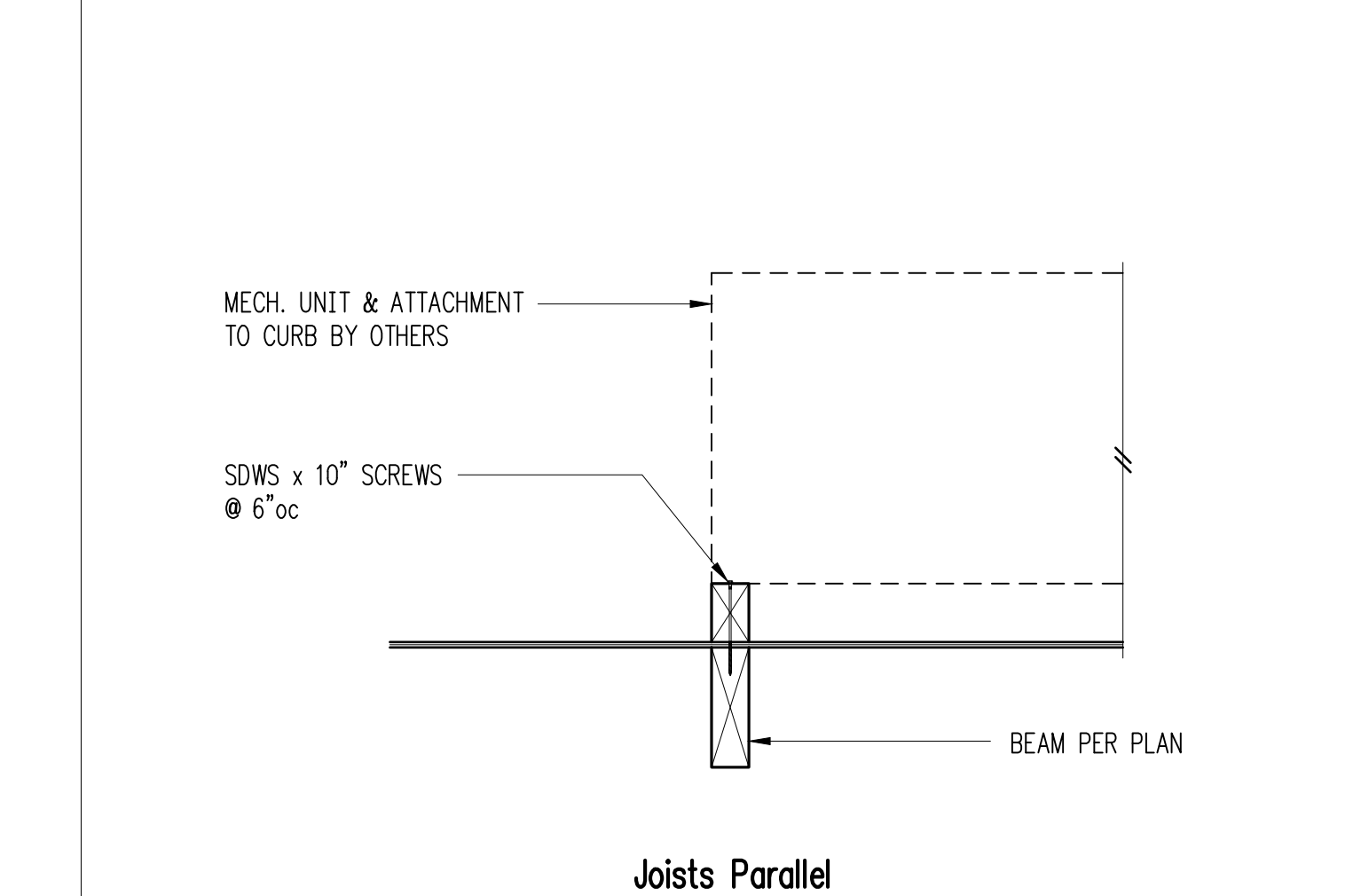


Shearwall Schedule ①②③④⑤⑥⑦

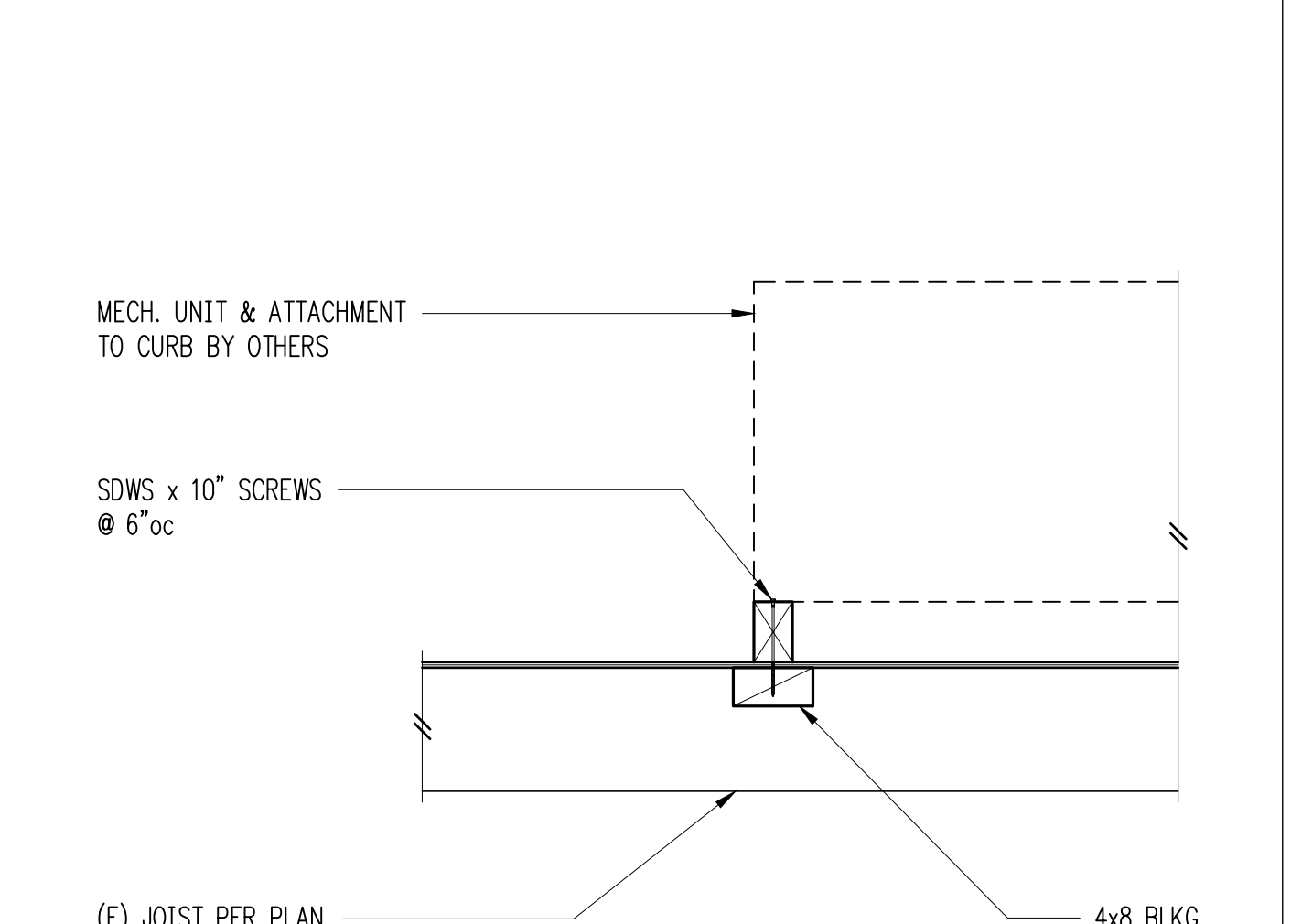
Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood	at Wood	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc	16d @ 6"oc	3/8" A.B. @ 48"oc

- BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"oc.
- 8d NAILS SHALL BE 0.131" x 2 1/2" (common) - 16d NAILS SHALL BE 0.135" x 3 1/2" (box)
- EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
- TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLD-DOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
- ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
- 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX.
- LTP's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35'S AT CONTRACTOR'S OPTION.
- A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35'S AT CONTRACTOR'S OPTION.

Shearwall Schedule - (Sheathed One Side) 7

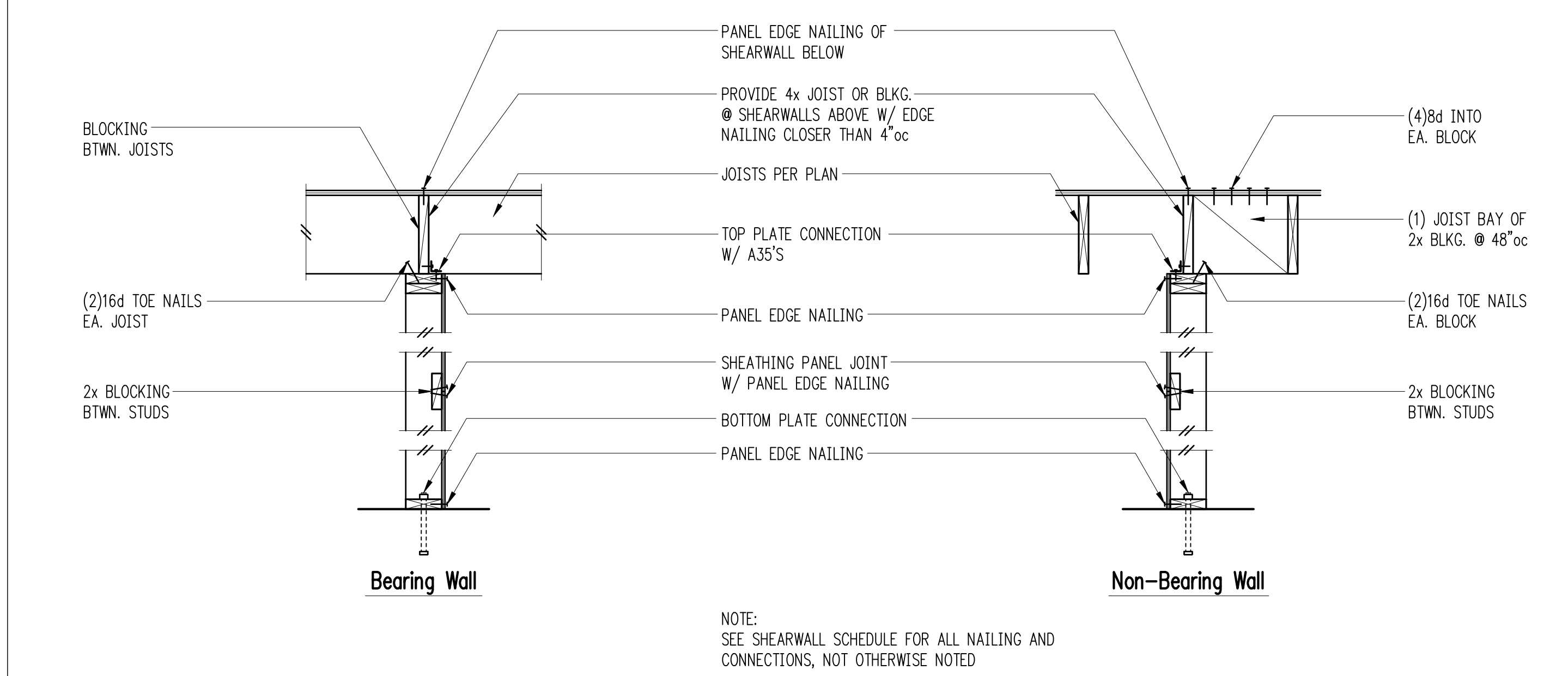


Joists Parallel

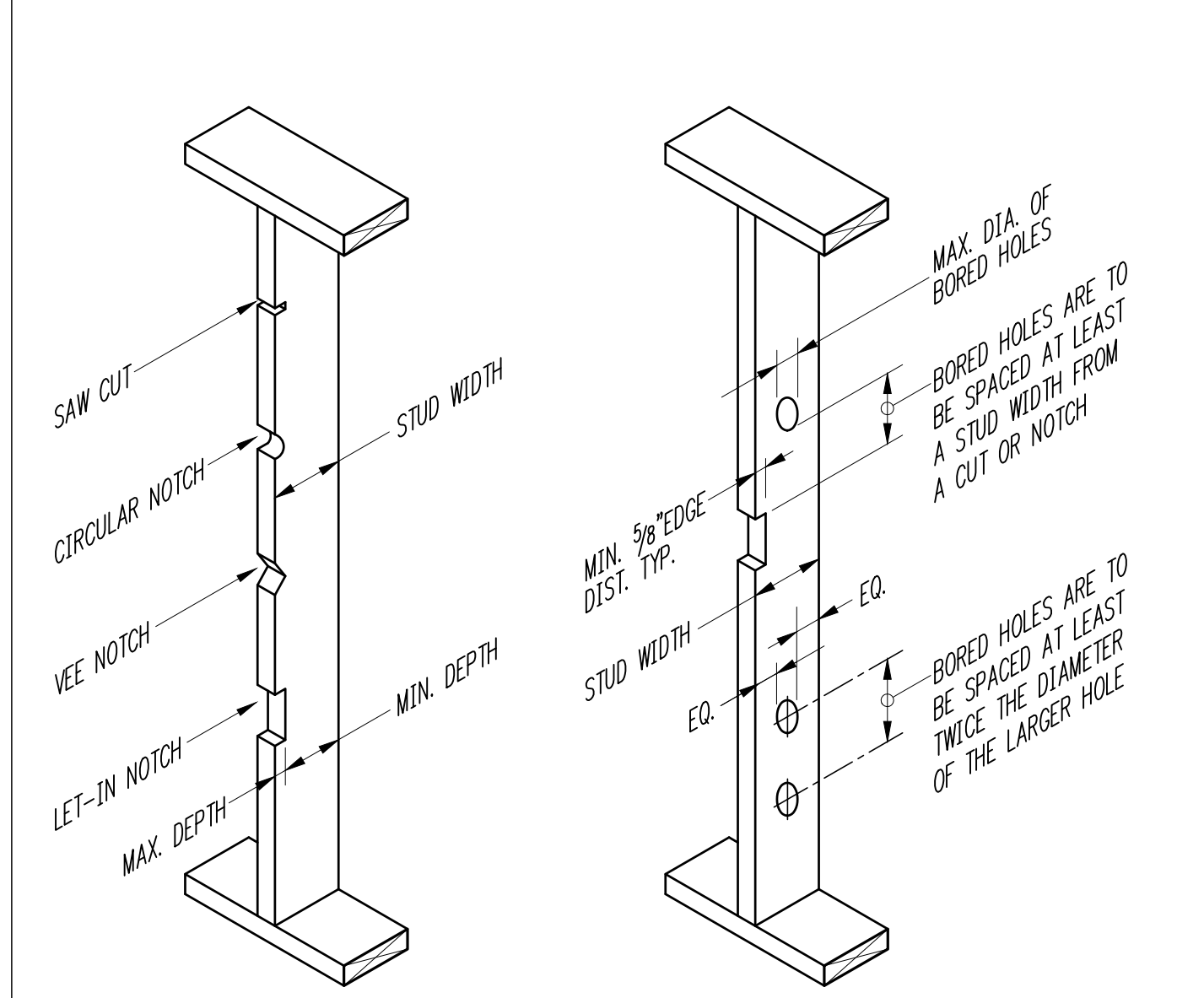


Joists Perpendicular

Mechanical Curb Section 10



Typical Shearwall Construction 12



BEARING WALL STUDS			BEARING WALL STUDS		
STUD SIZE	MAX. DEPTH OF EDGE CUT OR NOTCH	MIN. DEPTH REMAINING AFTER CUT OR NOTCH	STUD SIZE	MAX. DIAMETER OF BORED HOLE	MIN. DEPTH REMAINING AFTER BORED HOLE
2x4	7/8"	2 3/8"	2x4	1 3/8"	3/8" EA. SIDE OF HOLE
2x6	1 3/8"	4 3/8"	2x6	2 3/8"	3/8" EA. SIDE OF HOLE
2x8	1 3/4"	5 1/2"	2x8	2 7/8"	3/8" EA. SIDE OF HOLE

NOTE: STUDS MAY NOT BE BORED IN EXCESS OF 40% OF THE STUD. IF STUDS ARE DOUBLED, BORINGS MAY BE INCREASED TO 60% OF STUD WIDTH PROVIDED NOT MORE THAN (2) SUCCESSIVE STUDS ARE BORED. BORINGS SHALL NOT BE MADE AT THE SAME SECTION WHERE CUT OR NOTCH HAS BEEN MADE.

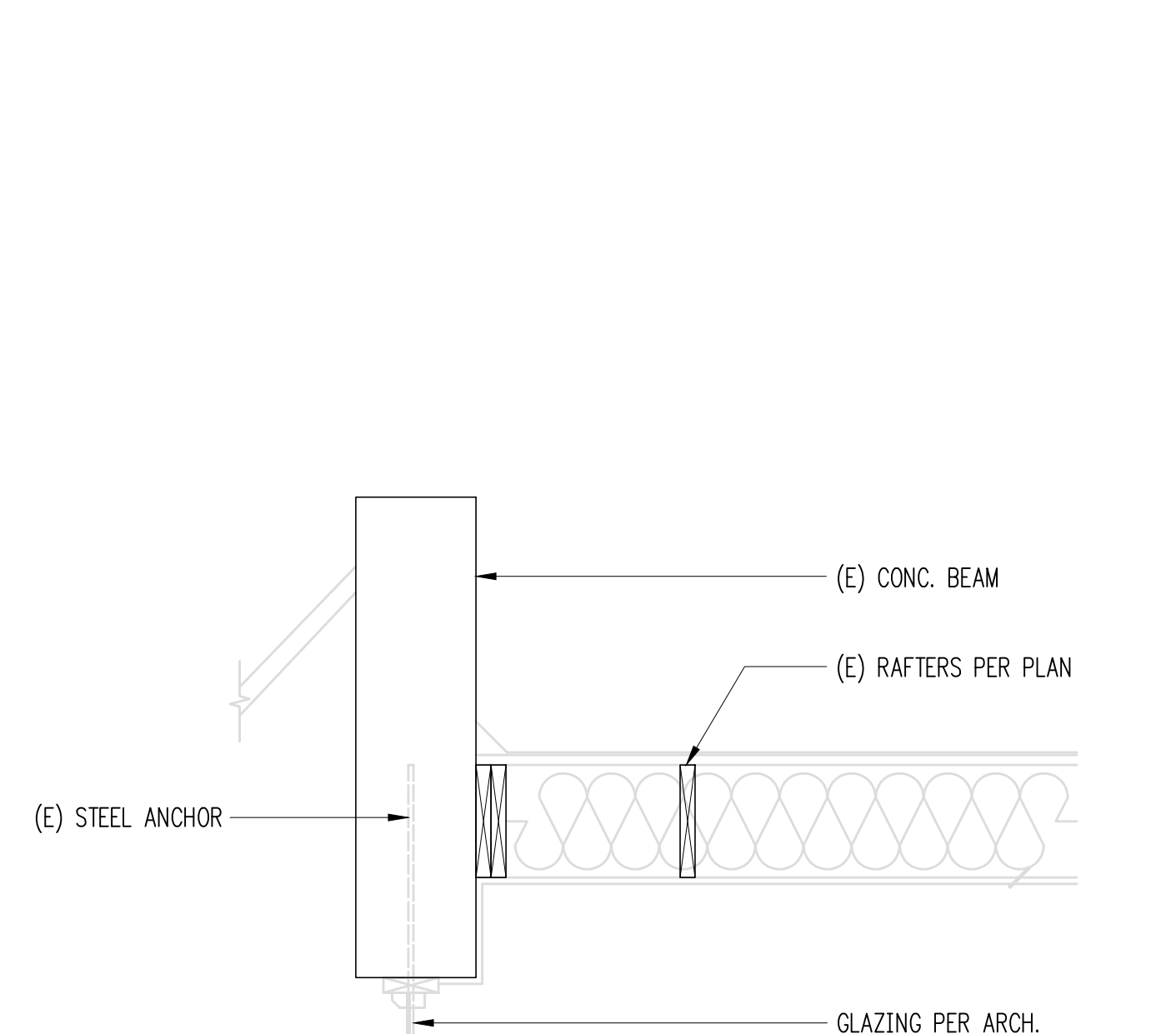
NON-BEARING WALL STUDS			NON-BEARING WALL STUDS		
STUD SIZE	MAX. DEPTH OF EDGE CUT OR NOTCH	MIN. DEPTH REMAINING AFTER CUT OR NOTCH	STUD SIZE	MAX. DIAMETER OF BORED HOLE	MIN. DEPTH REMAINING AFTER BORED HOLE
2x4	1 3/8"	2 3/8"	2x4	2 1/8"	3/8" EA. SIDE OF HOLE
2x6	2 3/8"	3 3/8"	2x6	3 1/4"	3/8" EA. SIDE OF HOLE
2x8	2 7/8"	4 3/8"	2x8	4 1/4"	3/8" EA. SIDE OF HOLE

NOTE: STUDS MAY NOT BE BORED IN EXCESS OF 60% OF THE STUD. BORINGS SHALL NOT BE MADE AT THE SAME SECTION WHERE CUT OR NOTCH HAS BEEN MADE.

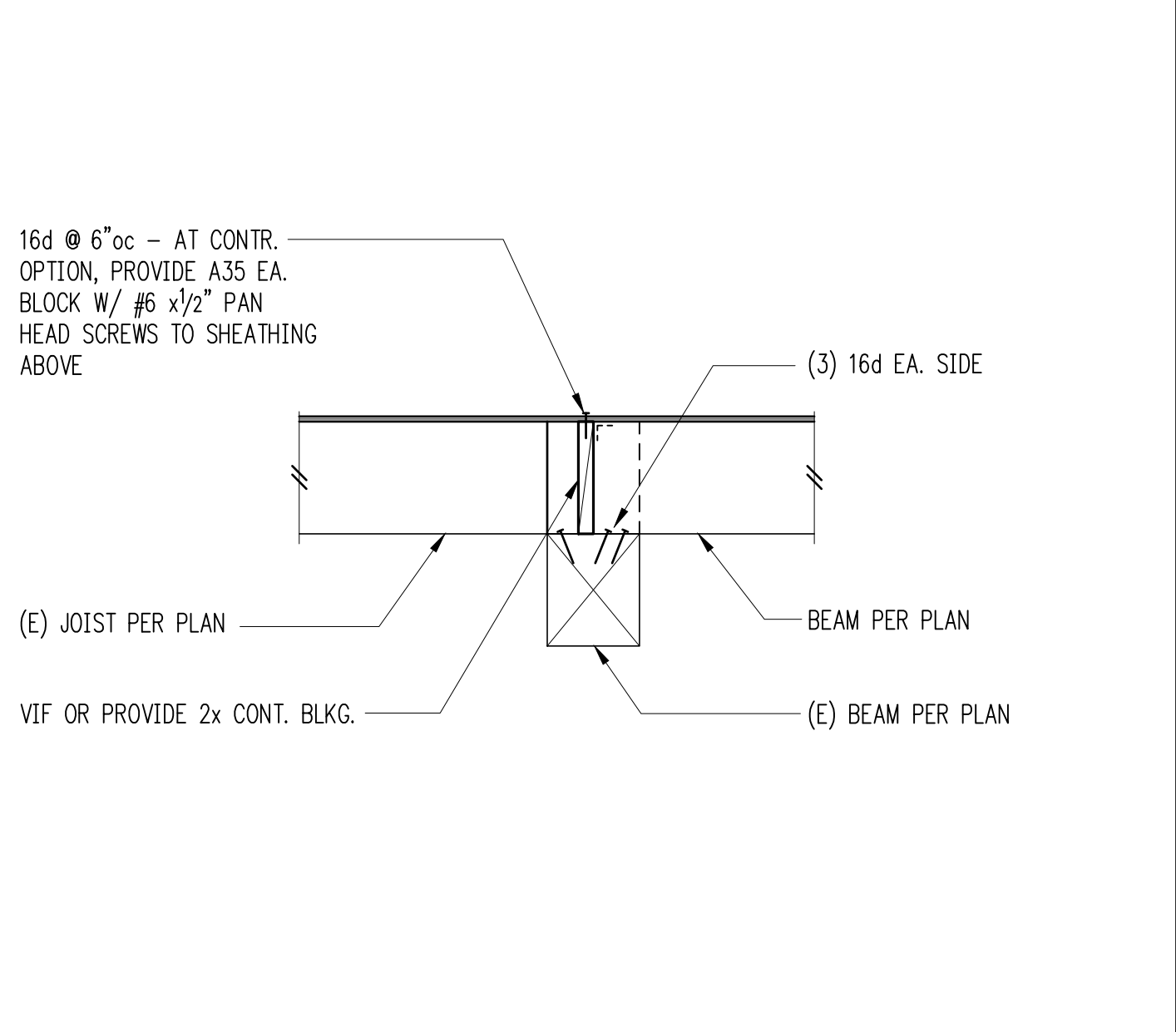
CUTTING AND NOTCHING WOOD STUDS
NOTE: DO NOT NOTCH MORE THAN THREE ADJACENT STUDS WITHOUT REVIEW BY ENGINEER.

BORED HOLES IN WOOD STUDS
NOTE: BORED HOLE NOT PERMITTED IN MORE THAN THREE ADJACENT STUDS WITHOUT REVIEW BY ENGINEER.

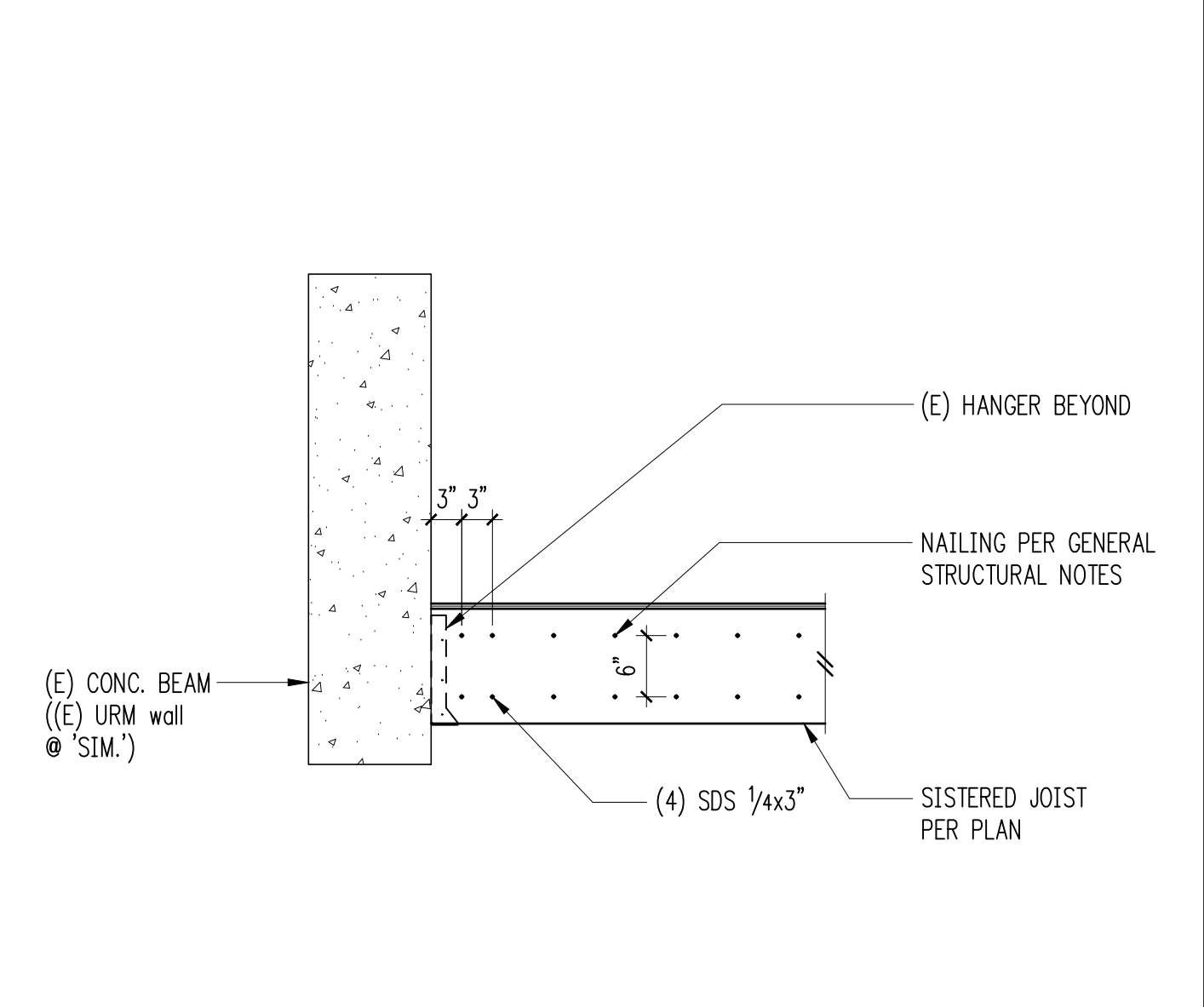
Typical Holes and Notches in Wood Studs 17



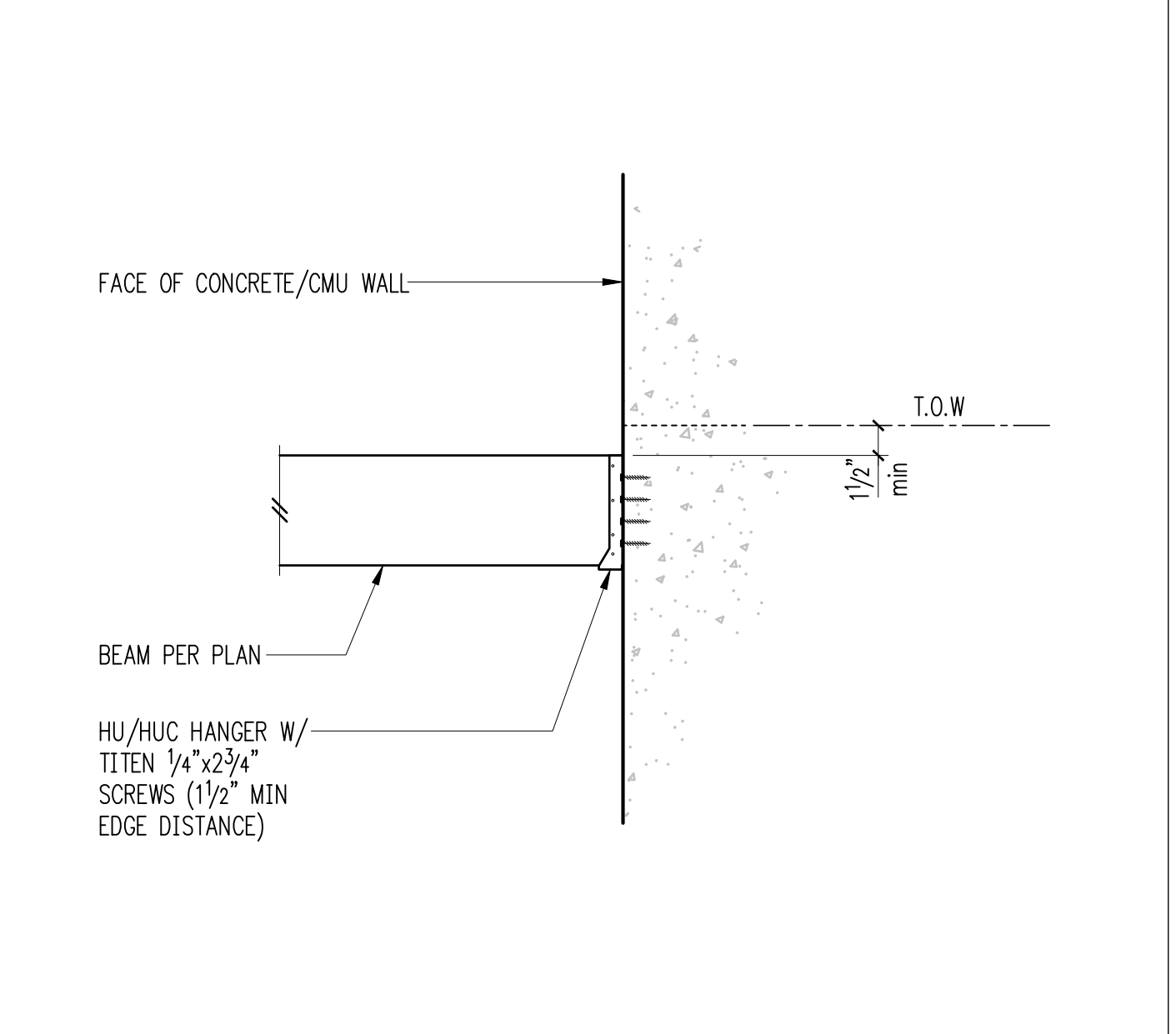
Entry Alcove 18



New Beam Support 14

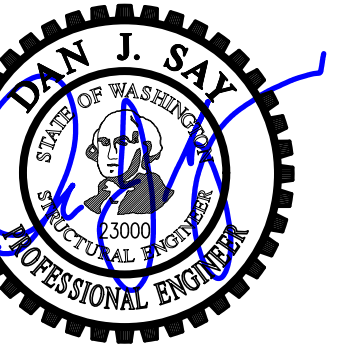


Beam Support at (E) Conc. 19



HU Beam Connection to Concrete Wall 15

20



DRAWN: RJ
DESIGN: FR
CHECKED: FR
APPROVED: DJIS

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Beechers Pike Place Renovation
1600 Pike Place
Seattle, WA 98101

ARCHITECT:



ISSUE:

PERMIT

SHEET TITLE:

Storefront Elevations/Details

SCALE: = 1'-0" U.N.O.

DATE: April 28, 2023

PROJECT NO: 01543-2022-08

SHEET NO:

S5.1

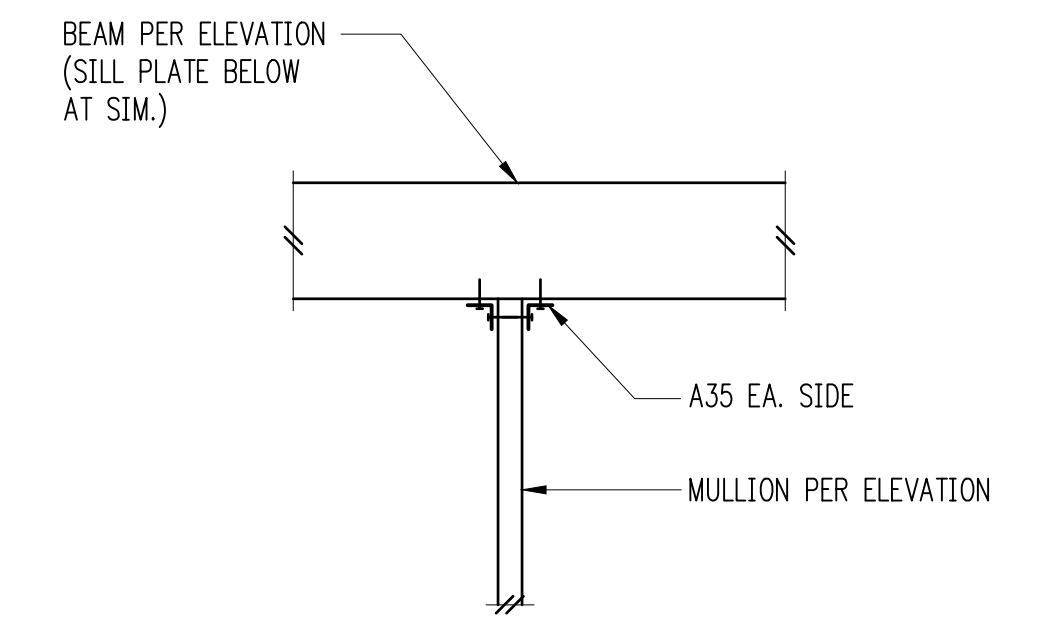
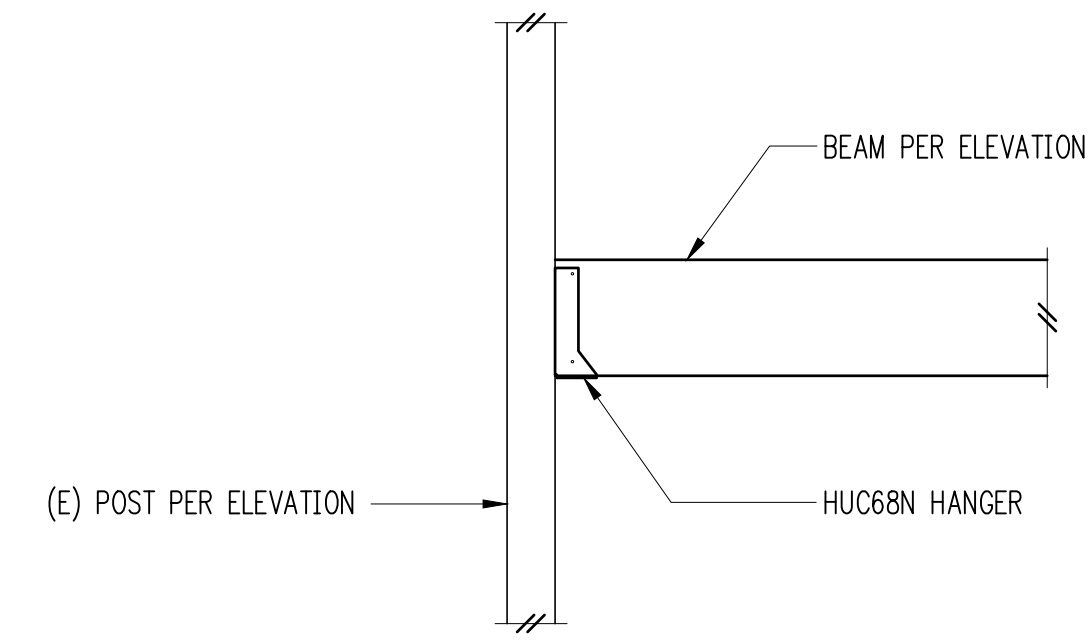
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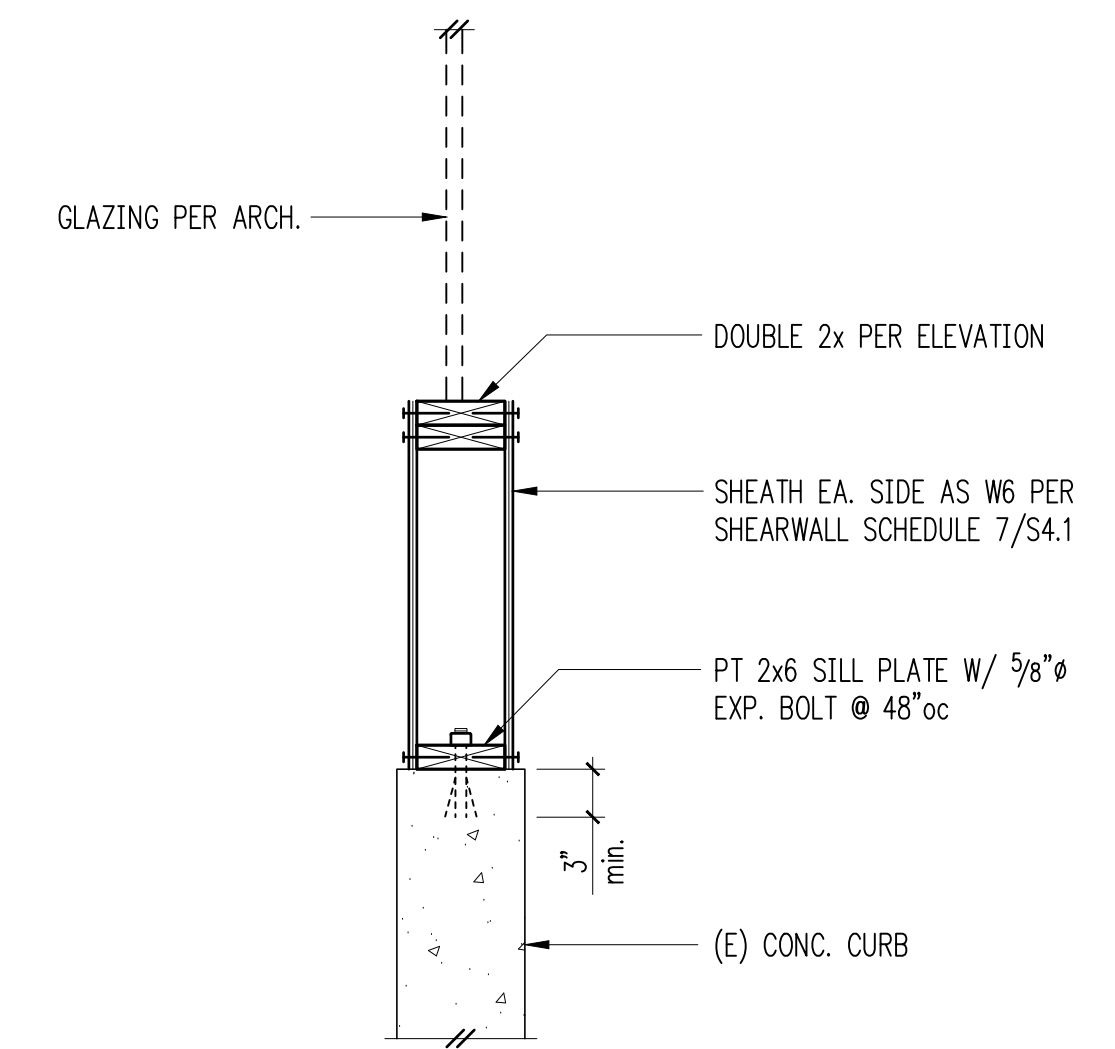
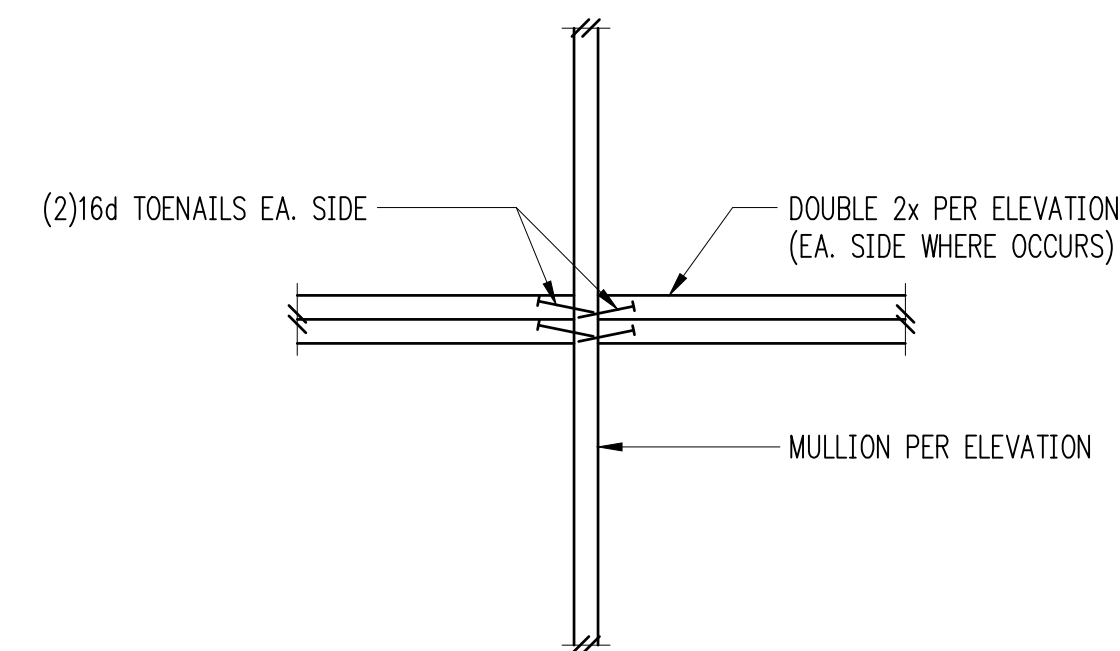


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8

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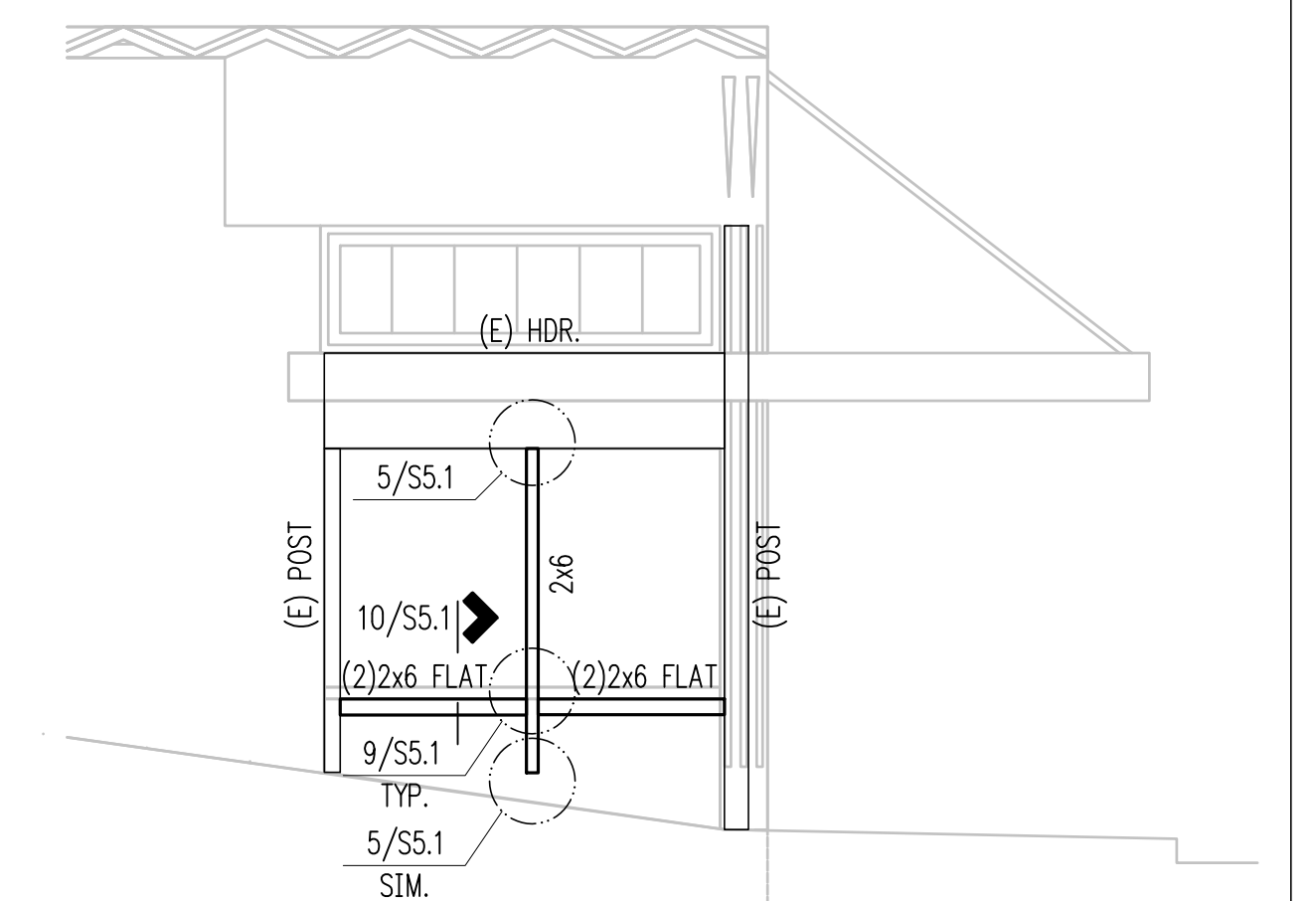
Exterior Wall Section 10

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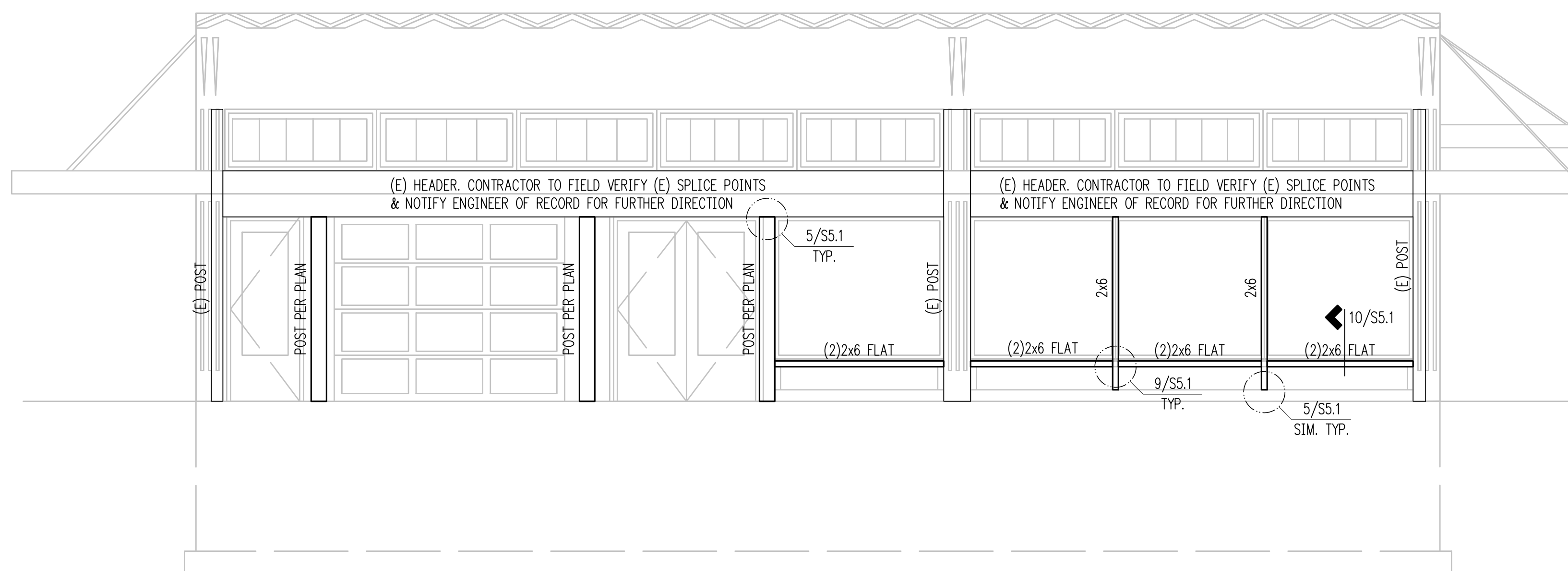
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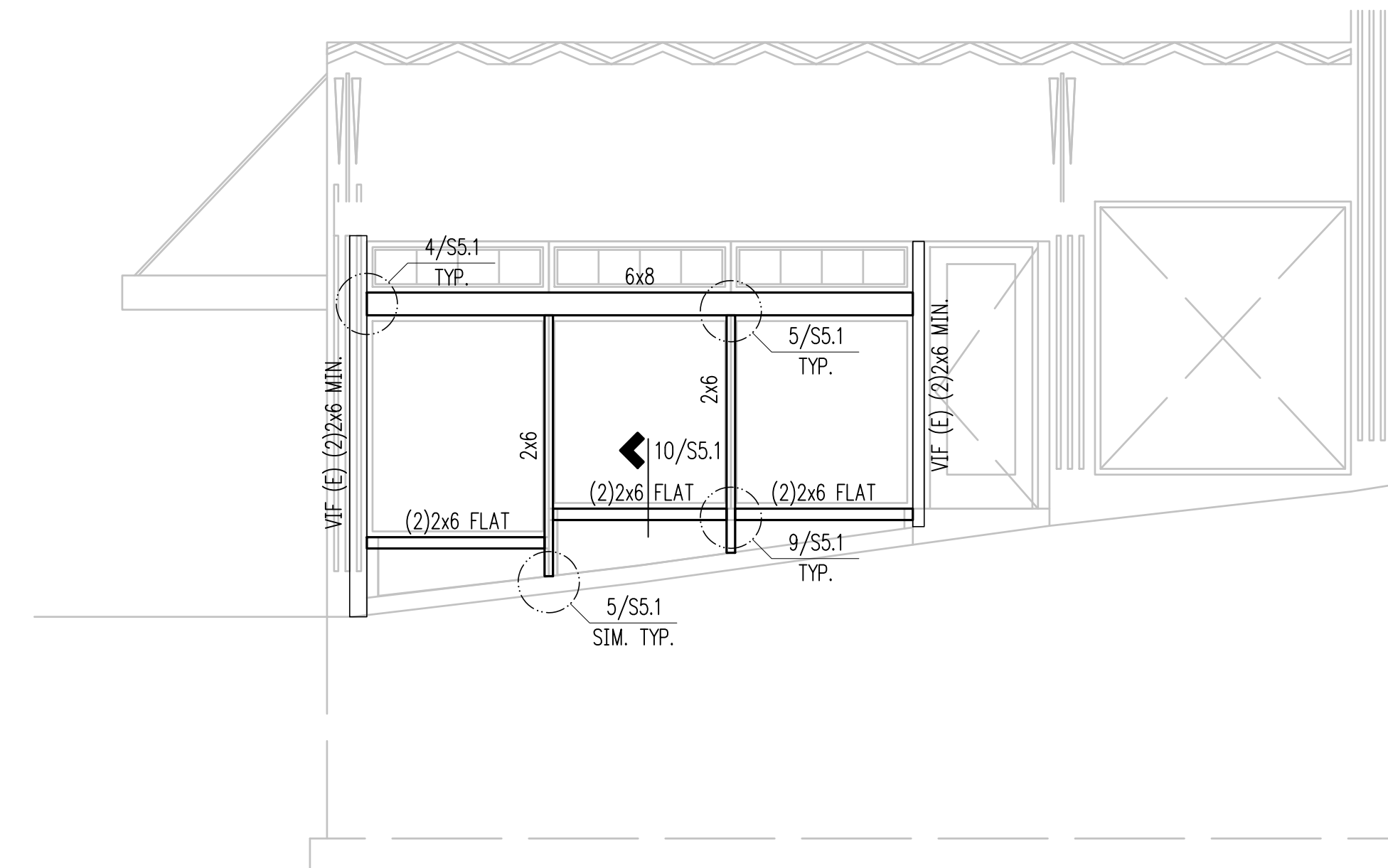
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North Elevation 15



West Elevation 18



South Elevation 20

REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

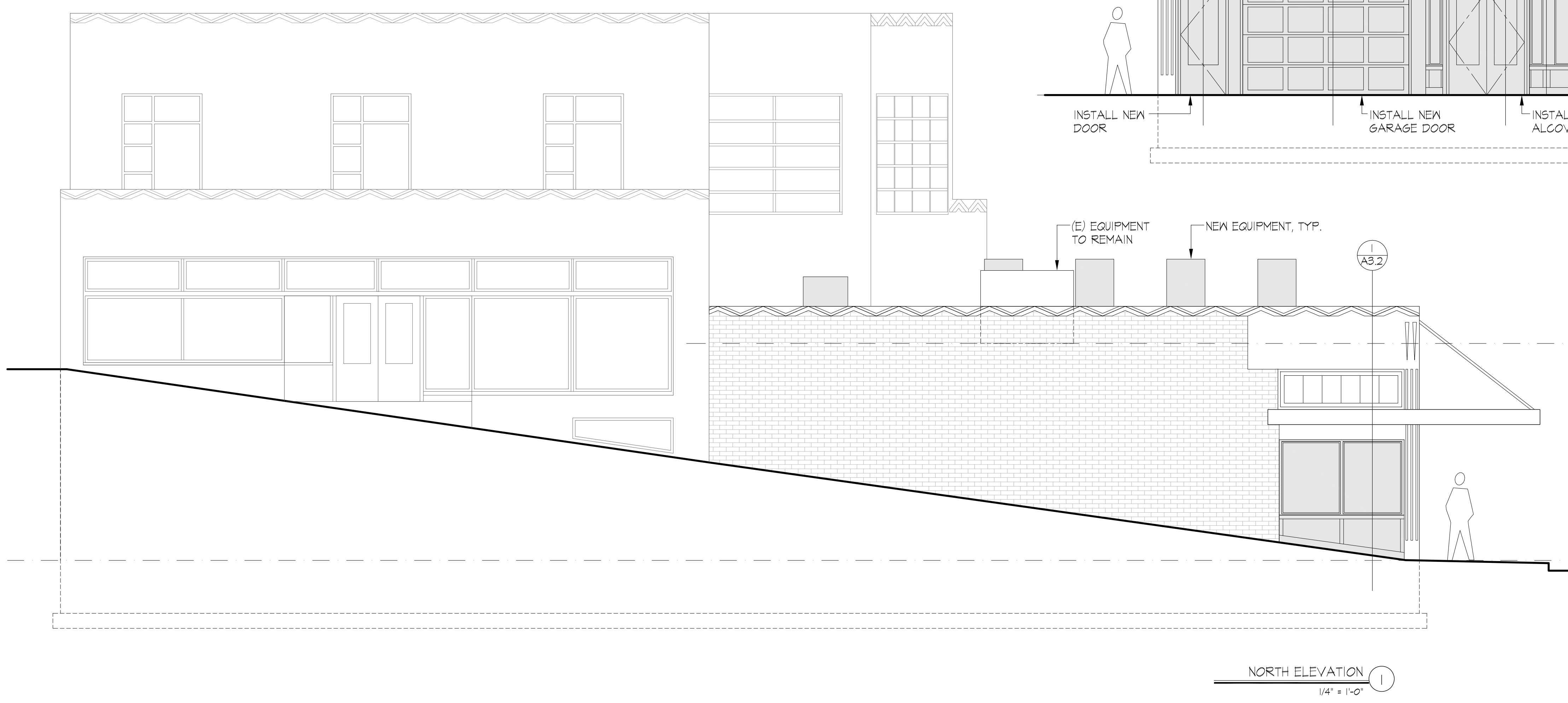
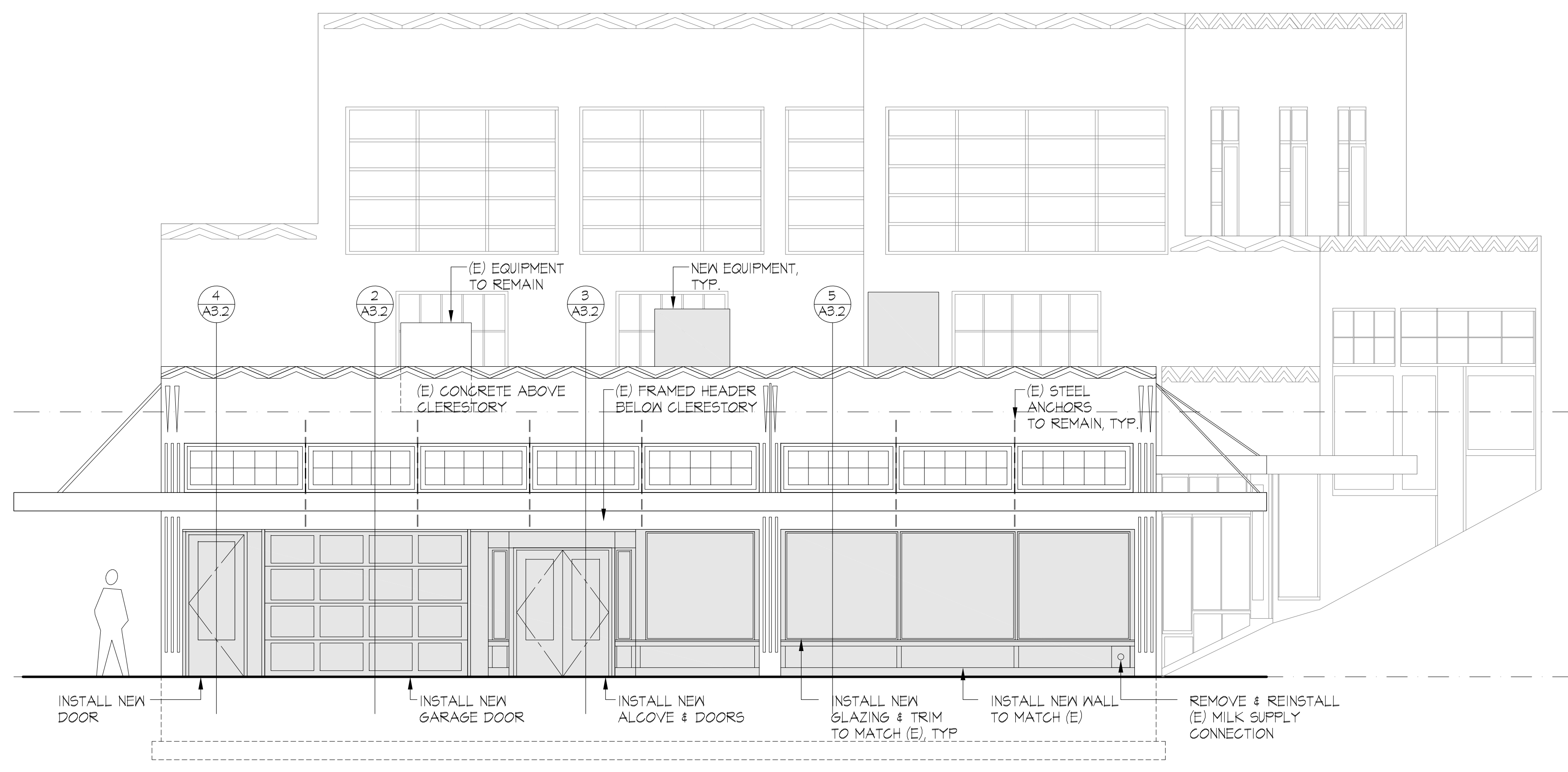
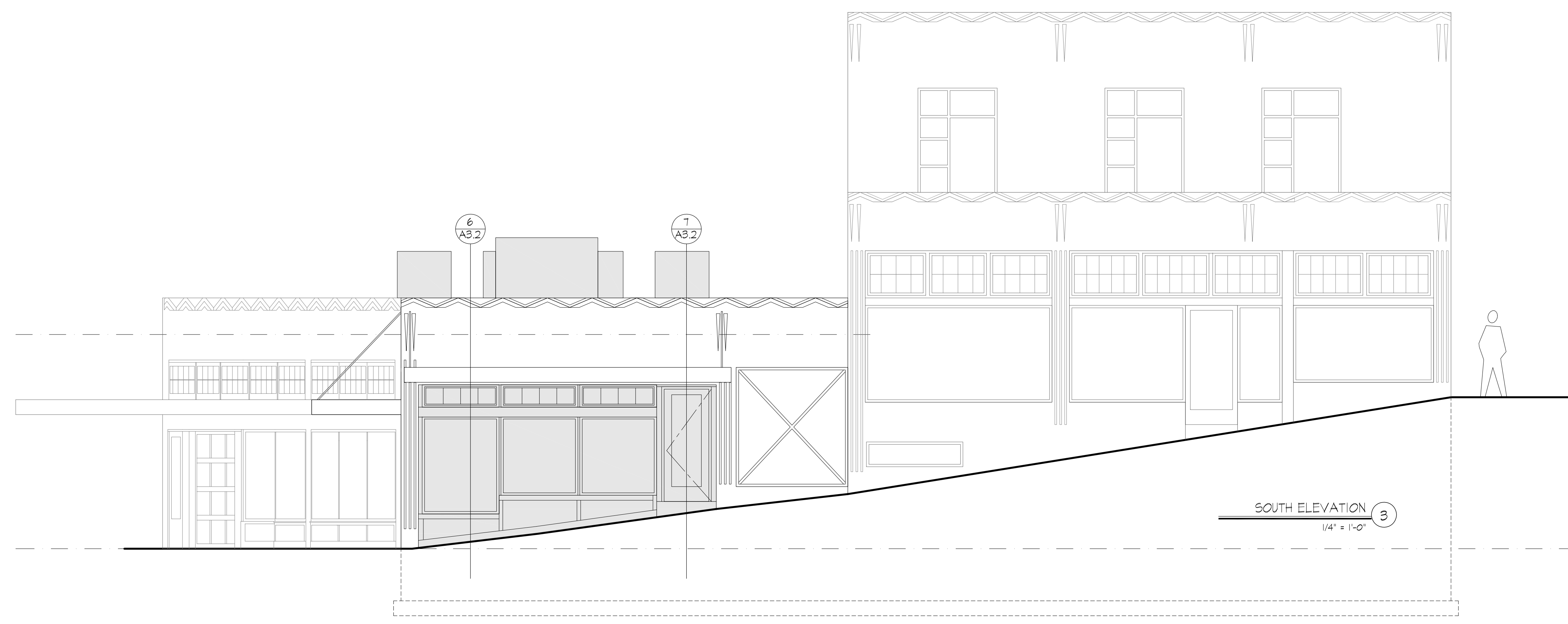
CARDINAL ARCHITECTURE PC

1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

BUILDING ELEVATIONS

A4.1



REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
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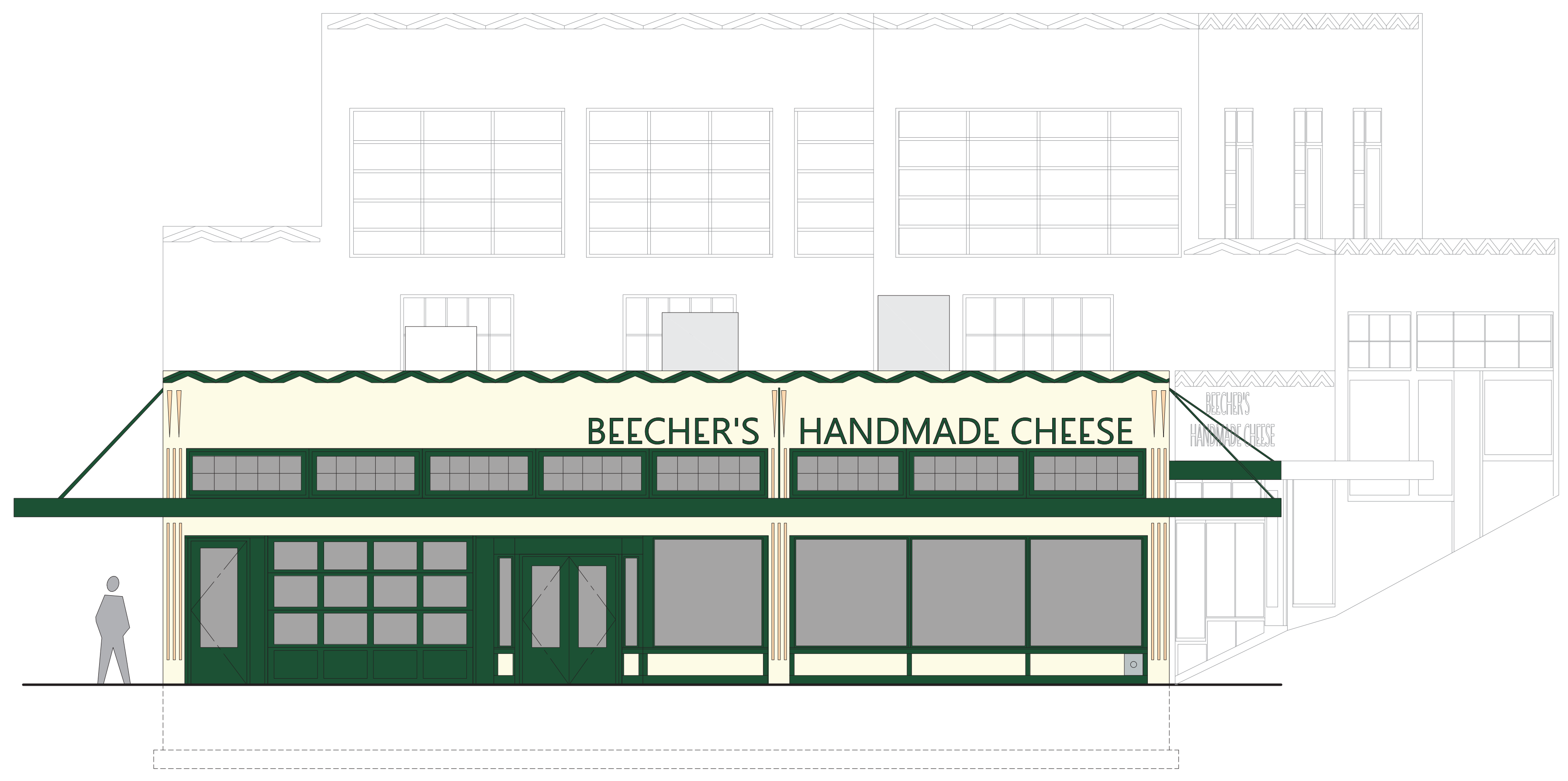
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1326 5TH AVENUE #440
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COLOR BUILDING ELEVATIONS

A4.2



REVISIONS

NO.	DESCRIPTION

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

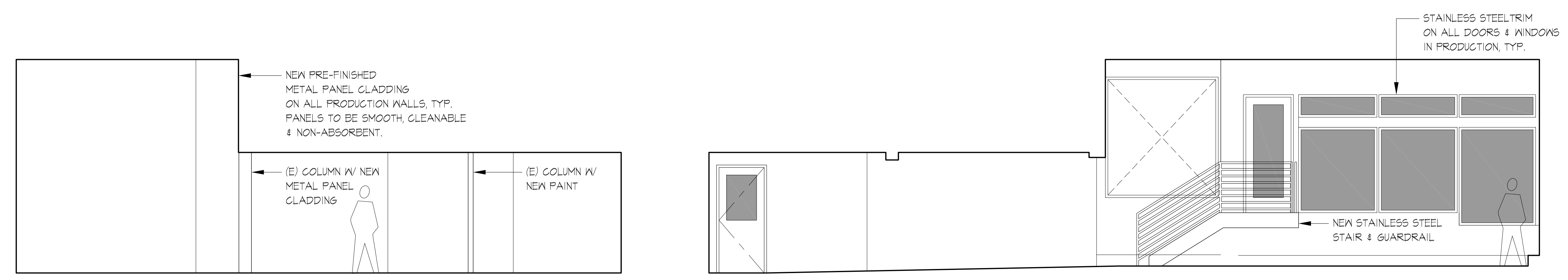


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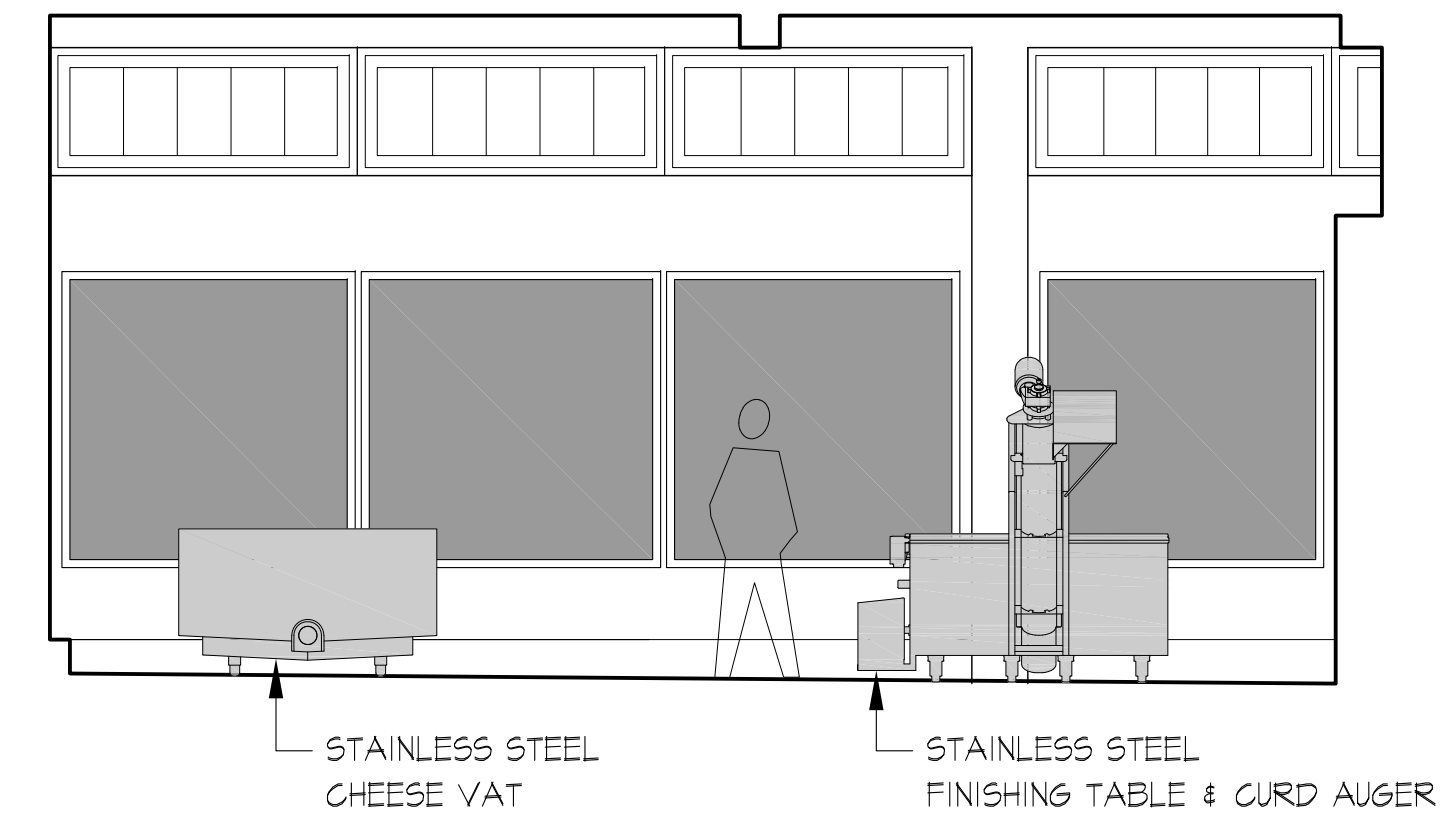
PRODUCTION
 INTERIOR
 ELEVATIONS

A4.4

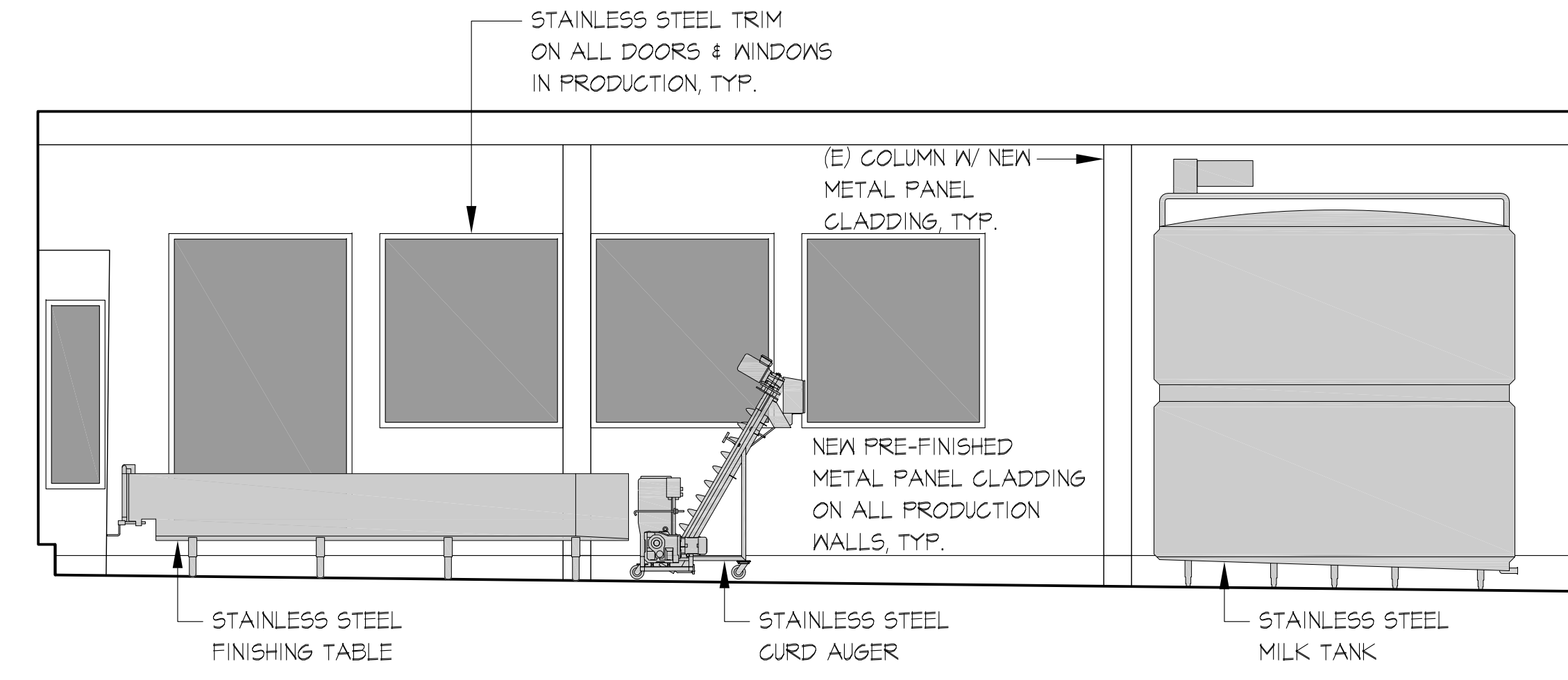


PRODUCTION LOOKING WEST 4
 1/4" = 1'-0"

PRODUCTION LOOKING NORTH 3
 1/4" = 1'-0"



PRODUCTION LOOKING WEST 2
 1/4" = 1'-0"



PRODUCTION LOOKING NORTH 1
 1/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

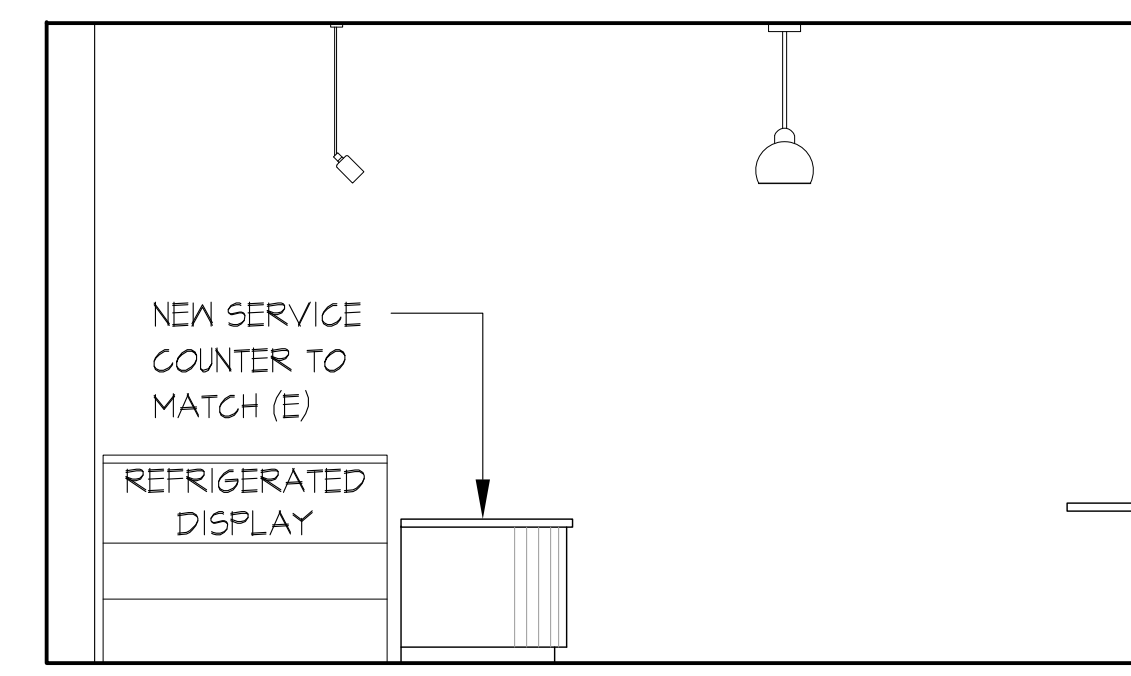


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

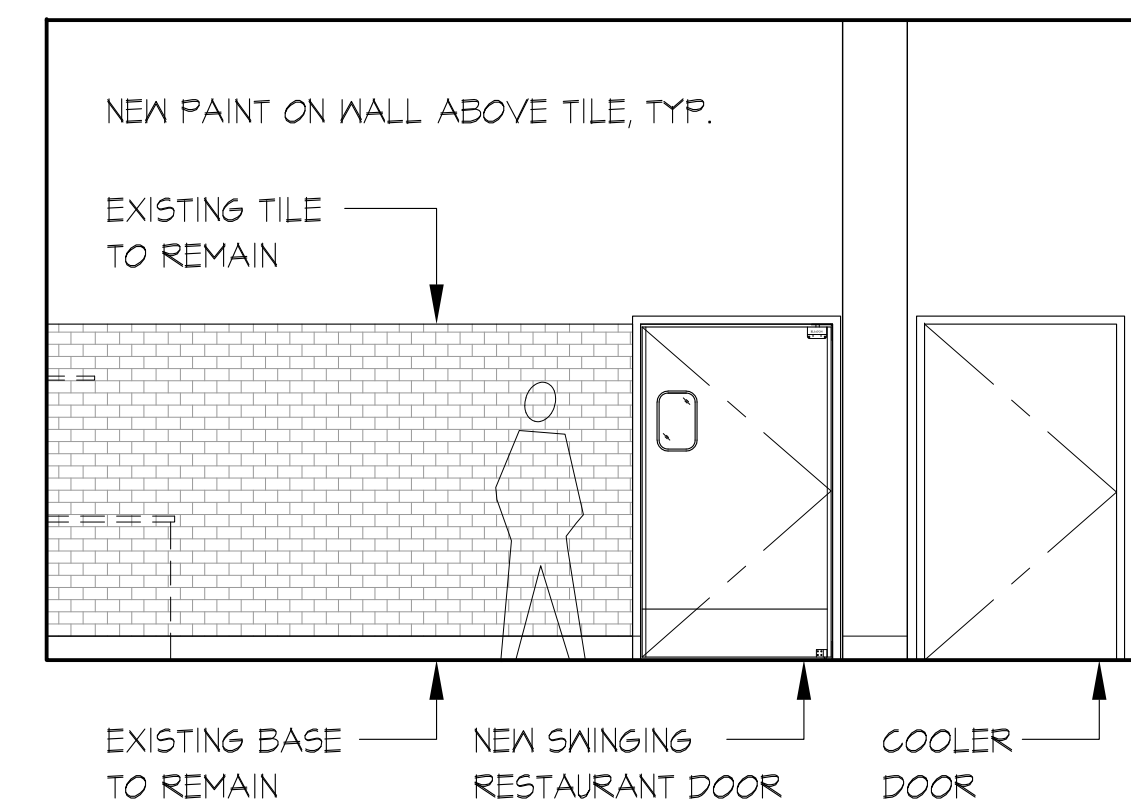
2219
 28 APRIL 2023

PRODUCTION
 INTERIOR
 ELEVATIONS

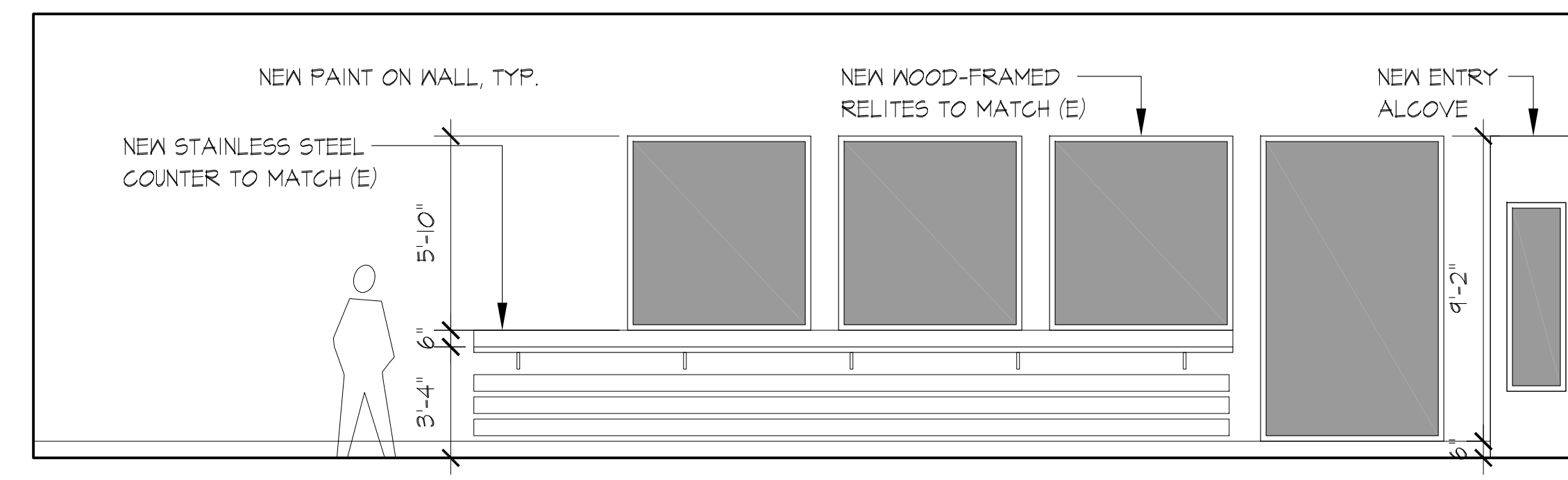
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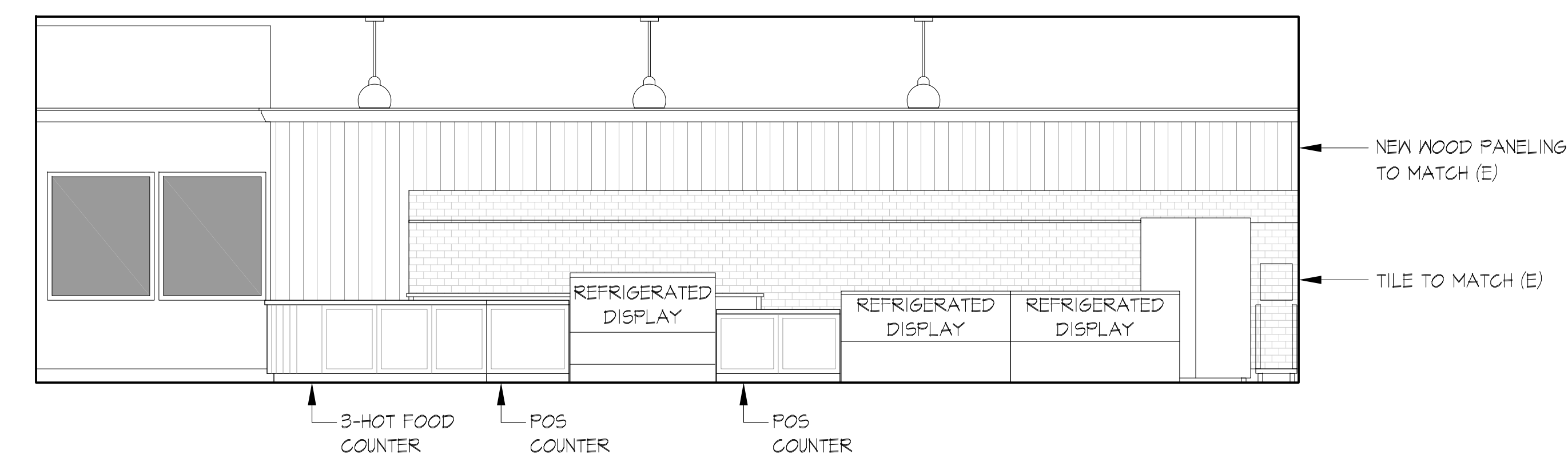
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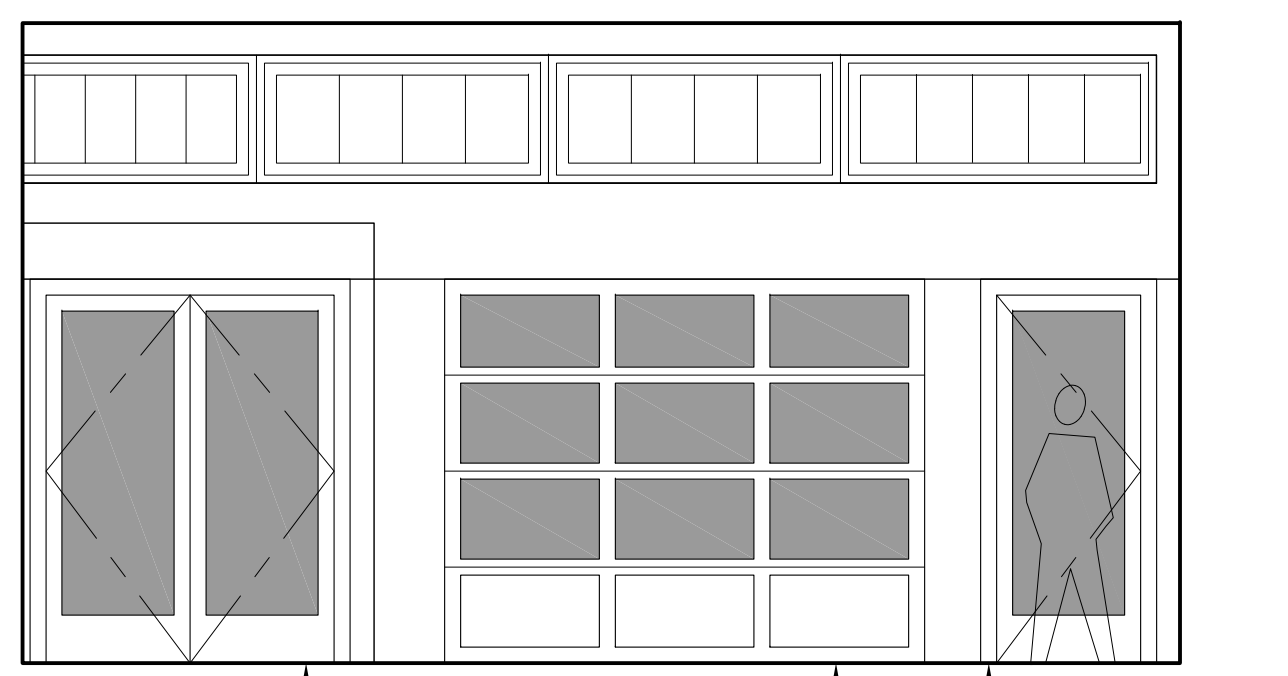
CAFE LOOKING EAST 5
 1/4" = 1'-0"



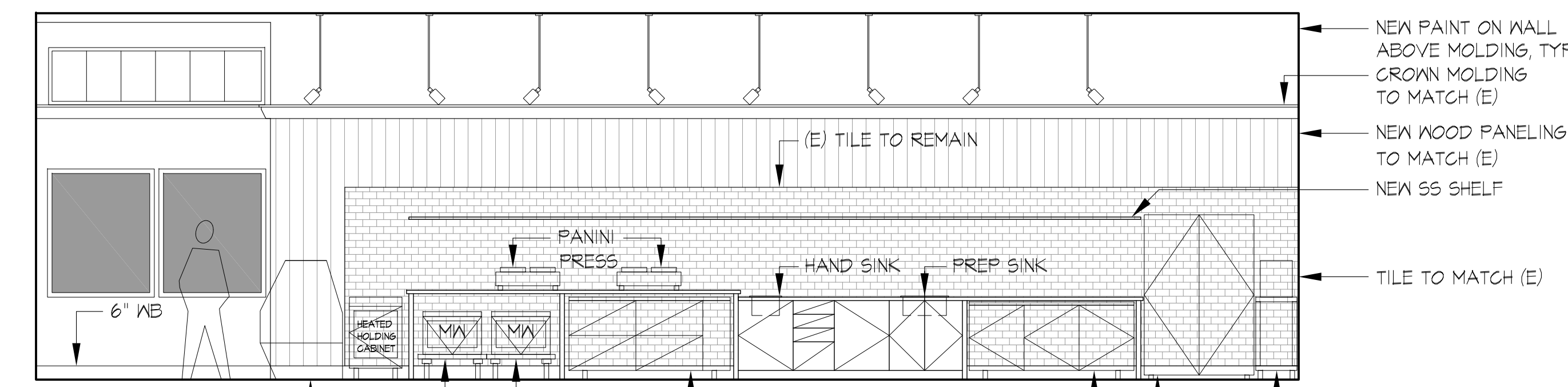
CAFE LOOKING SOUTH 4
 1/4" = 1'-0"



CAFE LOOKING NORTH AT COUNTER 3
 1/4" = 1'-0"



CAFE LOOKING WEST 2
 1/4" = 1'-0"



CAFE LOOKING NORTH BEHIND COUNTER 1
 1/4" = 1'-0"



PRODUCTION FLOOR - EPOXY 15



PRODUCTION EQUIPMENT - STAINLESS STEEL 14



PRODUCTION WALLS - PREFINISHED METAL PANELS 13



CAFE - STAINLESS STEEL COUNTERTOPS 11



CAFE - WOOD COUNTERTOPS 12



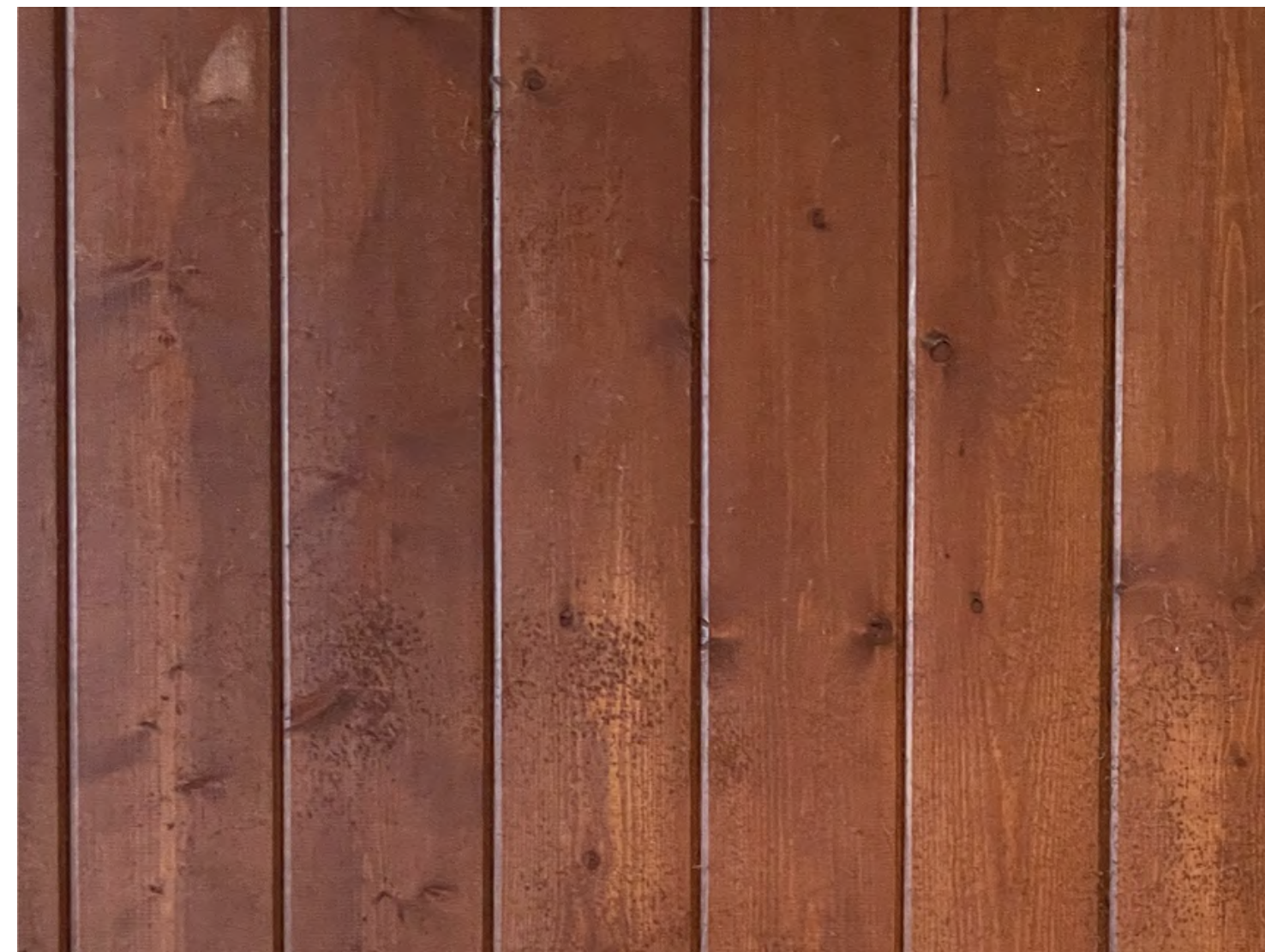
CAFE CASEWORK - WOOD W/ WOOD COUNTERTOP STAIN TO MATCH EXISTING 10



CAFE CASEWORK - WOOD W/ WOOD COUNTERTOP STAIN TO MATCH EXISTING 9



CAFE WALL - TILE & GROUT MATCH EXISTING 8



CAFE WALL - WOOD PANEL STAIN TO MATCH EXISTING 7



CAFE WALL - WOOD TRIM STAIN TO MATCH EXISTING 6



CAFE WALLS - INTERIOR PAINT MATCH EXISTING 5



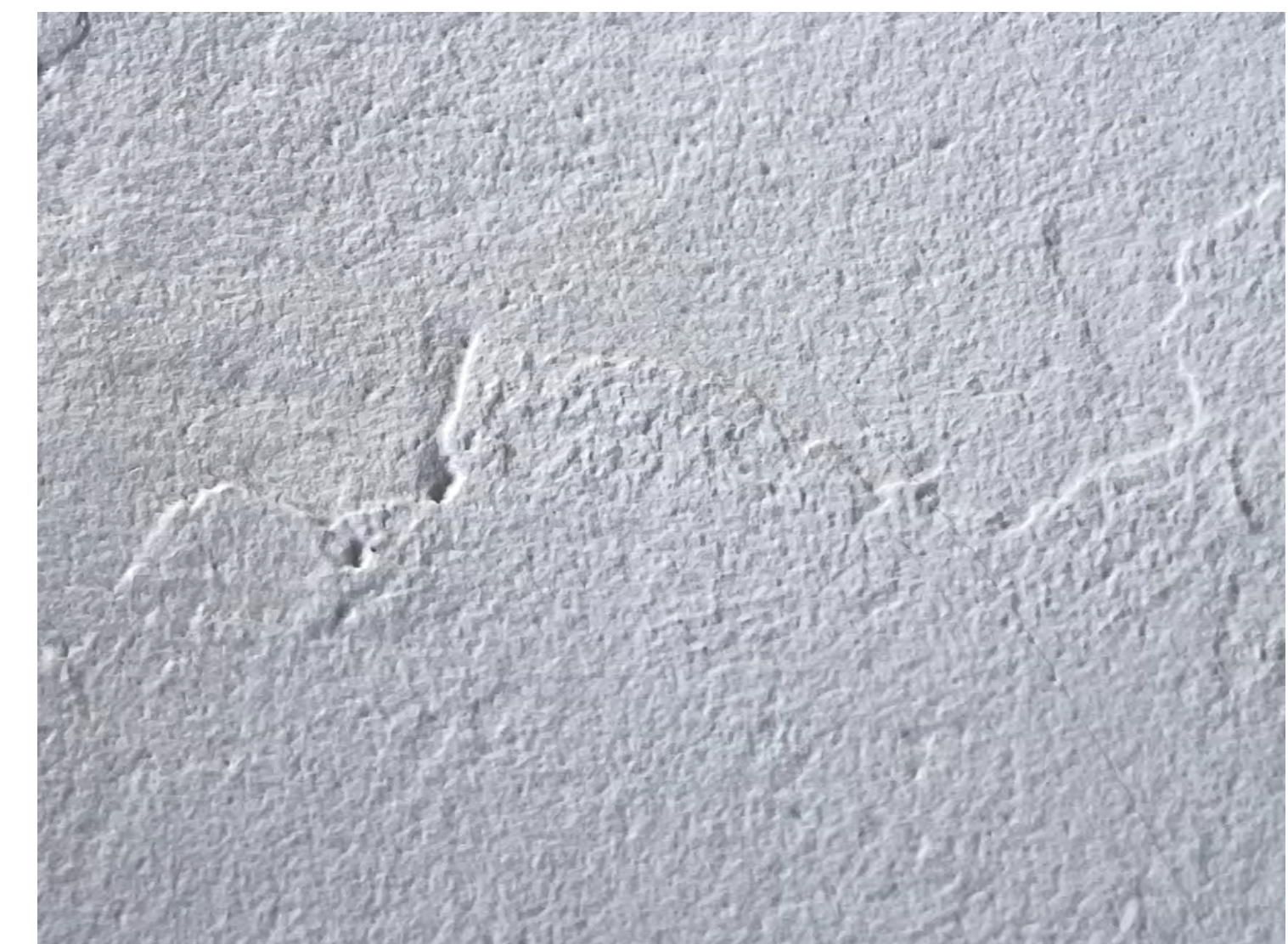
CAFE FLOOR - WOOD TO MATCH EXISTING 4



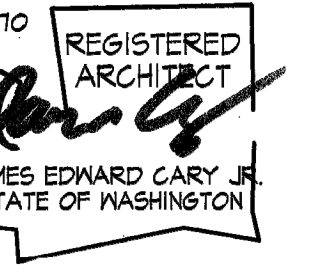
EXTERIOR PAINT - TRIM MATCH EXISTING 3



EXTERIOR PAINT - COLUMN ACCENTS MATCH EXISTING 2



EXTERIOR PAINT - FIELD MATCH EXISTING 1



REVISIONS

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
SEATTLE, WA 98101



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SEATTLE WA 98101
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2219
28 APRIL 2023

EXISTING
MATERIALS

A6.1

REVISIONS



EXISTING NORTH ELEVATION 3



EXISTING SOUTH ELEVATION 2



EXISTING WEST ELEVATION 1

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

CARDINAL
 ARCHITECTURE PC
 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

EXISTING
 EXTERIOR
 PHOTOS

A6.2

REVISIONS

NO.	DATE	DESCRIPTION



PRODUCTION LOOKING EAST FROM PIKE PLACE 6



PRODUCTION LOOKING NORTH FROM PINE STREET 5



CAFE LOOKING EAST 4



CAFE LOOKING WEST 3



CAFE LOOKING SOUTH 2



CAFE LOOKING NORTH 1

BEECHER'S CHEESE RENOVATION

1600 PIKE PLACE
 SEATTLE, WA 98101

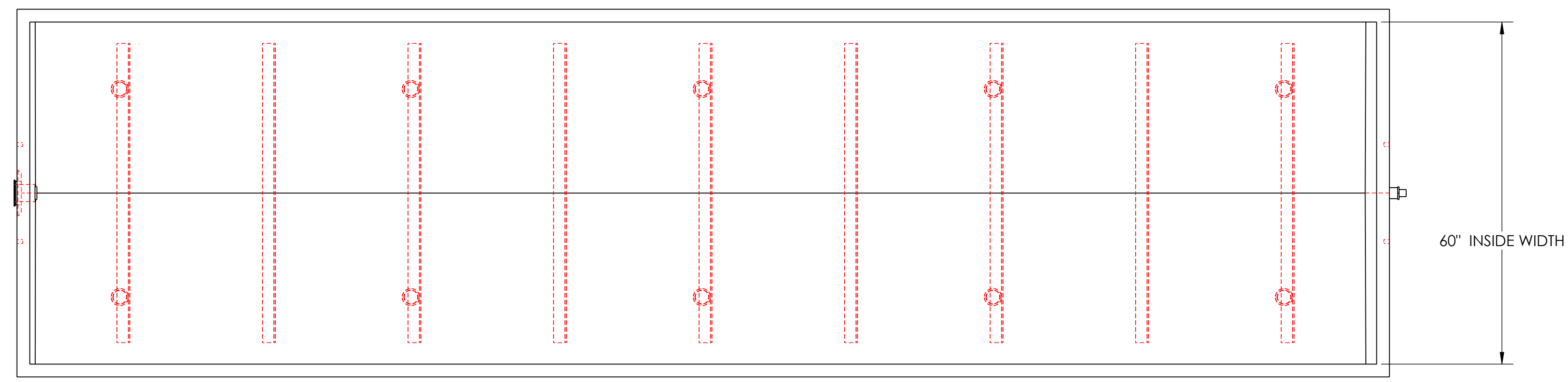
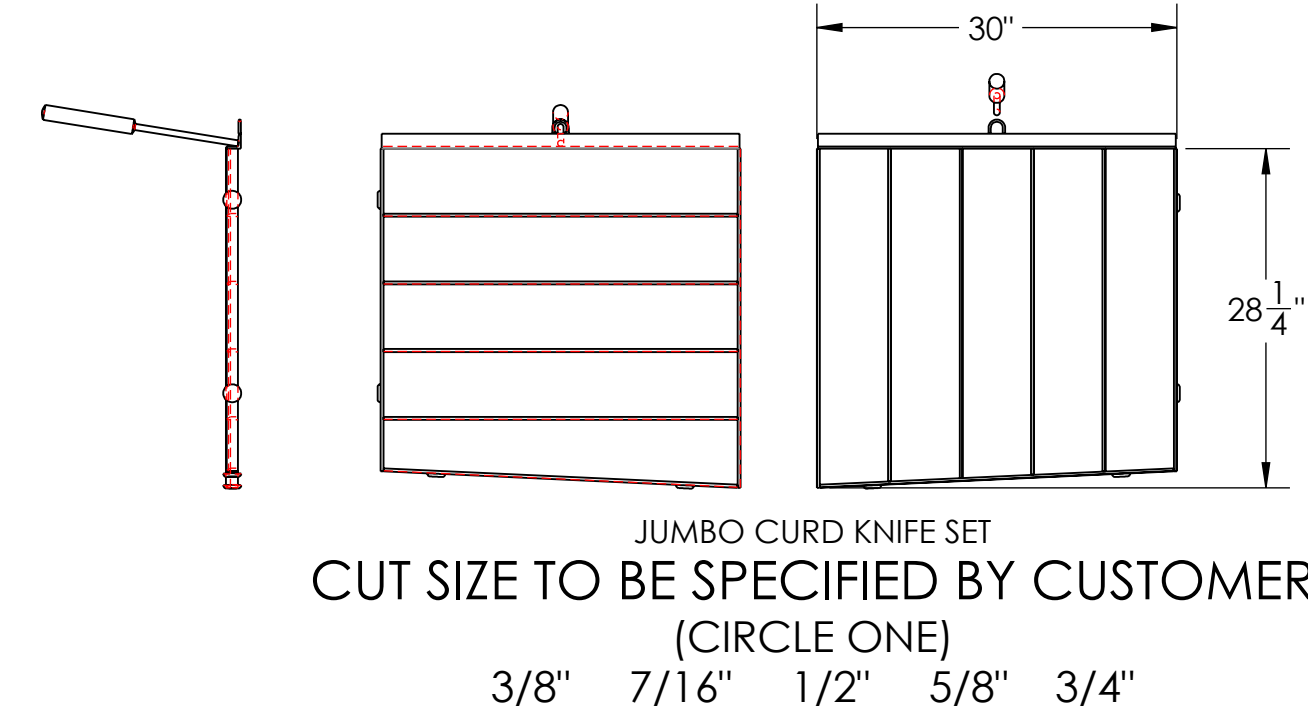
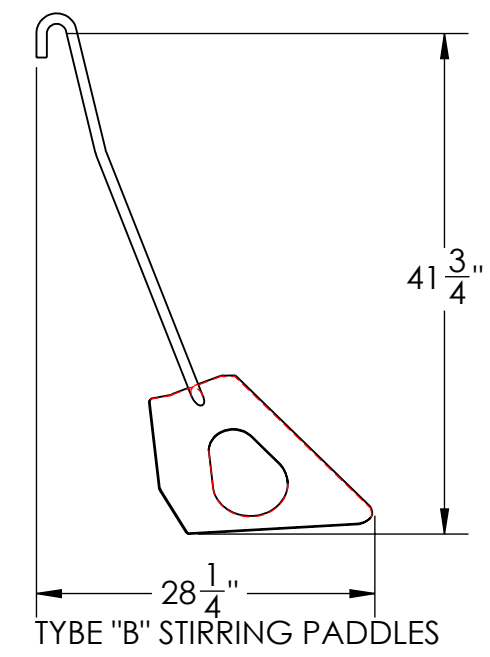
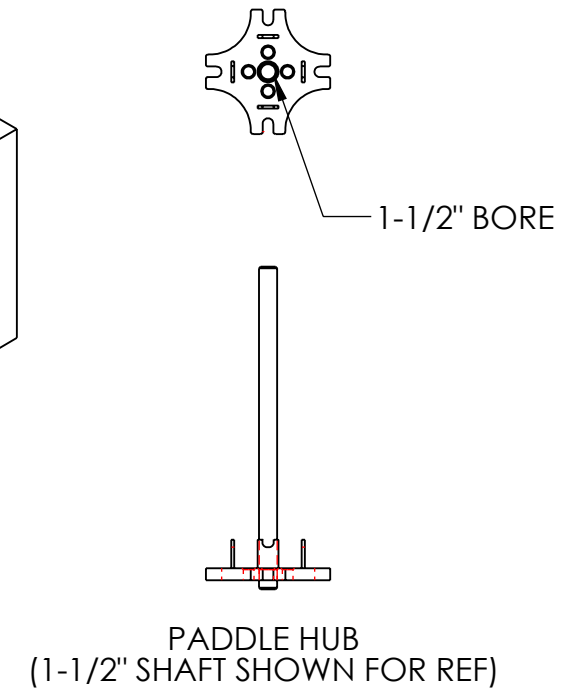
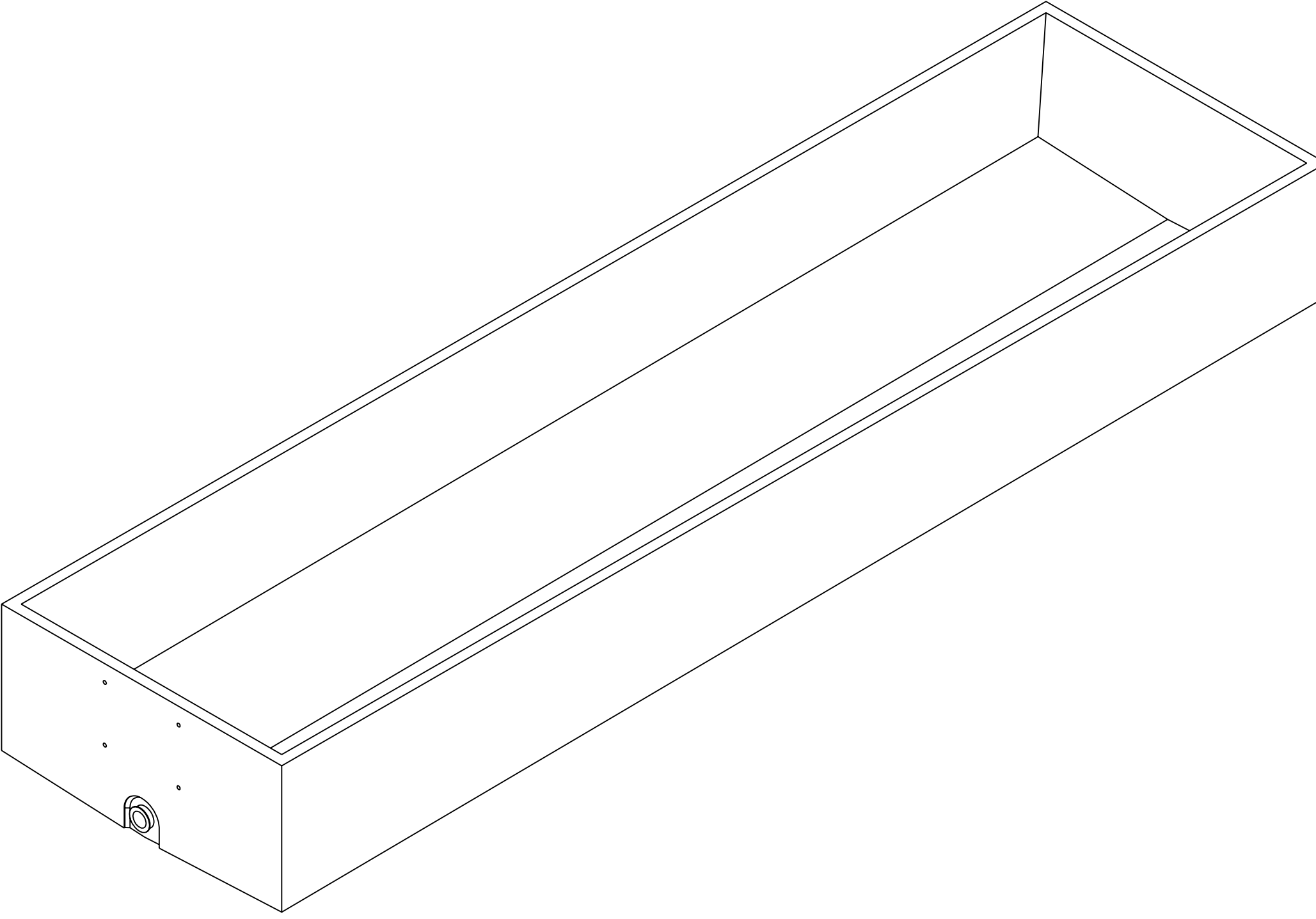
CARDINAL
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 1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

2219
 28 APRIL 2023

EXISTING
 INTERIOR
 PHOTOS

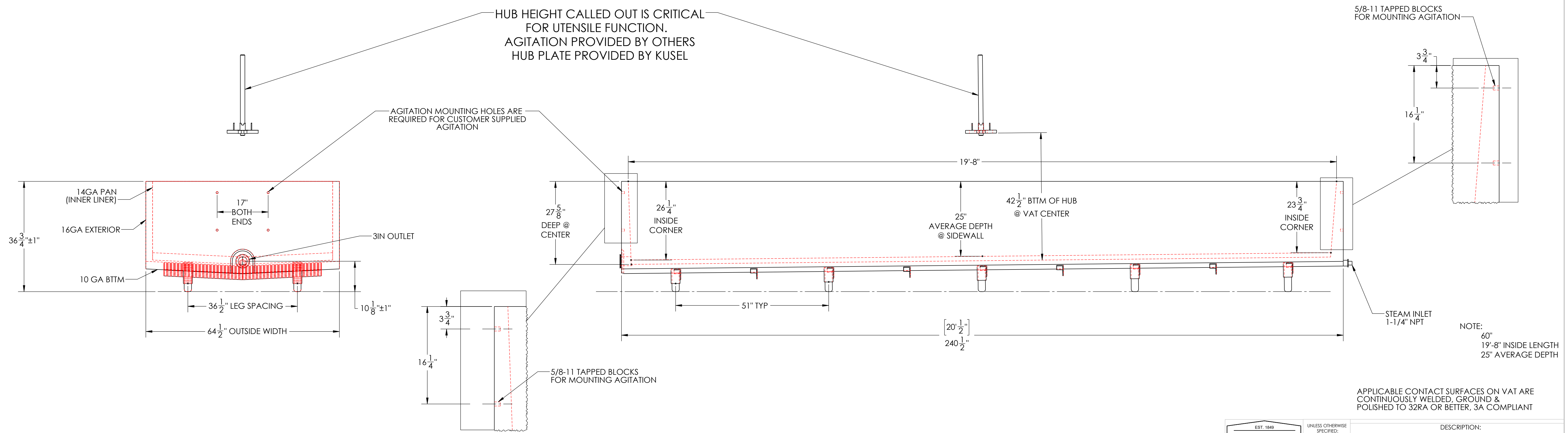
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APPROVAL PRINT
 COMPANY NAME Nether Industries
 SIGNED Brent Seifert
 P.O. NO. DATE 9/27/2022
 KUSEL EQUIPMENT CO.
 NOTE: ORDERS WILL NOT BE ENTERED UNTIL
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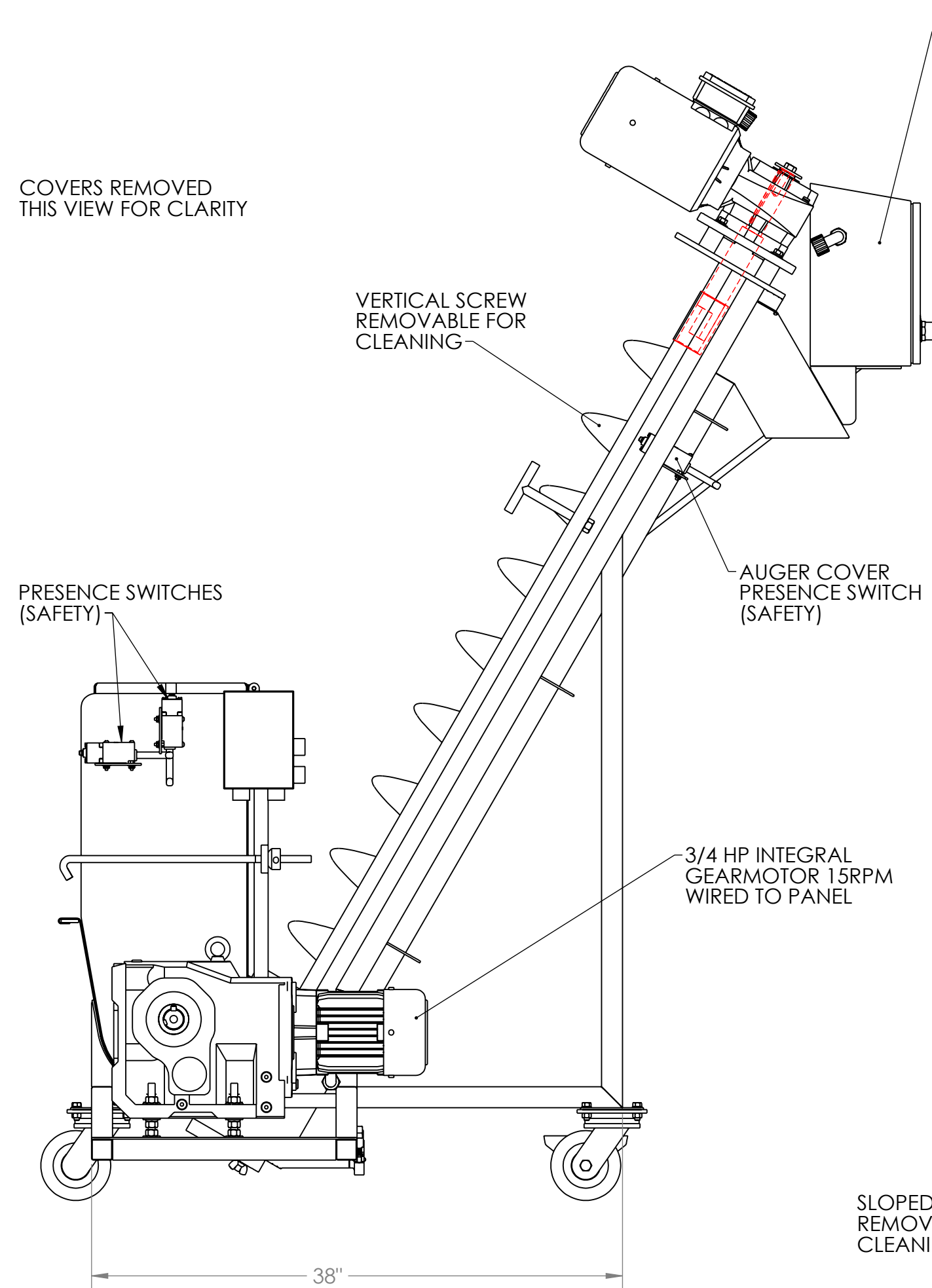
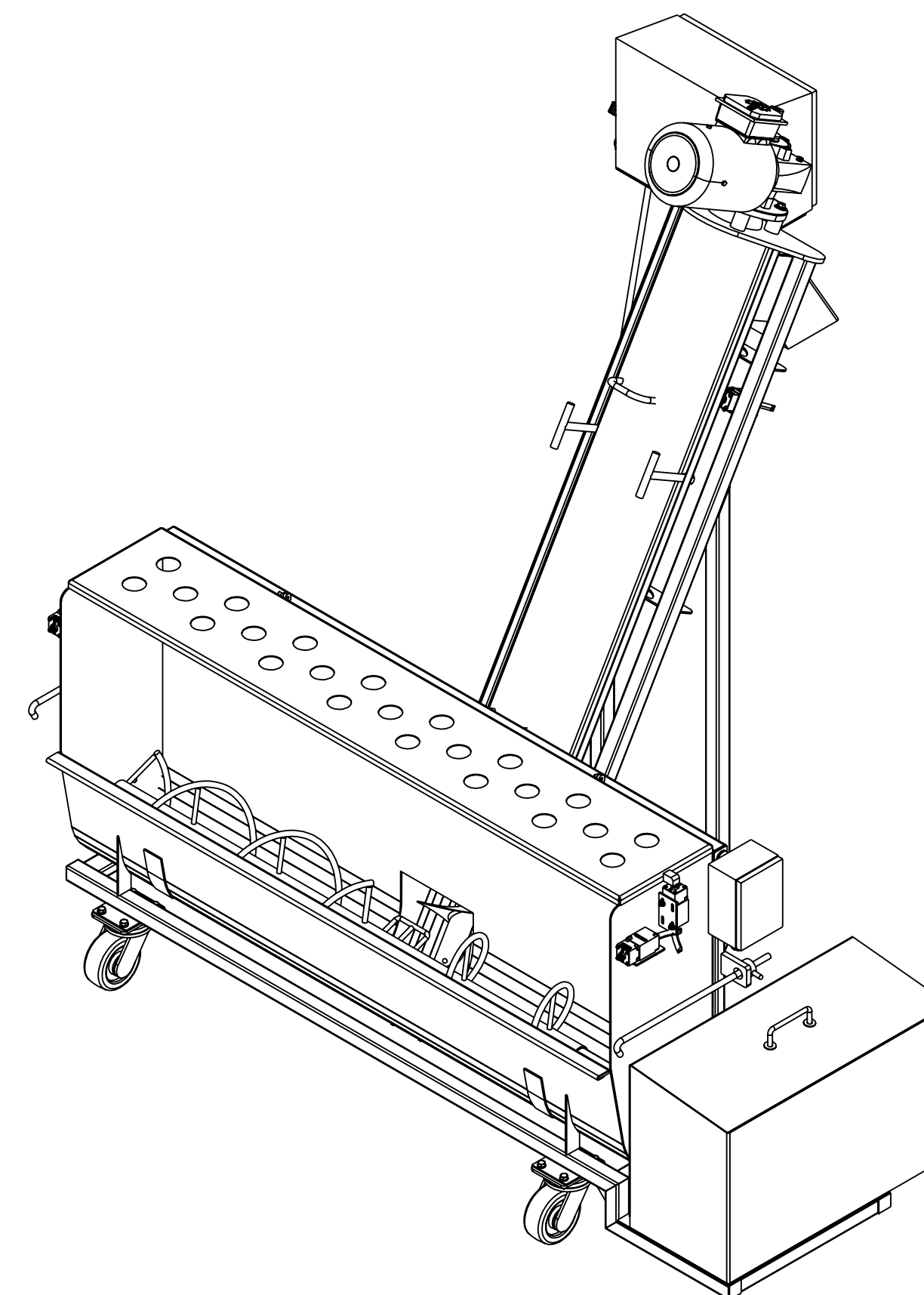
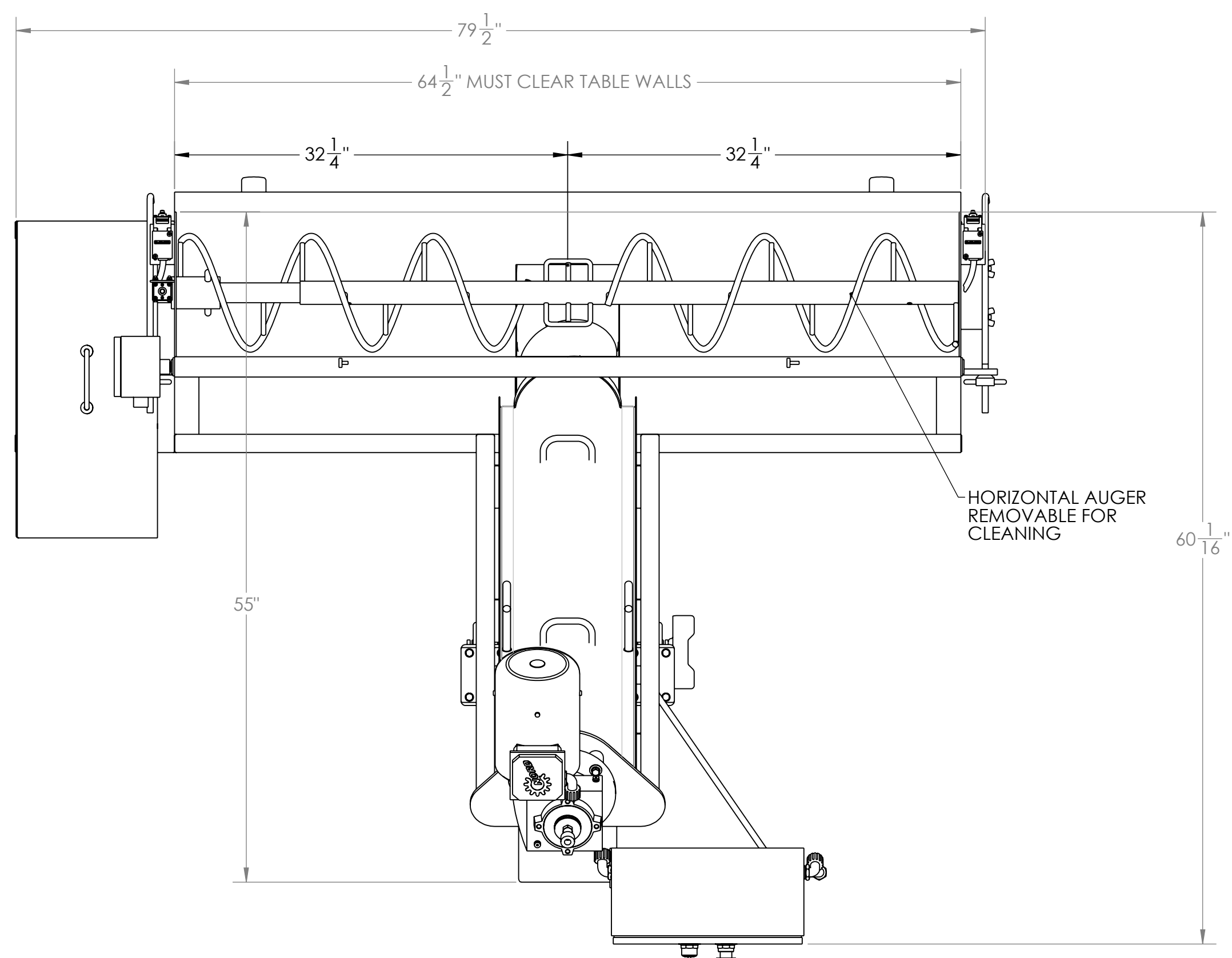
EST. 1849
KUSEL
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 820 WEST STREET (900) 261-4122
 440 COTTAGE RD. 2304 www.kuselproducts.com
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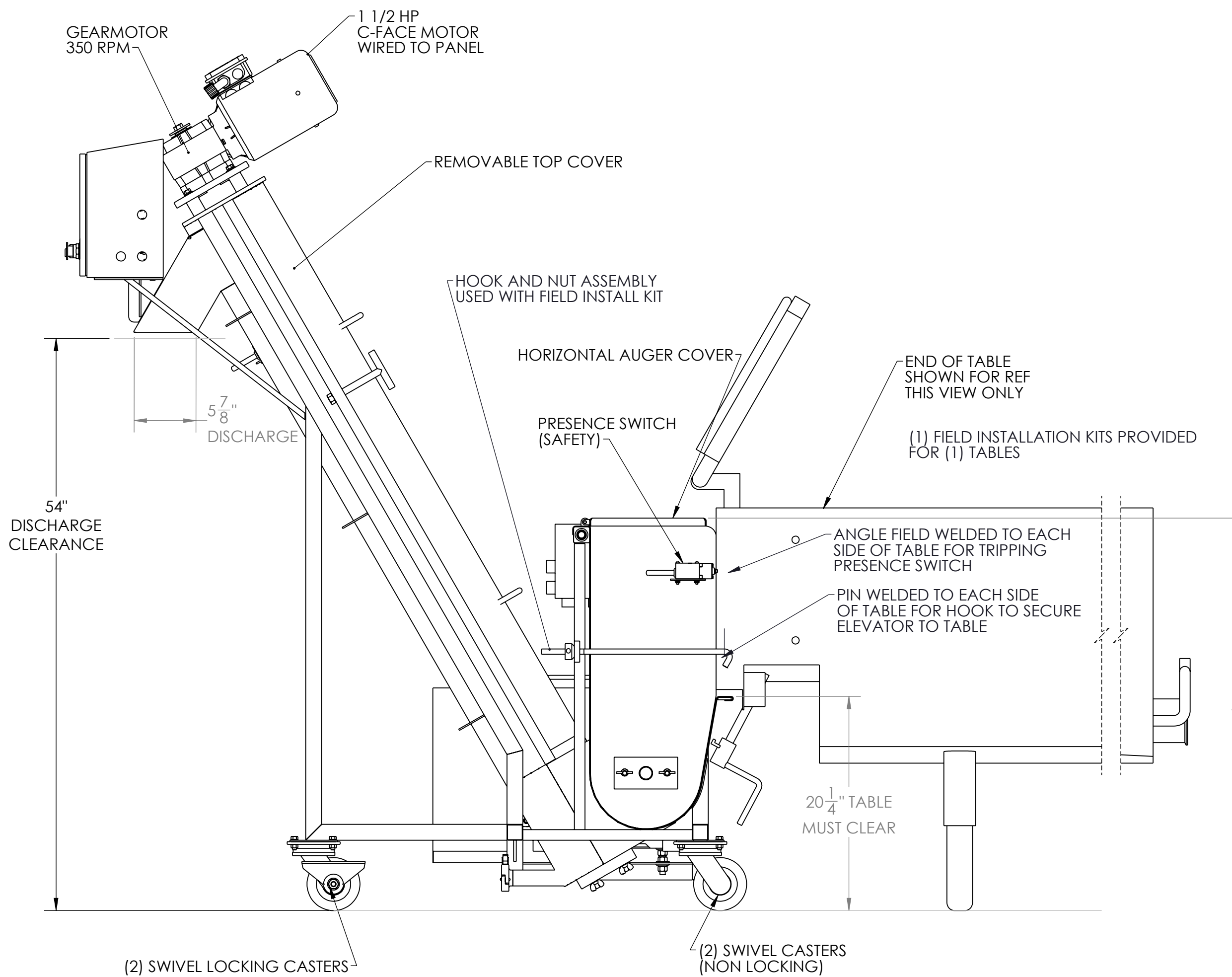
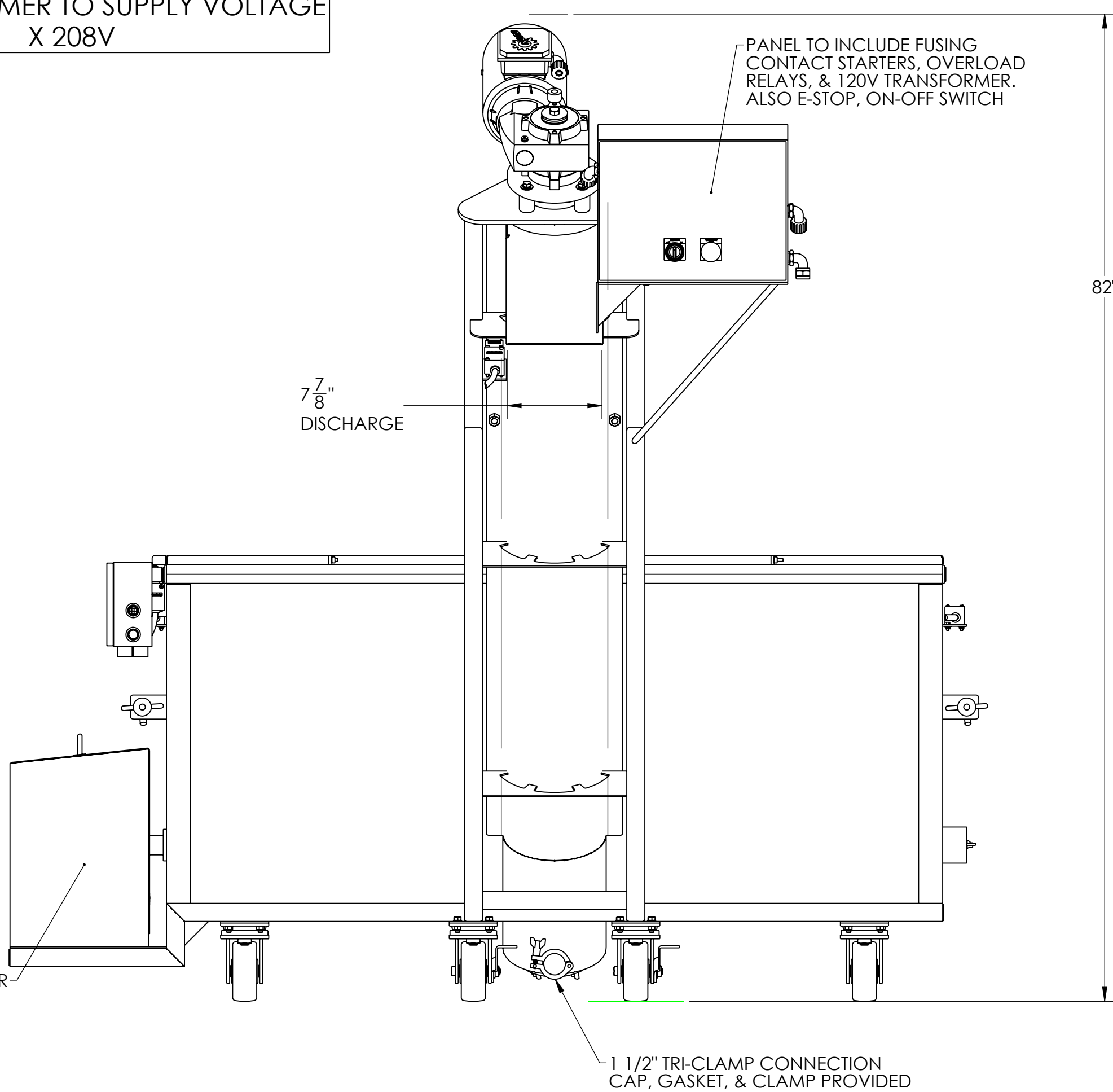
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 DATE: 2/2/2022
 SHEET 1 OF 1

APPROVAL PRINT

COMPANY NAME Nether Industries
 SIGNED Brent Seifert
 P.O. NO. _____ DATE 9/27/2022
KUSEL EQUIPMENT CO.
 NOTE: ORDERS WILL NOT BE ENTERED UNTIL
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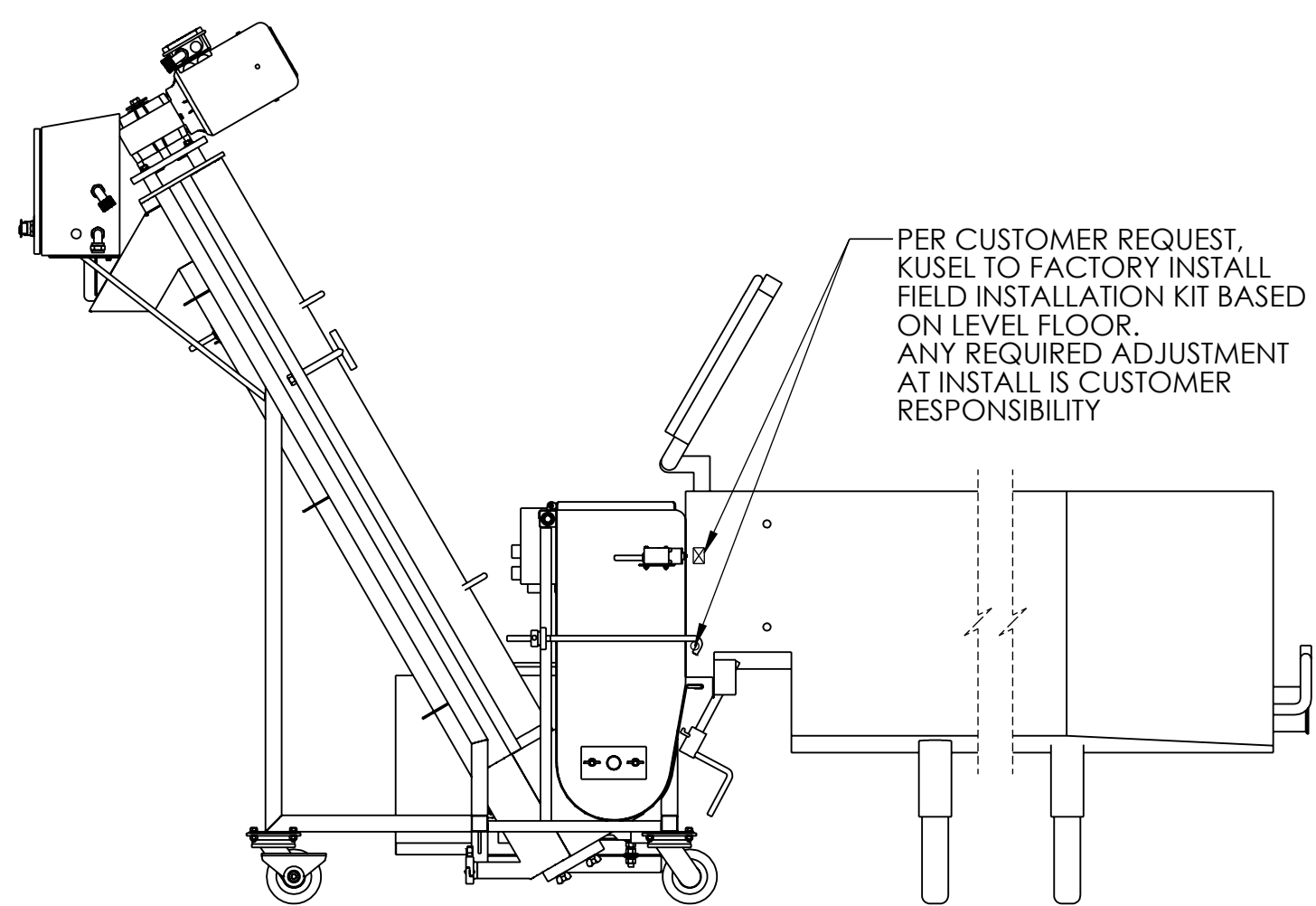
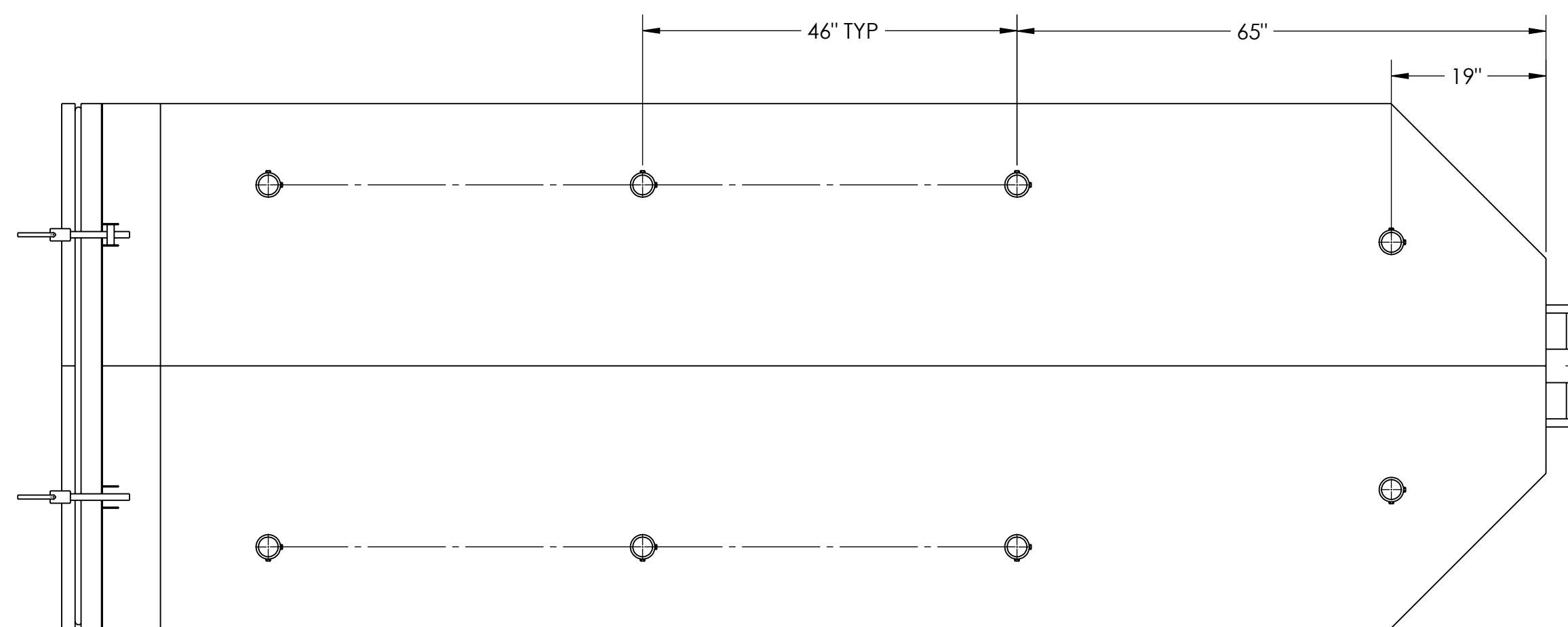
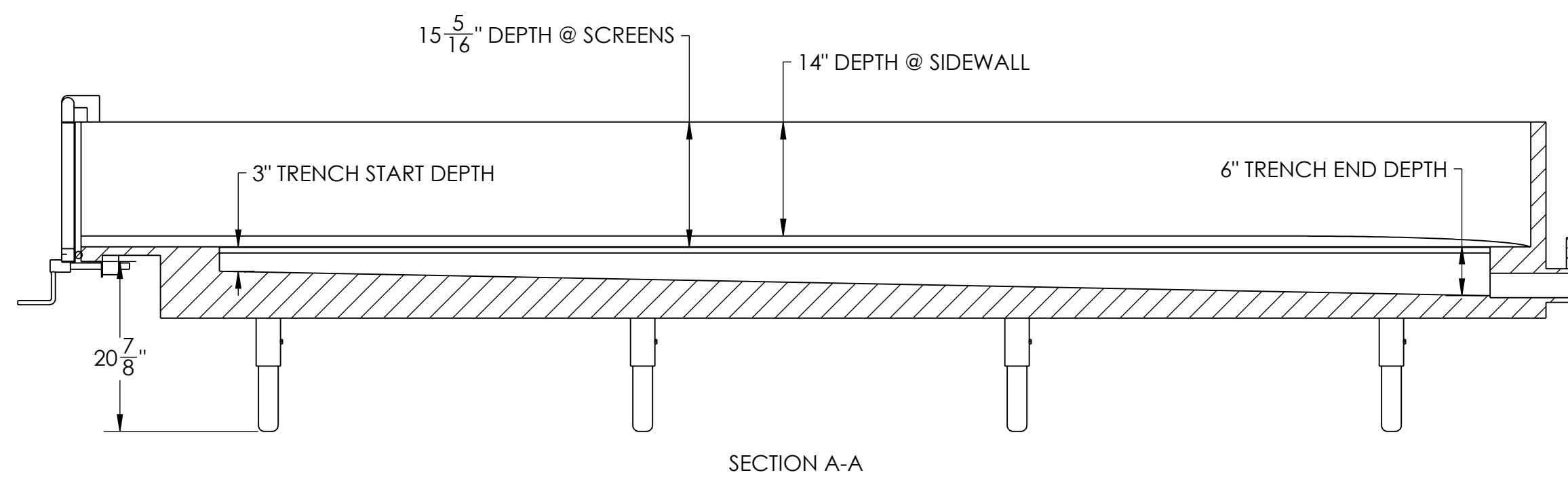
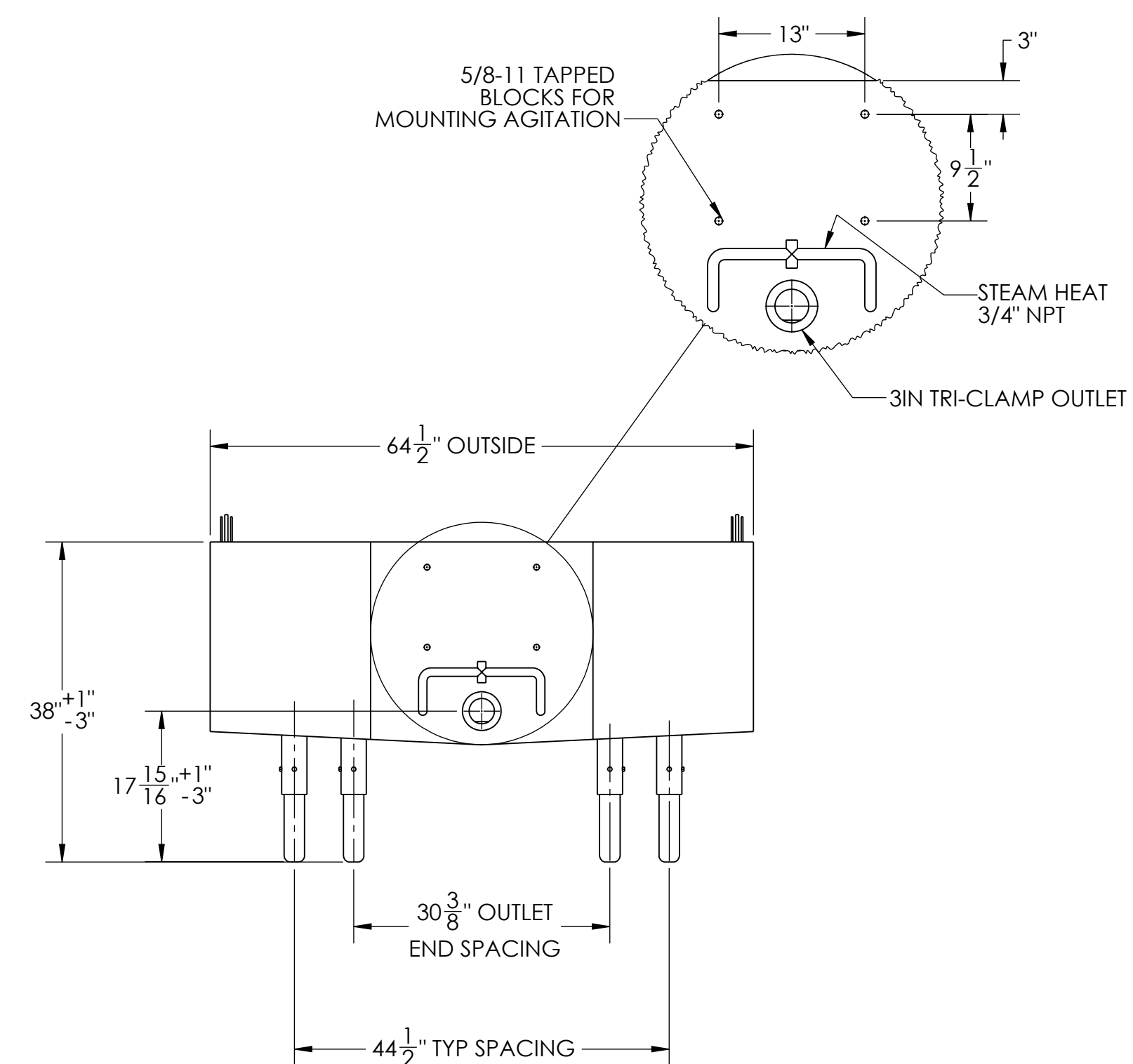
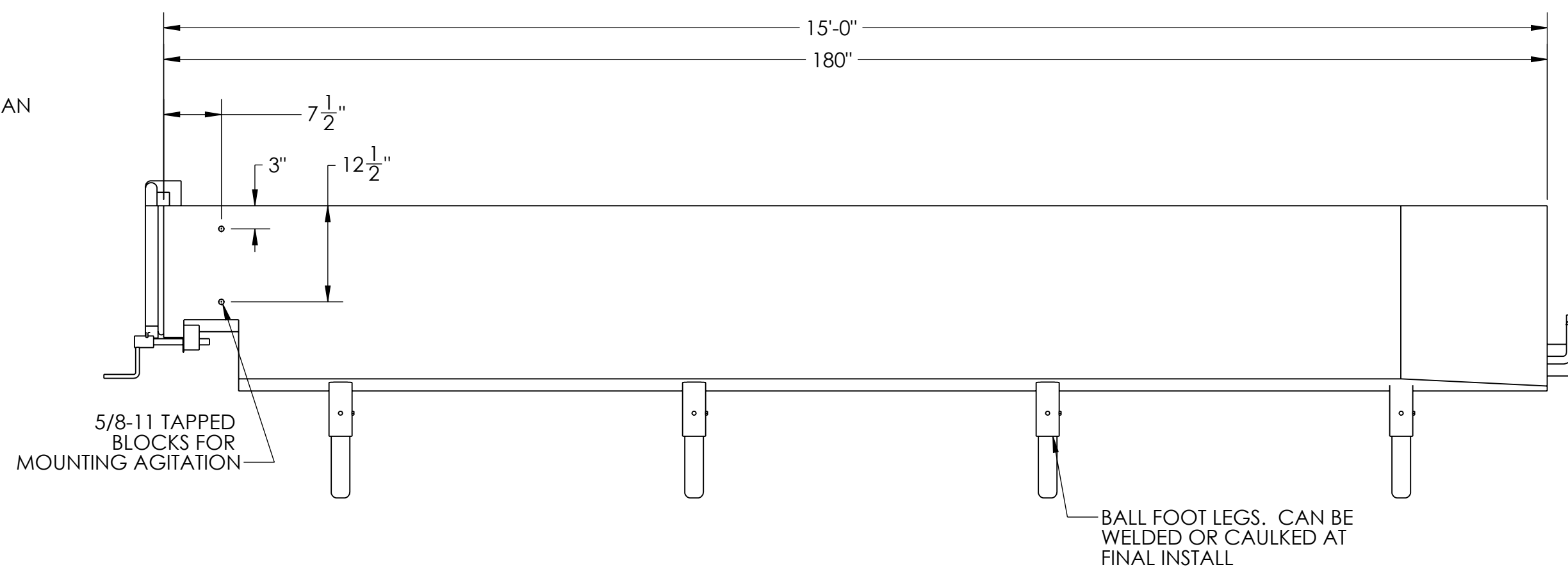
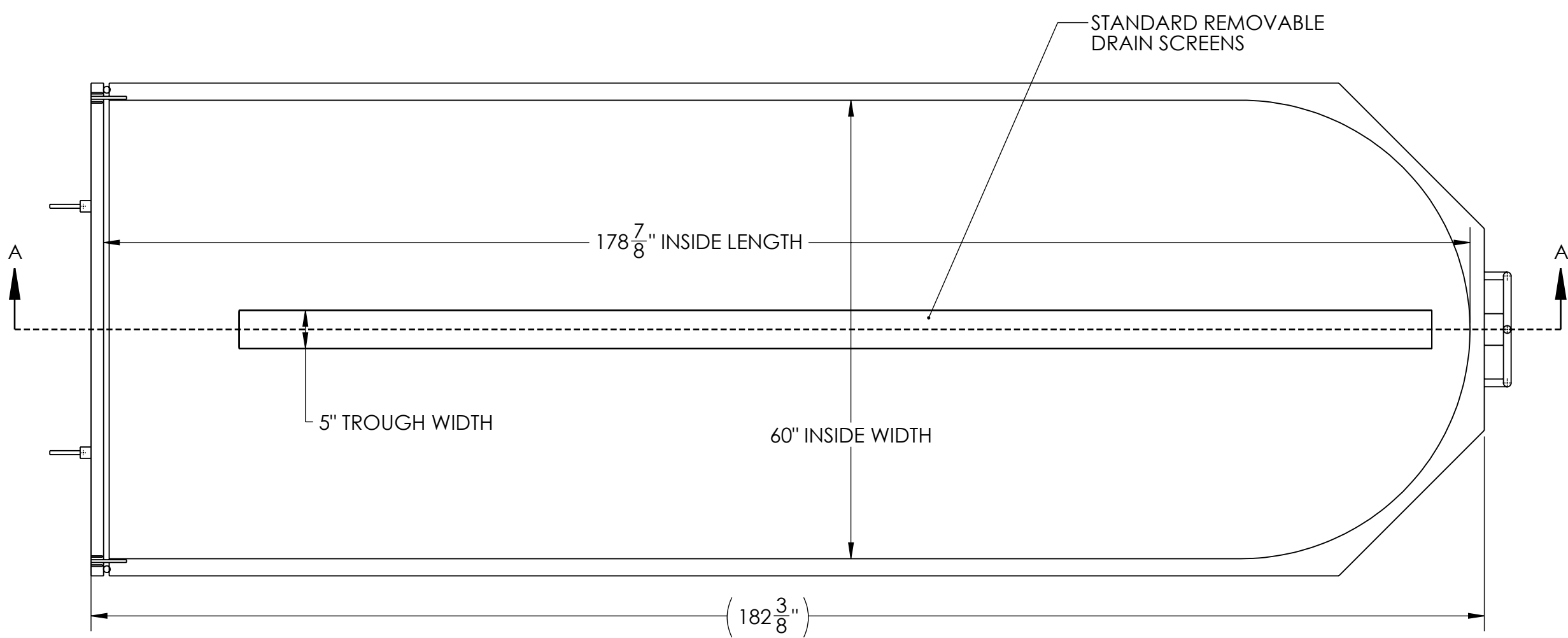
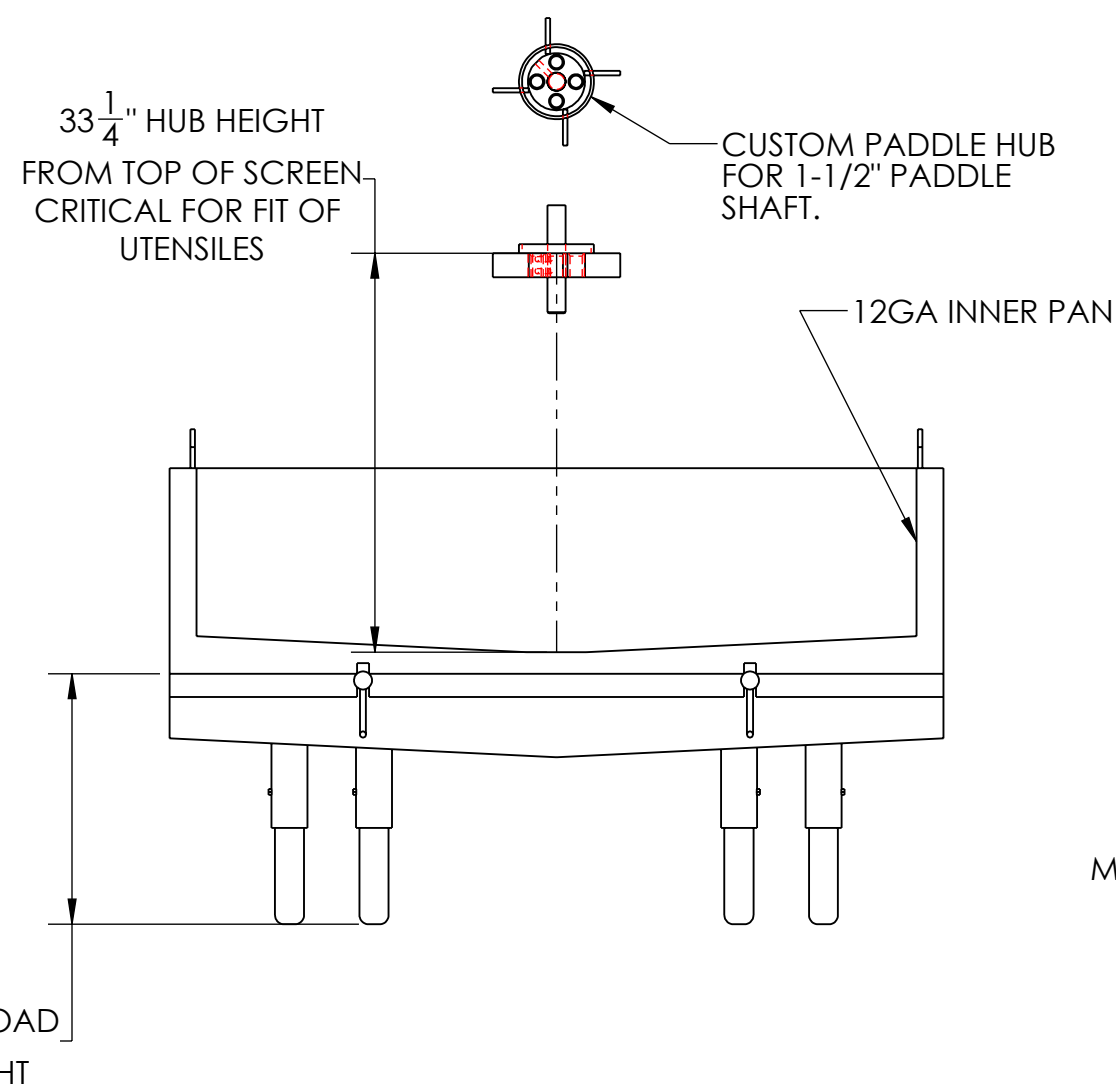
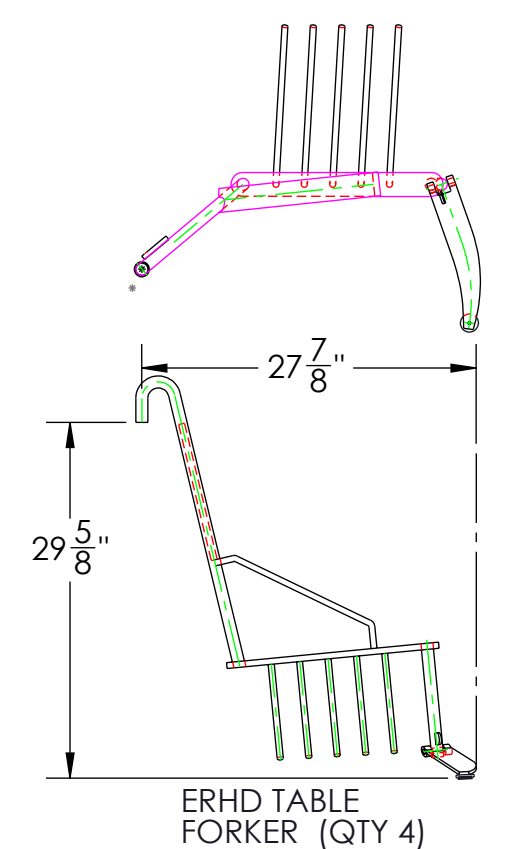
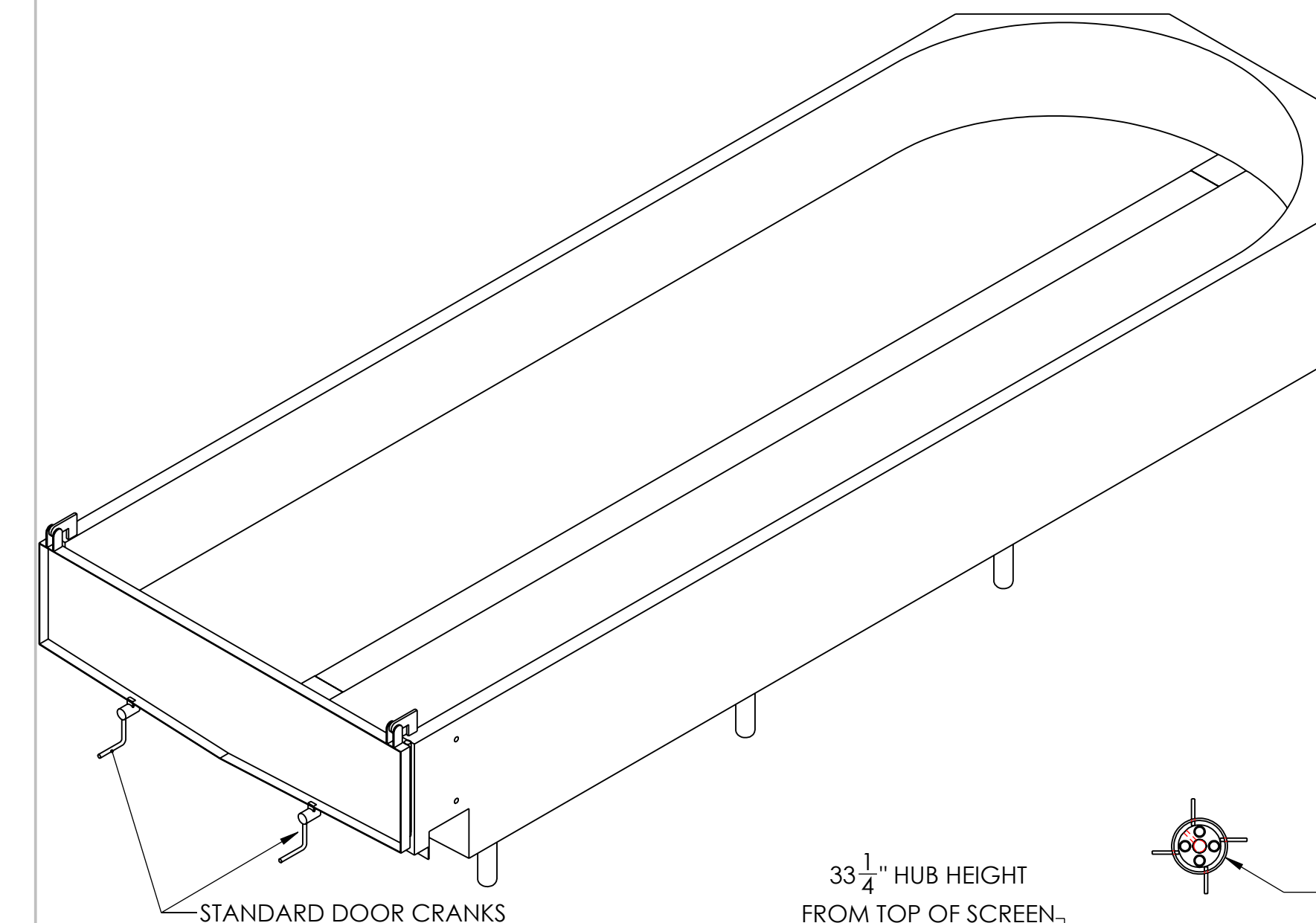


ELECTRICAL POWER INPUT
 CUSTOMER TO SUPPLY VOLTAGE
 X 208V



	UNLESS OTHERWISE SPECIFIED:	DESCRIPTION:
	DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL: ± 1/16 ANGULAR: MCH ± 5° DEC: ± 0.05 DO NOT SCALE DRAWING	ASSEMBLY, CURD ELEVATOR 54" DISCHARGE FOR 60" TABLE, 208V
PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KUSEL EQUIPMENT COMPANY. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KUSEL EQUIPMENT COMPANY IS PROHIBITED.	DWG. NO. 111-00-000 APPROVAL	DATE: 2/8/2021 SHEET 1 OF 1

APPROVAL PRINT	
COMPANY NAME	Nether Industries
SIGNED	Brent Seifert
P.O. NO.	DATE 9/27/2022
KUSEL EQUIPMENT CO.	
NOTE: ORDERS WILL NOT BE ENTERED UNTIL SIGNED APPROVAL PRINTS ARE RECEIVED.	



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DIMENSIONS ARE IN INCHES
TOLERANCES: FRACTIONAL: ±1/16
ANGULAR: MCH ±5° BEVD ±1.5°
XXX ±.01
XXXX ±.005

DESCRIPTION: 156014 FINISHING TABLE

DWG. NO. 110-00-000 APPROVAL

REV

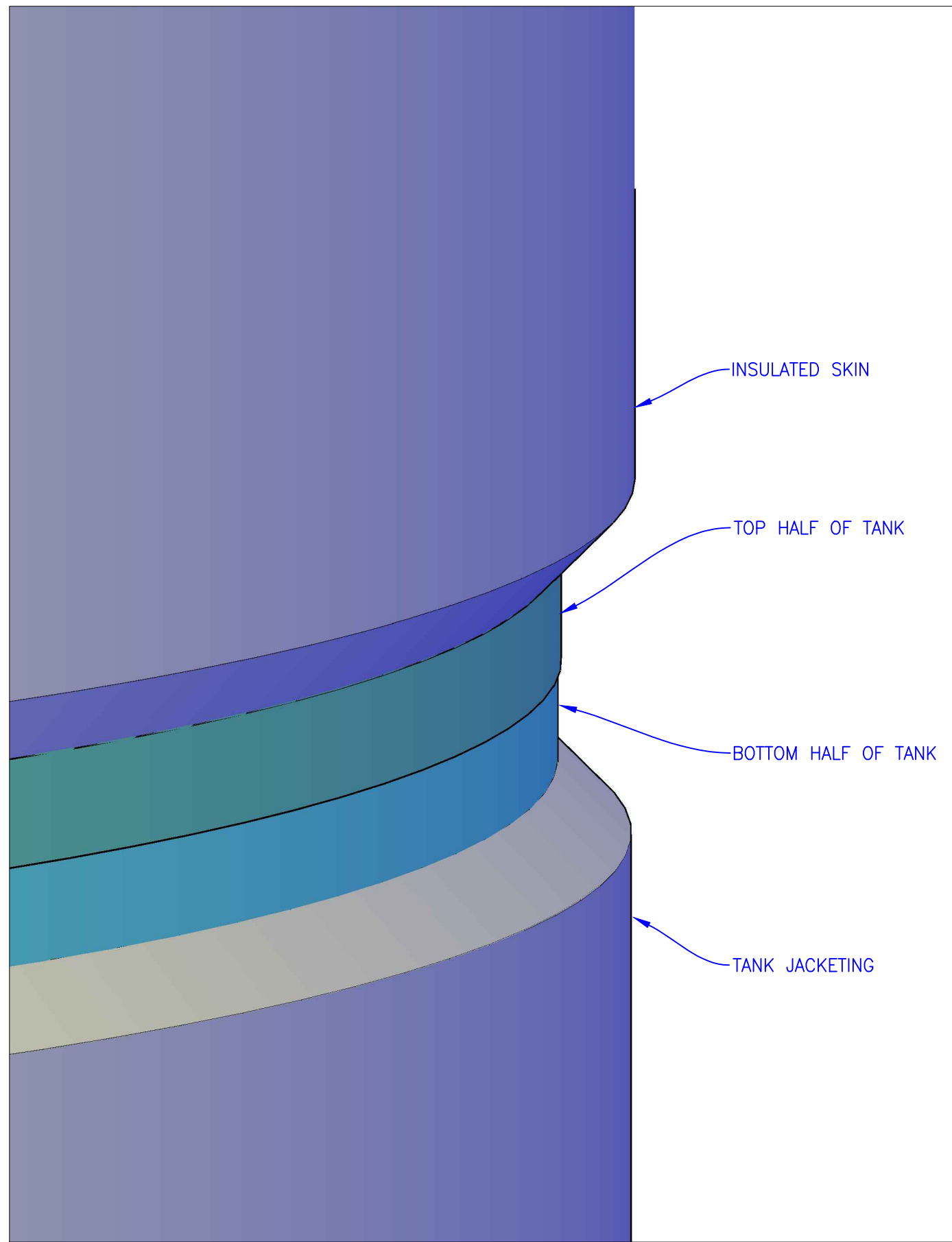
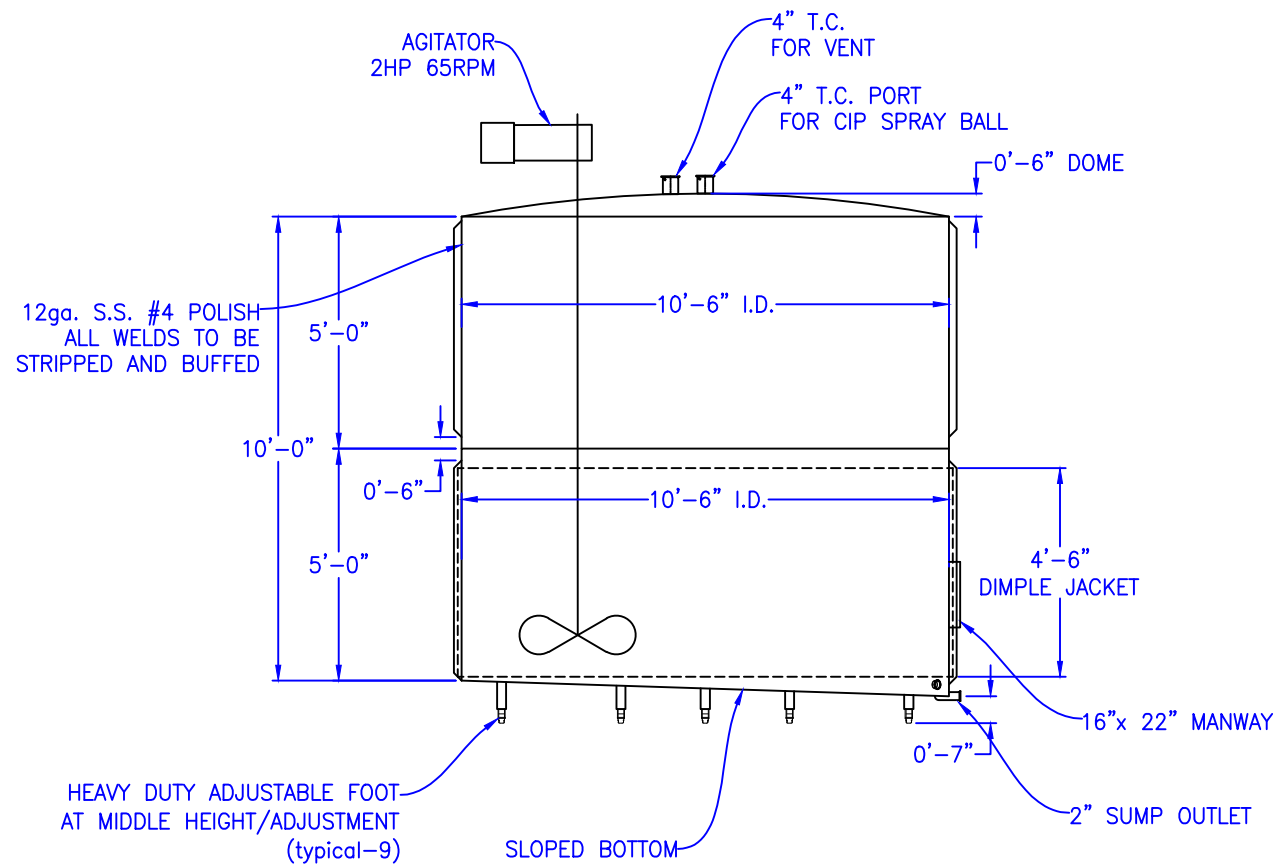
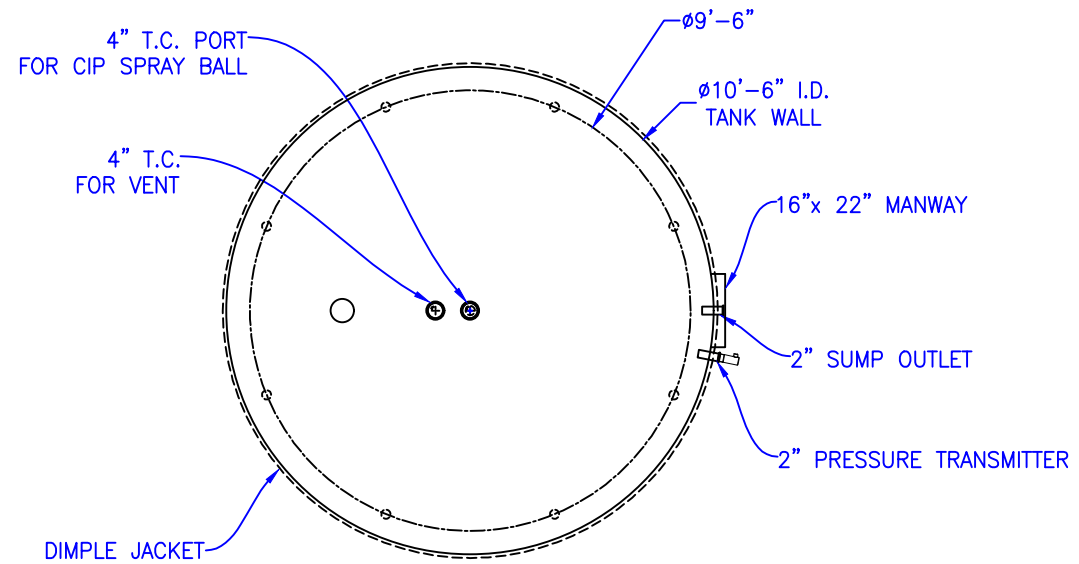
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WEIGHT: N/A

DATE: 9/23/2022

DRAWN BY: NH

SHEET 1 OF 1



DRAWING APPROVED BY:

X _____

DATE: _____

REV.	DATE	DESCRIPTION	NBP
1	00/00/00	DESCRIPTION	NBP
			BY
		DWG BY: NIK P.	APP. BY:
			SCALE: NONE
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DATE: 10/13/22	DRAWING No. B-1003-MT
DRAWN FOR: BEECHERS	TITLE: 6,300gal. MILK TANK
SHEET: 1 of 1	



BEECHERS CHEESE - TENANT IMPROVEMENT

1600 PIKE PLACE - SEATTLE WA, 98101

SCOPE OF WORK

INSTALL NEW HVAC EQUIPMENT TO CONDITION AND VENTILATE RETAIL AREA (CAFE) AND BACK OF HOUSE AREA.

INSTALL TWO COMMERCIAL TYPE II HOODS AND THE ASSOCIATED EXHAUST FANS FOR DISHWASHING EQUIPMENT AND COP TANK.

INSTALL EXHAUST FAN TO EXHAUST PASTEURIZING ROOM.

INSTALL INDOOR AND OUTDOOR EQUIPMENT FOR CAFE WALK IN COOLER AS WELL AS PRODUCTION WALK IN COOLER.

INSTALL EQUIPMENT TO PROVIDE/MAINTAIN CONSTANT POSITIVE PRESSURE TO PRODUCTION AREA. INSTALL EQUIPMENT TO PROVIDE & MAINTAIN POSITIVE PRESSURE TO PACKAGING AREA RELATIVE TO THE REST OF PRODUCTION AREA.

INSTALL ONE ELECTRONIC UNIT HEATER TO PROVIDE BACK-UP FREEZE PROTECTION TO PRODUCTION AREA.

GENERAL NOTES

1. PROJECT SHALL COMPLY WITH 2018 SMC AND 2018 SEC
2. CLOSE-OUT DOCUMENTS AT COMPLETION OF PROJECT, INCLUDING AS-BUILT DRAWINGS AND AIR BALANCE REPORT SHALL BE PROVIDED
3. MAXIMUM OF 6' FLEX DUCT FOR EACH SUPPLY/RETURN AIR GRILL
4. DUCT CONSTRUCTION AND GAUGE PER SMC SECTION 603
5. DUCT SHALL BE SUPPORTED PER SMC SECTION 603.10
6. DUCT SHALL BE INSULATED PER SMC 604
7. ALL FANS SHALL BE CONSTANT VOLUME
8. REFRIGERATION PIPING IS COPPER TUBING TYPE ACR, TYPE I, IN COMPLIANCE WITH SECTION 1107.5 OF 2018 S.M.C.

DRAWING INDEX

SHEET	DESCRIPTION
M-1	COVER PAGE
M-2	SITE PLAN
M-3	MAIN FLOOR HVAC
M-4	ROOF HVAC PLAN
M-5	EQUIPMENT SCHEDULES
M-6	ELEVATIONS
S-1	STRUCTURAL
S-2	STRUCTURAL

MECHANICAL LEGEND

MARK	DESCRIPTION
	SUPPLY AIR GRILLE
	EXHAUST AIR GRILLE
	GALVANIZED SUPPLY AIR DUCTING
	GALVANIZED EXHAUST AIR DUCTING
	STAINLESS STEEL AIR DUCTING
	ALUMINIUM AIR DUCTING
	REFRIGERATION LINE
	DRAIN PIPE
	VOLUME DAMPER
	THERMOSTAT
	ERV CONTROLLER
	MOTORIZED DAMPER

SEATTLE ENERGY CODE COMPLIANCE

RETAIL AREA

C403.1 - GENERAL

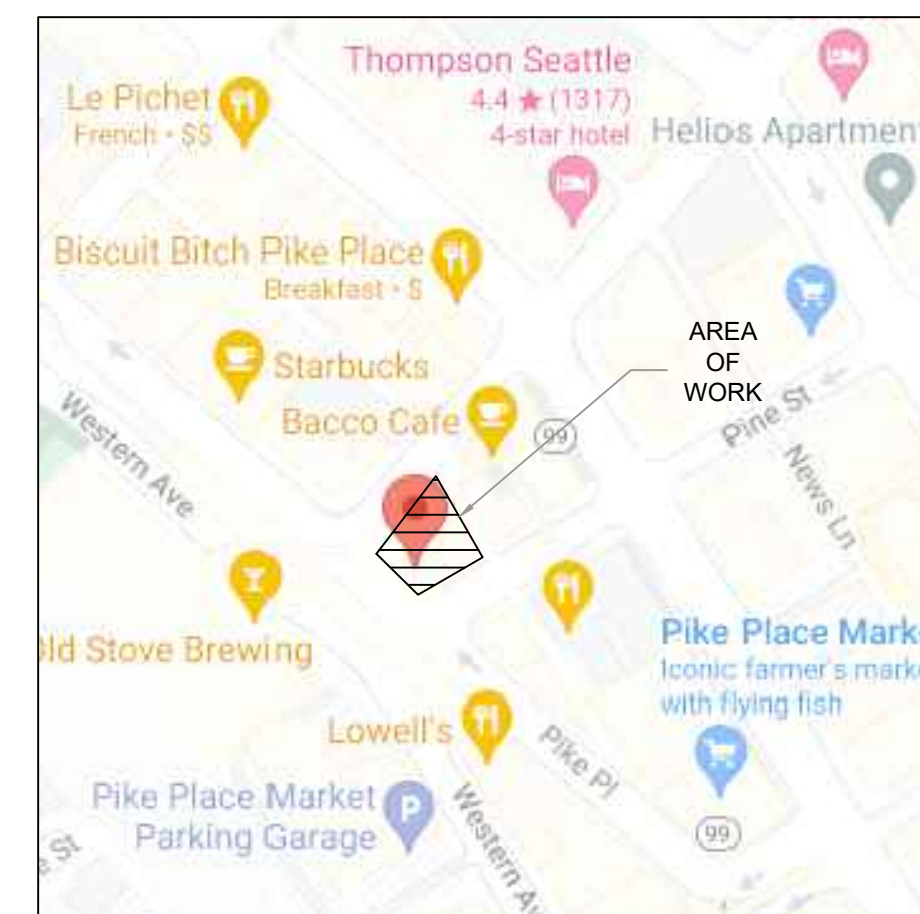
- TOTAL SYSTEM PERFORMANCE RATIO NOT REQUIRED PER C403.1.1, EXCEPTION 1, CONDITIONED AREA IS LESS THAN 5000 SQ FT.
- EQUIPMENT SIZED IN COMPLIANCE WITH C403.1.2

C403.3 - EQUIPMENT PERFORMANCE REQUIREMENTS

- EQUIPMENT PERFORMANCE COMPLIES WITH TABLE C403.3.2(1)
- DOAS IS PROVIDED PER C403.3.5

C403.5 - ECONOMIZERS

- ECONOMIZER NOT REQUIRED PER EXCEPTION 1



COMPLETION & COMMISSIONING

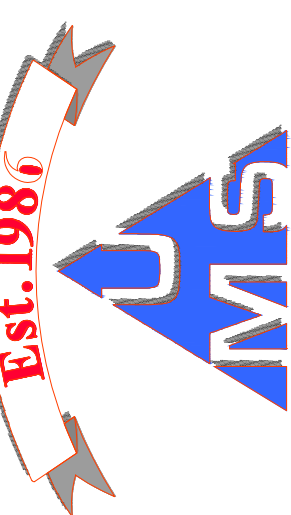
PER SEATTLE ENERGY CODE (SEC) SECTION C408 (INCLUSIVE OF ALL SUBSECTIONS):

RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER WITHIN 90 DAYS OF THE DATE OF SYSTEM ACCEPTANCE. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER. ALL HVAC SYSTEMS SHALL BE BALANCED AND A WRITTEN BALANCE REPORT SHALL BE PROVIDED TO THE OWNER.

FOR WAREHOUSE, SEMI-HEATED, AND SIMPLE SYSTEMS (AS DEFINED IN SEC): HVAC CONTROL SYSTEMS SHALL BE TESTED, CALIBRATED, AND ADJUSTED. SEQUENCE OF OPERATION SHALL BE TESTED TO ENSURE THAT THEY OPERATE IN ACCORDANCE WITH THE SPECIFICATIONS AND APPROVED PLANS. A COMPLETE REPORT OF TEST PROCEDURES AND RESULTS SHALL BE FILED WITH THE OWNER

FOR ALL OTHER SYSTEMS, HVAC CONTROL SYSTEMS SHALL BE TESTED, CALIBRATED, AND ADJUSTED. SEQUENCES OF OPERATION SHALL BE TESTED TO ENSURE THAT THEY OPERATE IN ACCORDANCE WITH SPECIFICATIONS AND APPROVED PLANS. A PRELIMINARY COMMISSIONING REPORT OF TEST PROCEDURES AND RESULTS SHALL BE PREPARED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY. A COMPLETE FINAL COMMISSIONING REPORT OF TEST PROCEDURES AND RESULTS SHALL BE FILED WITH THE OWNER.

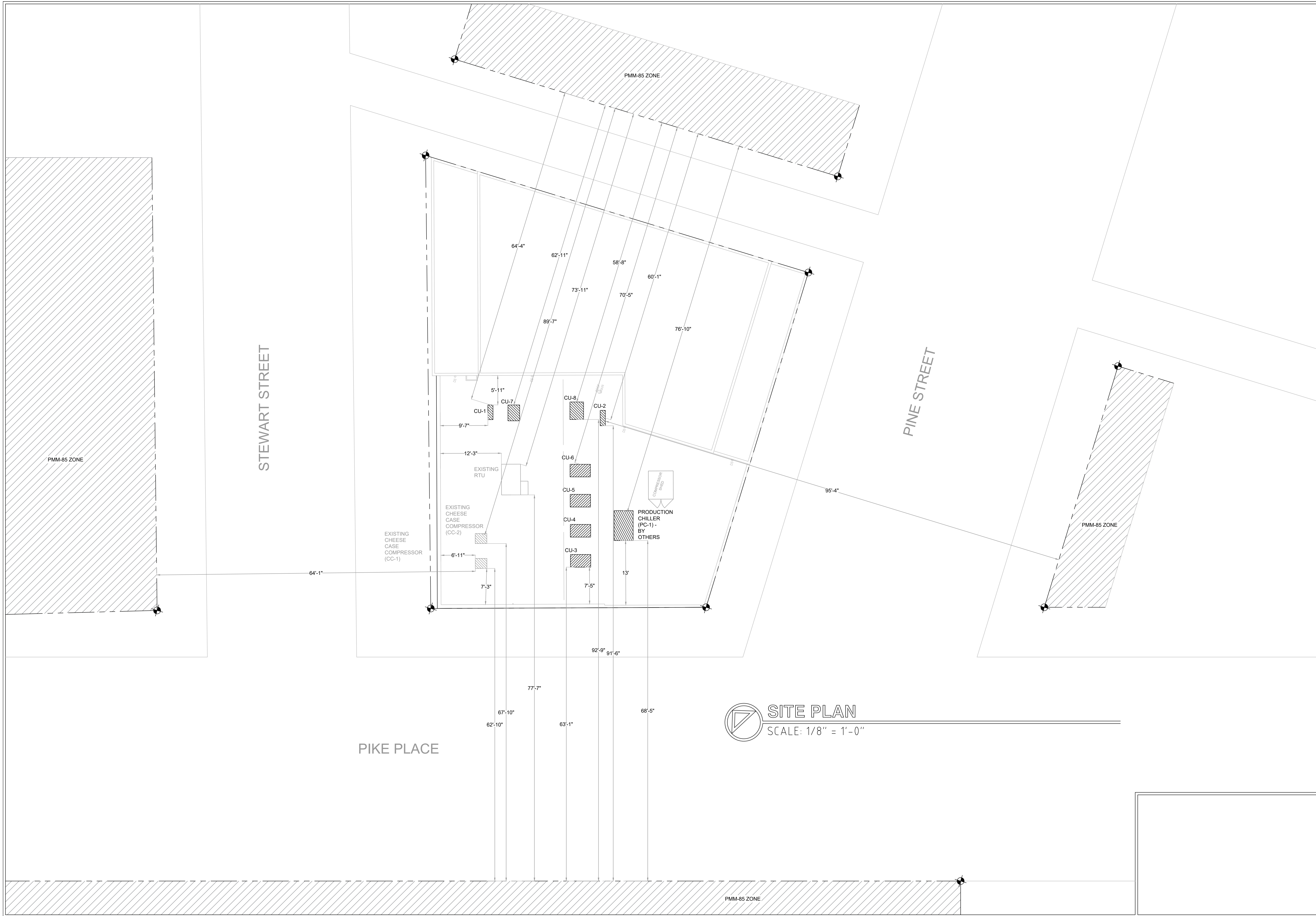
UNIVERSAL MECHANICAL SERVICE CO., INC.
 P.O. BOX 2649 - REDMOND, WA 98073 - P: 425-885-9100 - F: 425-881-6487 - WWW.UNIMEC.COM



REVISIONS:
04/22/2023

PROJECT: BEECHERS PIKE RENOVATION
 ADDRESS: 1600 PIKE PLACE
 SEATTLE, WA 98101
 JOB #: TM23015
 DATE: 04/10/2023
 DRA WN: JR CHECKED: TM

M-1

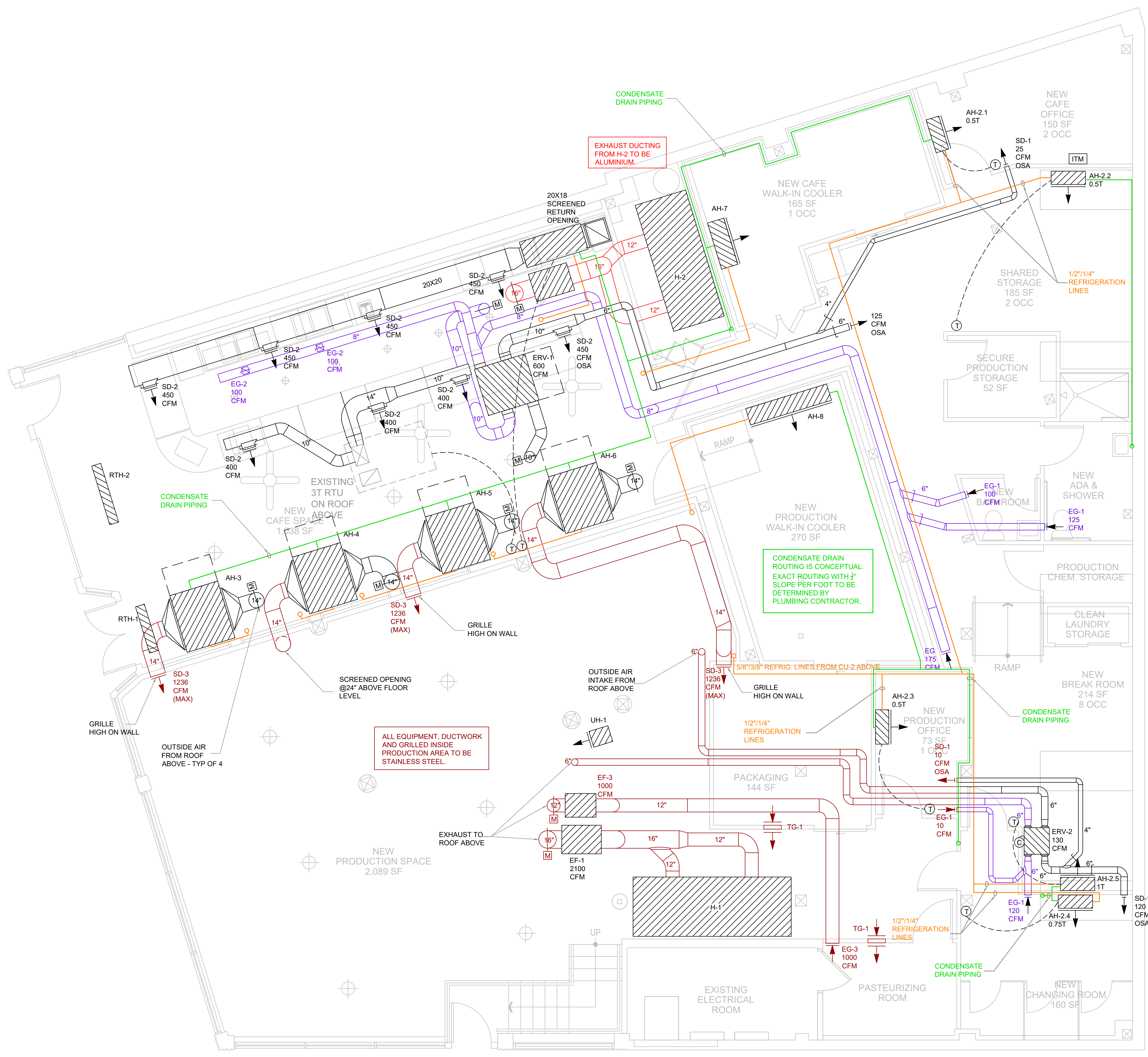


SITE PLAN
SCALE: 1/8" = 1'-0"

REVISIONS:	04/21/2023
PROJECT: BEECHERS PIKE RENOVATION	
ADDRESS: 1600 PIKE PLACE SEATTLE, WA 98101	
JOB #	TM23015
DATE:	04/07/2023
DRAWN: JR	CHECKED: TM

M-2

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1ST FLOOR HVAC PLAN
SCALE: 1/4" = 1'-0"

VENTILATION CALCULATIONS

CAFE SPACE: 1038 SQ FT, 40 PEOPLE
MIN. VENTILATION: 7.5 CFM/PERSON + .12 CFM/SQ FT = 424.6 CFM
TOTAL PROVIDED BY ERV-1: 450 CFM

CAFE OFFICE: 135 SQ FT, 2 PEOPLE
MIN. VENTILATION: 5 CFM/PERSON + .06 CFM/SQ FT = 18 CFM
TOTAL PROVIDED BY ERV-1: 25 CFM

BREAK ROOM: 200 SQ FT, 8 PEOPLE
MIN. VENTILATION: 5 CFM/PERSON + .06 CFM/SQ FT = 52 CFM
TOTAL PROVIDED BY ERV-1: 75 CFM

HALLWAY: 240 SQ FT
MIN. VENTILATION: .06 CFM/SQ FT = 24 CFM
TOTAL PROVIDED BY ERV-1: 50 CFM

PRODUCTION OFFICE: 80 SQ FT, 1 PERSON
MIN. VENTILATION: 5 CFM/PERSON + .06 CFM/SQ FT = 10 CFM
TOTAL PROVIDED BY ERV-2: 10 CFM

CHANGING ROOM: 160 SQ FT, 6 PEOPLE
MIN. VENTILATION: 5 CFM/PERS + .06 CFM/SQ FT = 40 CFM
TOTAL PROVIDED BY ERV-2: 65 CFM

EXHAUST CALCULATIONS

CAFE KITCHEN: 2 PANINI PRESSES AT 100 SQ FT EACH = 200 SQ FT
MIN. EXHAUST: 0.7 CFM/SQFT = 140 CFM
TOTAL EXHAUSTED BY ERV-1: 200 CFM

NEW BATHROOM: 25 SQ FT, 8' HIGH
MIN. EXHAUST: 10 ACH = 33 CFM
TOTAL EXHAUSTED BY ERV-1: 100 CFM

ADA & SHOWER: 85 SQ FT, 8' HIGH
MIN. EXHAUST: 10 ACH = 113 CFM
TOTAL EXHAUSTED BY ERV-1: 125 CFM

COP: 12' LONG HOOD
MIN. EXHAUST 175 CFM/FT = 2100 CFM
TOTAL EXHAUSTED BY EF-1: 2100 CFM

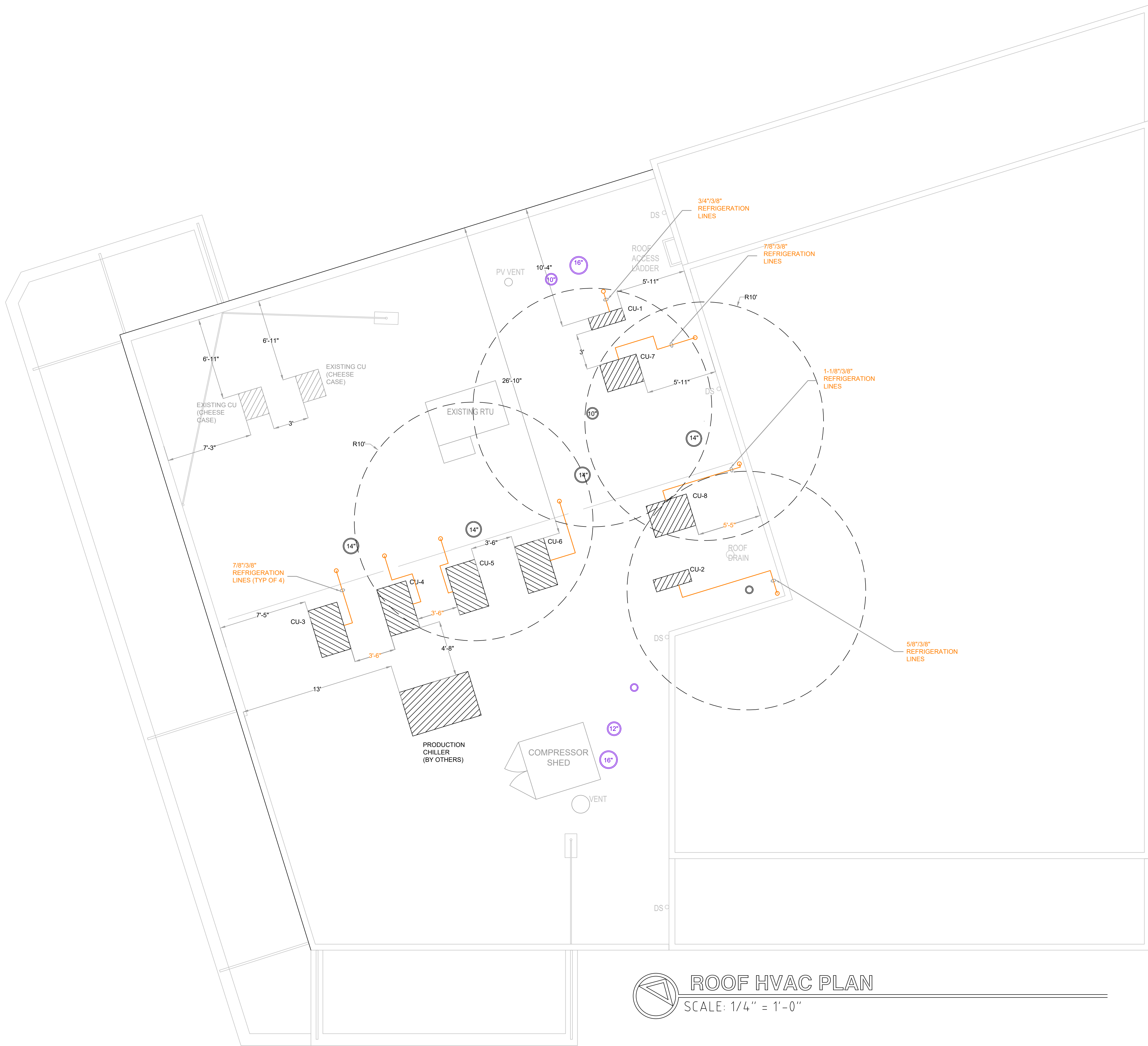
SCULLERY: 10' LONG HOOD
MIN. EXHAUST: 175 CFM/FT = 1750 CFM
TOTAL EXHAUSTED BY EF-2: 1750 CFM

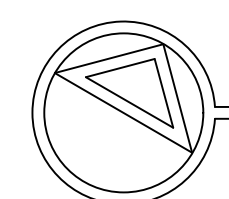
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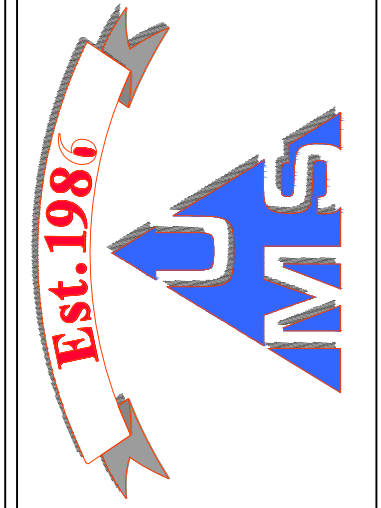
PROJECT: BEECHERS PIKE RENOVATION	REVISIONS: 04/21/2023
ADDRESS: 1600 PIKE PLACE SEATTLE, WA 98101	
JOB #: TM23015	
DATE: 04/19/2023	
DRAWN: JR	CHECKED: TM

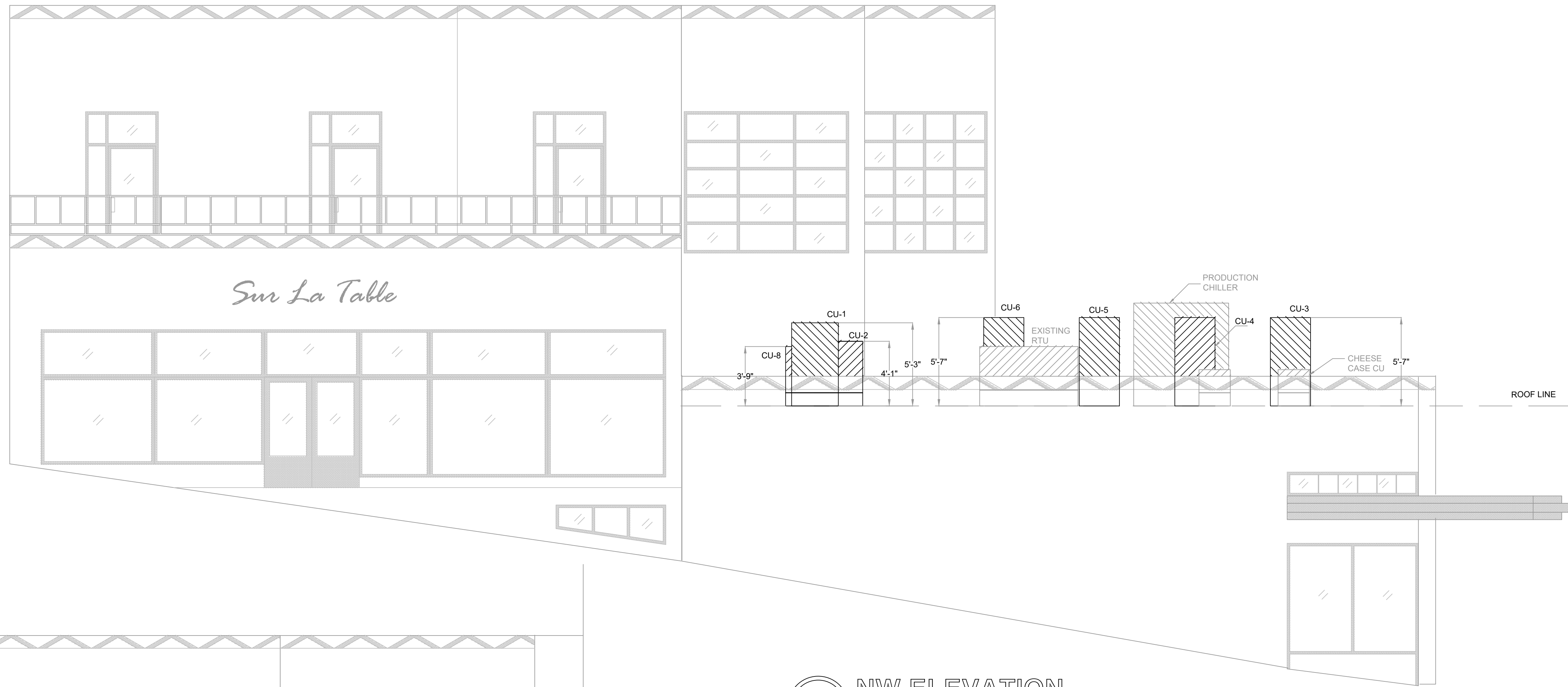


 **ROOF HVAC PLAN**
SCALE: 1/4" = 1'-0"

REVISIONS:	04/21/2023
PROJECT: BEECHERS PIKE RENOVATION	
ADDRESS: 1600 PIKE PLACE	
SEATTLE, WA 98101	
JOB #	TM23015
DATE:	04/19/2023
DRAWN: JR	CHECKED: TM

M-4

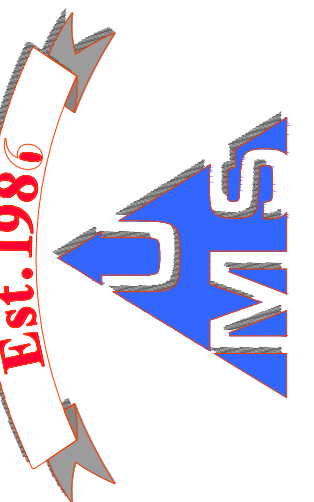




NW ELEVATION
SCALE: 1/4" = 1'-0"



SW PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS:	04/21/2023
PROJECT: BEECHERS PIKE RENOVATION	
ADDRESS: 1600 PIKE PLACE SEATTLE, WA 98101	
JOB #: TM23015	
DATE: 04/19/2023	
DRAWN: JR	CHECKED: TM

Beechers
Submittal Package
Rev.3 4-5-2023

Roof Top Equipment

CAFE - System Design Summary

General Requirements

Room Temperature: **34 °F** Ambient Temperature: **110 °F** Design Run-time: **18 Hrs** Required Capacity: **16,352 BTUH**

Selected Equipment

Line Item	Quantity	Type	Tag	Description
1.0	1	System	CAFE	R-449A/B - Refrigeration Equipment Match 1
1.1	1	Condensing Unit	CDU-1	RFO250E4SEA
1.2	2	Unit Cooler	UC-1	RL6E066DDA

System Balance

Balanced Capacity: **16,395.2 BTUH** Evap. T.D.: **9.3 °F** Line Loss: **2 °F** Suction Temp: **22.7 °F** Calc. Run-Time: **18 Hrs**

CAFE - CDU-1 - Product Information

General Data

Model Line: NEXT-GEN MINI-CON	Model Number: RFO250E4SEA	Flooded: Yes
Refrigerant: R-449A/B	Voltage: 208-230/3/60	Compressor Type: SCROLL

Performance Data

Ambient Temp: 110 °F	Suction Temp: 22 °F	Capacity: 15,472 BTUH
-----------------------------	----------------------------	------------------------------

Electrical Data

Compressor RLA: 12.3	Compressor LRA: 73	Total Condenser Fan FLA: 1
MCA: 27.4	MOPD: 35	

Physical Data

Number of Compressors: 1	Compressor Model: ZS19KAE	Compressor HP: 2.5
Number of Condenser Fans: 2	Approx. Ship Weight: 230 lbs	Sound Data: 72 dBA
Liquid Line: 1/2 in.	Suction Line: 7/8 in.	
Pump Down Capacity (%): 90	Pump Down Capacity: 14.3 lbs	

Option Data

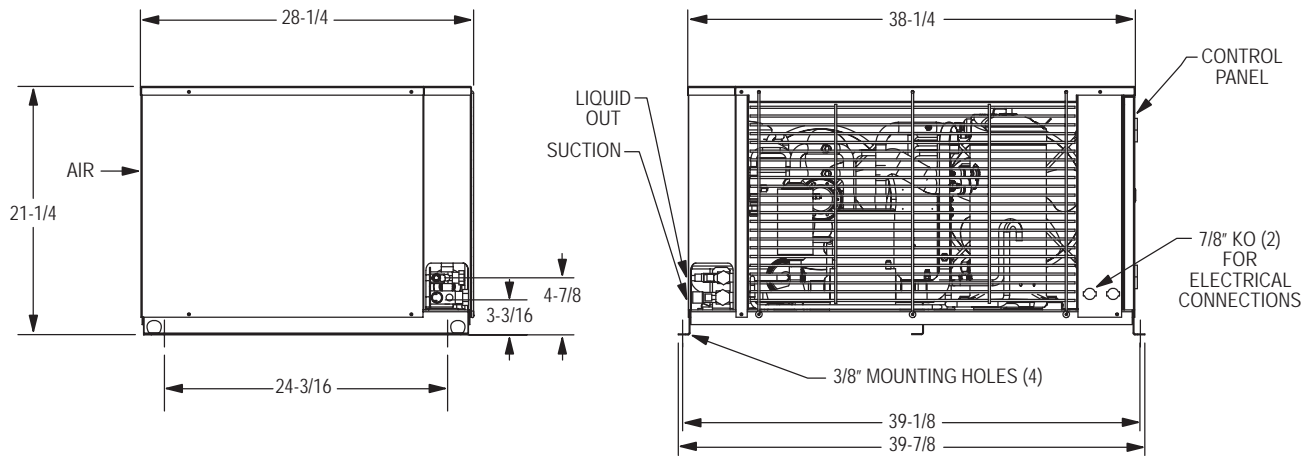
Mounted Option	NO STANDARD AIR DEFROST TIMER
Mounted Option	LIQUID LINE WITH COMPONENTS: SEALED FILTER & SIGHT GLASS
Mounted Option	STANDARD RECEIVER
Mounted Option	FIXED HIGH/ADJUSTABLE LOW PRESSURE CONTROL
Warranty Option	EXTENDED COMPRESSOR WARRANTY (4 YEAR) - SCROLL

Compliance Data

AWEF: **7.60**

Notes

Dimensional Drawing



Standard Features

- All-weather Galvanized steel painted housing
- Generously sized high efficiency condenser, enhanced copper tubes/aluminum fins
- Integral Liquid Subcooling Circuit provides subcooled liquid to the expansion device
- Crankcase heater
- Large electrical panel with hinged/removable door
- Color coded point-to-point wiring
- Quick access to shut off valves from exterior
- UL/cUL certified for use with multiple refrigerants
- UL/cUL listed for outdoor use
- Flooded models include flooded head pressure control
- Non flooded models include mild ambient fan cycle control

Certifications



PRODUCTION - System Design Summary

General Requirements

Room Temperature: **34 °F** Ambient Temperature: **110 °F** Design Run-time: **18 Hrs** Required Capacity: **26,133 BTUH**

Selected Equipment

Line Item	Quantity	Type	Tag	Description
2.0	1	System	PRODUCT ION	R-449A/B - Refrigeration Equipment Match 2
2.1	1	Condensing Unit	CDU-2	RFO350E4SEA
2.2	1	Unit Cooler	UC-2	RL6E182DDA

System Balance

Balanced Capacity: **25,011.4 BTUH** Evap. T.D.: **10.2 °F** Line Loss: **2 °F** Suction Temp: **21.8 °F** Calc. Run-Time: **18.8 Hrs**

PRODUCTION - CDU-2 - Product Information**General Data**

Model Line: NEXT-GEN MINI-CON	Model Number: RFO350E4SEA	Flooded: Yes
Refrigerant: R-449A/B	Voltage: 208-230/3/60	Compressor Type: SCROLL

Performance Data

Ambient Temp: 110 °F	Suction Temp: 22 °F	Capacity: 23,994 BTUH
-----------------------------	----------------------------	------------------------------

Electrical Data

Compressor RLA: 13.9	Compressor LRA: 93	Total Condenser Fan FLA: 3.1
MCA: 33.5	MOPD: 45	

Physical Data

Number of Compressors: 1	Compressor Model: ZS26KAE	Compressor HP: 3.5
Number of Condenser Fans: 1	Approx. Ship Weight: 325 lbs	Sound Data: 72 dBA
Liquid Line: 5/8 in.	Suction Line: 1 1/8 in.	
Pump Down Capacity (%): 90	Pump Down Capacity: 29.4 lbs	

Option Data

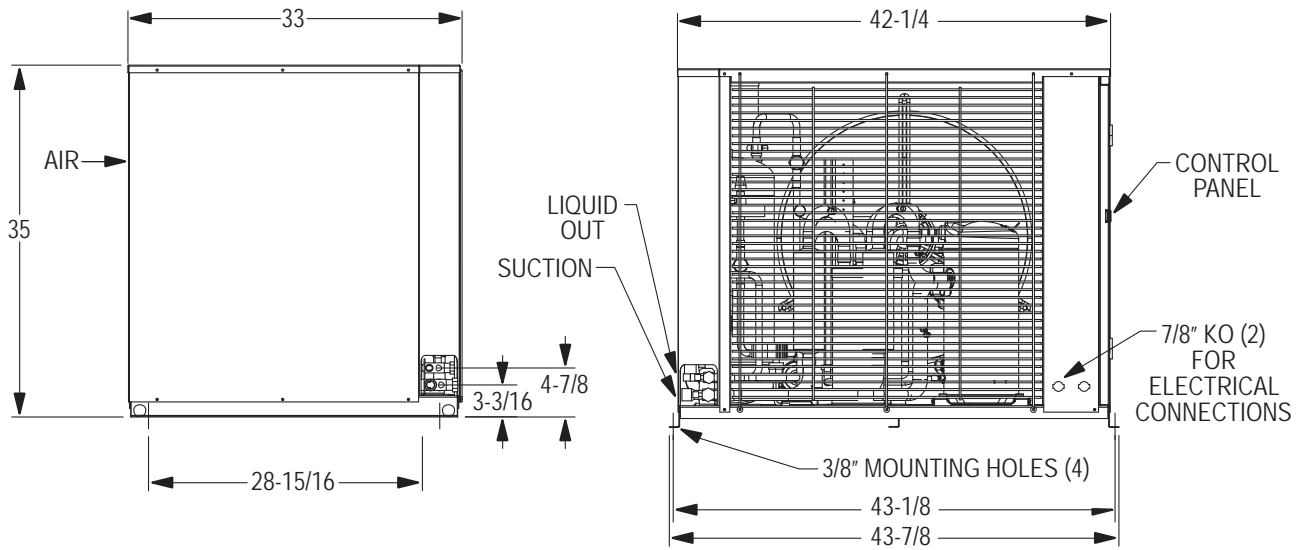
Mounted Option	NO STANDARD AIR DEFROST TIMER
Mounted Option	LIQUID LINE WITH COMPONENTS: SEALED FILTER & SIGHT GLASS
Mounted Option	STANDARD RECEIVER
Mounted Option	FIXED HIGH/ADJUSTABLE LOW PRESSURE CONTROL
Warranty Option	EXTENDED COMPRESSOR WARRANTY (4 YEAR) - SCROLL

Compliance Data

AWEF: 7.60

Notes

Dimensional Drawing



Standard Features

- All-weather Galvanized steel painted housing
- Generously sized high efficiency condenser, enhanced copper tubes/aluminum fins
- Integral Liquid Subcooling Circuit provides subcooled liquid to the expansion device
- Crankcase heater
- Large electrical panel with hinged/removable door
- Color coded point-to-point wiring
- Quick access to shut off valves from exterior
- UL/cUL certified for use with multiple refrigerants
- UL/cUL listed for outdoor use
- Flooded models include flooded head pressure control
- Non flooded models include mild ambient fan cycle control

Certifications





Submittal Data Sheet

3 Ton VRV-IV S Heat Pump Unit

RXTQ36TAVJU

FEATURES

- Variable Refrigerant Temperature (VRT) technology allows VRV IV S series to deliver improved efficiencies and year round comfort
- Improved efficiencies with SEER values up to 18.0 and HSPF values up to 10.0
- Engineered with highly reliable Daikin Swing compressors
- All inverter compressors to increase efficiency and avoid starting current rush
- Can provide heating down to -4°F
- Added safety with optional auto changeover to auxiliary heat
- Easier installation with over 60% weight reduction compared to VRV III S

BENEFITS

- Single-phase technology enables installation in light commercial and residential applications
- Broader diversity with up to 10 indoor units connectivity
- Space saving compact design
- Design flexibility with long piping lengths up to 984ft total and 49ft vertical separation between indoor units
- Designed with reduced MOP to optimize installation costs
- Backed by best in class 10-years Parts Limited Warranty and 10-years Replacement Compressor Limited Warranty*





Submittal Data Sheet

3 Ton VRV-IV S Heat Pump Unit

RXTQ36TAVJU

PERFORMANCE

Outdoor Unit Model No.	RXTQ36TAVJU	Outdoor Unit Name:	3 Ton VRV-IV S Heat Pump Unit
Type:	Heat Pump		
Rated Cooling Conditions:	Indoor (°F DB/DB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):	25		
Rated Height Difference (ft):			
Rated Cooling Capacity (Btu/hr):	34,200	Rated Heating Capacity (Btu/hr):	37,000
Cooling Input Power (kW):	3.13	Heating Input Power (kW):	3.12
EER (Non-Ducted/Ducted):	12.00 / 9.70	Heating COP (Non-Ducted/Ducted):	/
SEER (Non-Ducted/Ducted):	18.00 / 15.50	HSPF (Non-Ducted/Ducted):	10.3 / 9.0
Max/Min Cooling Capacity (Btu/hr):	/	Max/Min Heating Capacity (Btu/hr):	

OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 1	Compressor Type:	Inverter
Power Supply Connections:		Capacity Control Range (%):	14 - 100
Min. Circuit Amps MCA (A):	16.50	Airflow Rate (H) (CFM):	2,682
Max Overcurrent Protection (MOP) (A):	25.00	Gas Pipe Connection (inch):	5/8
Max Starting Current MSC(A):		Liquid Pipe Connection (inch):	3/8
Rated Load Amps RLA(A):	15.3	Sound Pressure (H) (dBA):	58
Dimensions (HxWxD) (in):	39.00 x 37.00 x 12-5/8	Sound Power Level (dBA):	75
Net Weight (lb):	172		

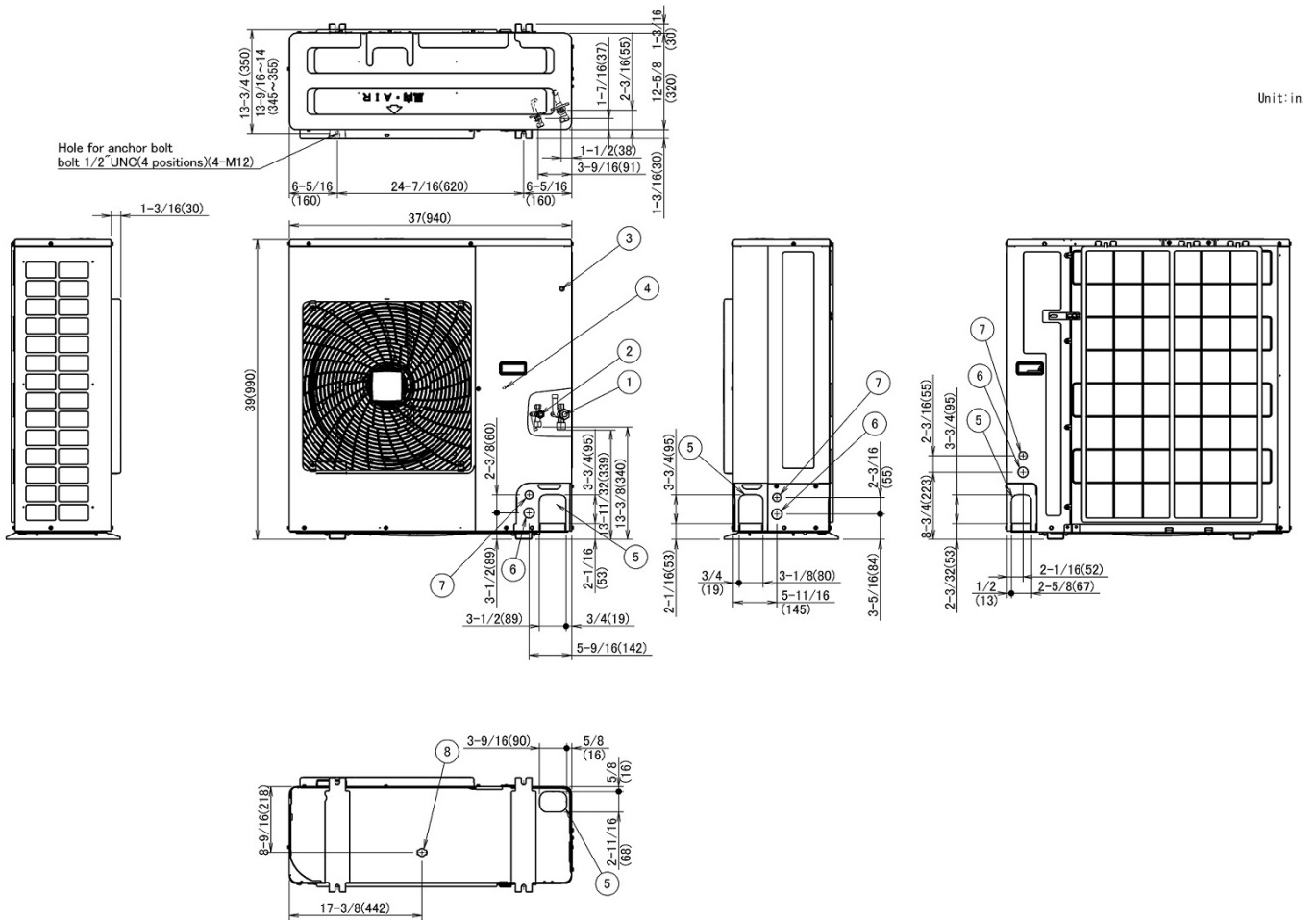


Submittal Data Sheet
 3 Ton VRV-IV S Heat Pump Unit
 RXTQ36TAVJU

SYSTEM DETAILS

Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	6.4	Heating Operation Range (°F WB):	-4 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	98
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	820	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):			

DIMENSIONAL DRAWING





Submittal Data Sheet

5 Ton VRV-IV S Heat Pump Unit
RXTQ60TAVJU

FEATURES

- Variable Refrigerant Temperature (VRT) technology allows VRV IV S series to deliver improved efficiencies and year round comfort
- Improved efficiencies with SEER values up to 18.0 and HSPF values up to 10.0
- Engineered with highly reliable Daikin Swing compressors
- All inverter compressors to increase efficiency and avoid starting current rush
- Can provide heating down to -4°F
- Added safety with optional auto changeover to auxiliary heat
- Easier installation with over 60% weight reduction compared to VRV III S

BENEFITS

- Single-phase technology enables installation in light commercial and residential applications
- Broader diversity with up to 10 indoor units connectivity
- Space saving compact design
- Design flexibility with long piping lengths up to 984ft total and 49ft vertical separation between indoor units
- Designed with reduced MOP to optimize installation costs
- Backed by best in class 10-years Parts Limited Warranty and 10-years Replacement Compressor Limited Warranty*





Submittal Data Sheet

5 Ton VRV-IV S Heat Pump Unit

RXTQ60TAVJU

PERFORMANCE

Outdoor Unit Model No.	RXTQ60TAVJU	Outdoor Unit Name:	5 Ton VRV-IV S Heat Pump Unit
Type:	Heat Pump		
Rated Cooling Conditions:	Indoor (°F DB/DB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 60 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):			
Rated Height Difference (ft):			
Rated Cooling Capacity (Btu/hr):	57,000	Rated Heating Capacity (Btu/hr):	57,000
Cooling Input Power (kW):	5.82	Heating Input Power (kW):	4.18
EER (Non-Ducted/Ducted):	9.80 / 9.20	Heating COP (Non-Ducted/Ducted):	/
SEER (Non-Ducted/Ducted):	18.00 / 15.50	HSPF (Non-Ducted/Ducted):	10.2 / 10.5
Max/Min Cooling Capacity (Btu/hr):	/	Max/Min Heating Capacity (Btu/hr):	

OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 1	Compressor Type:	Inverter
Power Supply Connections:		Capacity Control Range (%):	14 - 100
Min. Circuit Amps MCA (A):	29.10	Airflow Rate (H) (CFM):	3,741
Max Overcurrent Protection (MOP) (A):	35.00	Gas Pipe Connection (inch):	3/4
Max Starting Current MSC(A):		Liquid Pipe Connection (inch):	3/8
Rated Load Amps RLA(A):	23.2	Sound Pressure (H) (dBA):	57
Dimensions (HxWxD) (in):	52-15/16 x 35-7/16 x 12-5/8	Sound Power Level (dBA):	74
Net Weight (lb):	225		

Submittal Data Sheet
5 Ton VRV-IV S Heat Pump Unit
RXTQ60TAVJU

SYSTEM DETAILS

Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	7.9	Heating Operation Range (°F WB):	-4 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	98
Pre-charge Piping (Length) (ft):	25	Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	984	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):			

DIMENSIONAL DRAWING

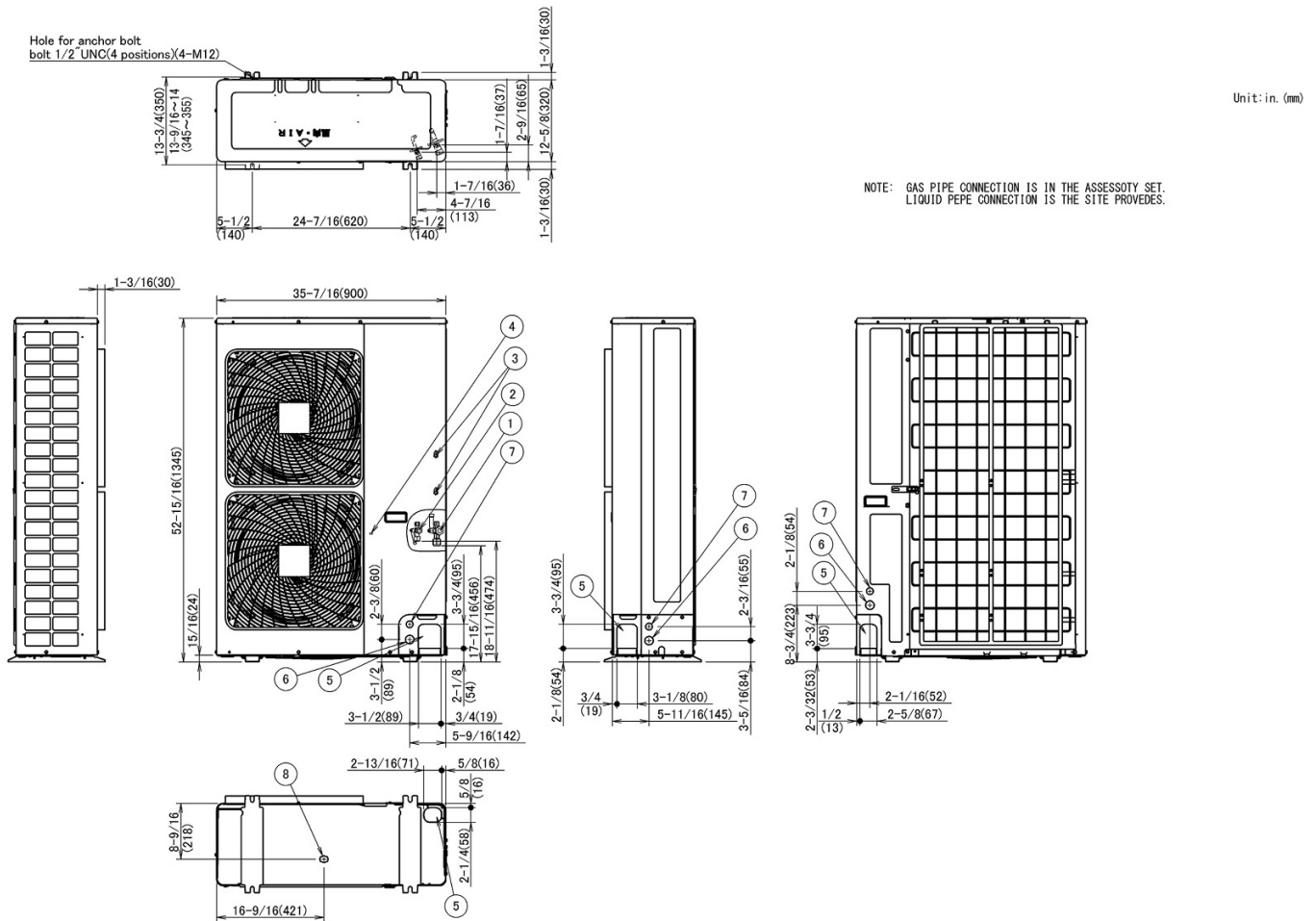


Table 7 – PHYSICAL DATA

(COOLING)

3 - 5 TONS

		48KC*A/B04	48KC*A/B05	48KC*A/B06
Refrigeration System				
	# Circuits / # Comp. / Type	1 / 1 / Scroll	1 / 1 / Scroll	1 / 1 / Scroll
	Puron® refrig. (R-410A) 1 phase (lbs-oz)	7-2	10-8	16-0
	Puron® refrig. (R-410A) 3 phase (lbs-oz)	7-2	10-8	14-8
	Humidi-MiZer Puron® refrig. charge (lbs - oz)	10-6	15-5	26-0
	Metering Device (A)	Acutrol	Acutrol	Acutrol
	Humidi-MiZer Metering Device (B)	Acutrol + TXV	Acutrol + TXV	Acutrol + TXV
	High-press. Trip / Reset (psig)	630 / 505	630 / 505	630 / 505
	Low-press. Trip / Reset (psig)	54 / 117	54 / 117	54 / 117
	Compressor Capacity Staging (%)	100%	100%	100%
Evap. Coil				
	Material (Tube/Fin)	Cu / Al	Cu / Al	Cu / Al
	Coil type	3/8-in RTPPF	3/8-in RTPPF	3/8-in RTPPF
	Rows / FPI	3 / 15	3 / 15	4 / 15
	Total Face Area (ft ²)	5.5	5.5	7.3
	Drain Conn. Size	3/4-in	3/4-in	3/4-in
	Material (Tube/Fin)	Cu / Al	Cu / Al	Cu / Al
	Coil type	3/8-in RTPPF	3/8-in RTPPF	3/8-in RTPPF
	Rows / FPI	1 / 17	2 / 17	2 / 17
	Total Face Area (ft ²)	3.9	3.9	5.2
Evap. fan and motor				
Standard Static 1 phase	Motor Qty / Drive Type	1 / Direct	1 / Direct	1 / Direct
	Max BHP	1	1	1
	RPM Range	600-1200	600-1200	600-1200
	Motor Frame Size	48	48	48
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	1 / Centrifugal
	Fan Diameter (in)	10 x 10	10 x 10	10 x 10
Medium Static 1 phase	Motor Qty / Drive Type	1 / Belt	1 / Belt	1 / Belt
	Max BHP	1.2	1.2	1.5
	RPM Range	770-1175	770-1175	1035-1466
	Motor Frame Size	48	48	56
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	1 / Centrifugal
	Fan Diameter (in)	10 x 10	10 x 10	10 x 10
High Static 1 phase	Motor Qty / Drive Type	1 / Belt	1 / Belt	N/A
	Max BHP	1.5	1.5	N/A
	RPM Range	1035-1466	1035-1466	N/A
	Motor Frame Size	56	56	N/A
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	N/A
	Fan Diameter (in)	10 x 10	10 x 10	N/A
Standard Static 3 phase	Motor Qty / Drive Type	1 / Direct	1 / Direct	1 / Direct
	Max BHP	1	1	1
	RPM Range	600-1200	600-1200	600-1200
	Motor Frame Size	48	48	48
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	1 / Centrifugal
	Fan Diameter (in)	10 x 10	10 x 10	11 x 10
Medium Static 3 phase	Motor Qty / Drive Type	1 / Belt	1 / Belt	1 / Belt
	Max BHP	1.7	1.7	2.9
	RPM Range	770-1175	920-1303	1035-1466
	Motor Frame Size	48	56	56
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	1 / Centrifugal
	Fan Diameter (in)	10 x 10	10 x 10	10 x 10
High Static 3 phase	Motor Qty / Drive Type	1 / Belt	1 / Belt	1 / Belt
	Max BHP	2.9	2.9	2.9
	RPM Range	1035-1466	1208-1639	1303-1687
	Motor Frame Size	56	56	56
	Fan Qty / Type	1 / Centrifugal	1 / Centrifugal	1 / Centrifugal
	Fan Diameter (in)	10 x 10	10 x 10	10 x 10
Cond. Coil 1 phase				
	Material (Tube/Fin)	Cu / Al	Cu / Al	Cu / Al
	Coil type	3/8-in RTPPF	3/8-in RTPPF	3/8-in RTPPF
	Rows / FPI	1 / 17	2 / 17	2 / 17
	Total Face Area (ft ²)	16.5	16.5	21.3
3 phase				
	Material (Tube/Fin)	Cu / Al	Cu / Al	Cu / Al
	Coil type	3/8-in RTPPF	3/8-in RTPPF	3/8-in RTPPF
	Rows..Fins/in.	1 / 17	2 / 17	2 / 17
	Total Face Area (ft ²)	16.5	14.6	18.8
Cond. fan / motor				
	Qty / Motor Drive Type	1 / Direct	1 / Direct	1 / Direct
	Motor HP / RPM	1/8 / 825	1/4 / 1100	1/4 / 1100
	Fan diameter (in)	22	22	22
Filters				
	RA Filter # / Size (in)	2 / 16 x 25 x 2	2 / 16 x 25 x 2	4 / 16 x 16 x 2
	OA inlet screen # / Size (in)	1 / 20 x 24 x 1	1 / 20 x 24 x 1	1 / 20 x 24 x 1

Existing Retail Package Unit To Remain (1)
This is the correct submittal for this unit.

48KC

N/A – Not Available

Table 9 – PHYSICAL DATA

(HEATING - THREE PHASE UNITS)

3 - 5 TONS

		48KC**04	48KC**05	48KC**06
Electrical		Three Phase	Three Phase	Three Phase
Gas Connection				
	# of Gas Valves	1	1	1
	Nat. gas supply line press (in. w.g.)/ (PSIG)	4 -13 / 0.18 - 0.47	4 -13 / 0.18 - 0.47	4 -13 / 0.18 - 0.47
	LP supply line press (in. w.g.) / (PSIG)	11 -13 / 0.40 - 0.47	11 -13 / 0.40 - 0.47	11 -13 / 0.40 - 0.47
Heat Anticipator setting (Amps)				
	1st stage	0.14	0.14	0.14
	2nd stage	0.14	0.14	0.14
Natural Gas Heat				
LOW	# of stages / # of burners (total)	1 / 2	1 / 2	1 / 2
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	25 - 55	25 - 55	20 - 55
MED	# of stages / # of burners (total)	1 or 2 / 3	1 / 3	1 / 3
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	55 - 85	35 - 65	30 - 65
HIGH	# of stages / # of burners (total)	-	1 or 2 / 3	1 or 2 / 3
	Connection Size	-	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	-	195 / 115	195 / 115
	Temperature Rise	-	50 - 80	40 - 80
Liquid Propane Heat				
LOW	# of stages / # of burners (total)	1 / 2	1 / 2	1 / 2
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	25 - 55	25 - 55	20 - 55
MED	# of stages / # of burners (total)	1 or 2 / 3	1 / 3	1 / 3
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	55 - 85	35 - 65	30 - 65
HIGH	# of stages / # of burners (total)	-	1 or 2 / 3	1 or 2 / 3
	Connection Size	-	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	-	195 / 115	195 / 115
	Temperature Rise	-	50 - 80	40 - 80
Low NOx Gas Heat				
LOW	# of stages / # of burners (total)	1 / 2	1 / 2	1 / 2
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	20 - 50	20 - 50	15 - 50
MED	# of stages / # of burners (total)	1 / 3	1 / 3	1 / 3
	Connection Size	1/2-in NPT	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	195 / 115	195 / 115	195 / 115
	Temperature Rise	30 - 60	30 - 60	25 - 60
HIGH	# of stages / # of burners (total)	-	1 / 3	1 / 3
	Connection Size	-	1/2-in NPT	1/2-in NPT
	Rollout switch opens / closes	-	195 / 115	195 / 115
	Temperature Rise	-	40 - 70	35 - 70

48KC

- Not applicable

NOTES:

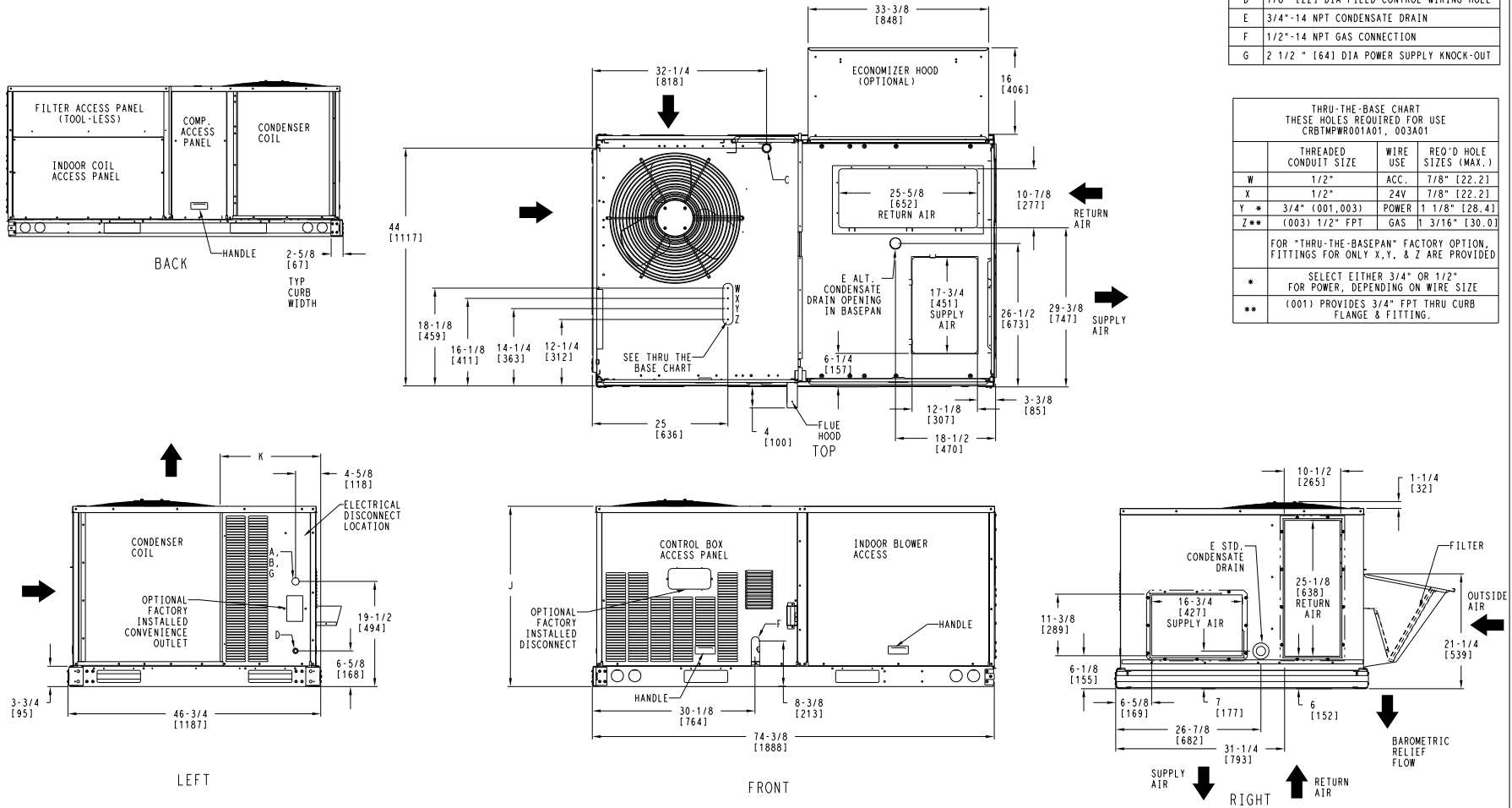
1. DIMENSIONS ARE IN INCHES. DIMENSIONS IN [] ARE IN MILLIMETERS.
2. CENTER OF GRAVITY
3. DIRECTION OF AIR FLOW

UNIT	J	K (1 PHASE)	K (3 PHASE)
48KC 04	33 3/8 [847]	14 7/8 [377]	14 7/8 [377]
48KC 05	33 3/8 [847]	14 7/8 [377]	14 7/8 [472]
48KC 06	41 3/8 [1051]	14 7/8 [377]	18 5/8 [472]

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CONNECTION SIZES	
A	1 3/8" [35] DIA FIELD POWER SUPPLY HOLE
B	2" [50] DIA POWER SUPPLY KNOCKOUT
C	1 3/4" [51] DIA GAUGE ACCESS PLUG
D	7/8" [22] DIA FIELD CONTROL WIRING HOLE
E	3/4"-14 NPT CONDENSATE DRAIN
F	1/2"-14 NPT GAS CONNECTION
G	2 1/2" [64] DIA POWER SUPPLY KNOCK-OUT

THRU-THE-BASE CHART THESE HOLES REQUIRED FOR USE CRBTMPW001A01, 003A01			
THREADED CONDUIT SIZE	WIRE USE	REQ'D HOLE SIZES (MAX.)	
1/2"	ACC.	7/8" [22.2]	W
1/2"	24V	7/8" [22.2]	X
3/4" [001.003]	POWER	1 1/8" [28.4]	Y
(003) 1/2" FPT	GAS	1 3/16" [30.0]	Z**
FOR "THRU-THE-BASEPAN" FACTORY OPTION, FITTINGS FOR ONLY X, Y, & Z ARE PROVIDED			
* SELECT EITHER 3/4" OR 1/2" FOR POWER, DEPENDING ON WIRE SIZE			
** (001) PROVIDES 3/4" FPT THRU CURB FLANGE & FITTING.			



SHEET	DATE	SUPERCEDES	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	REV
1 OF 2	09-16-14	-			-

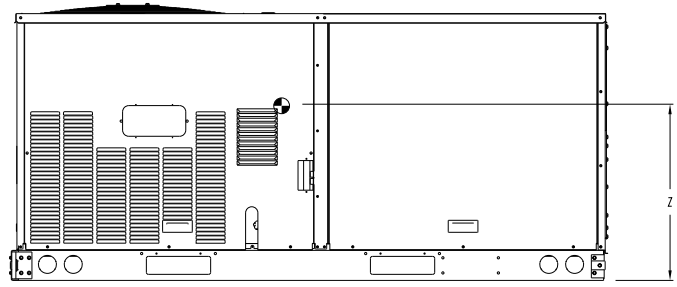
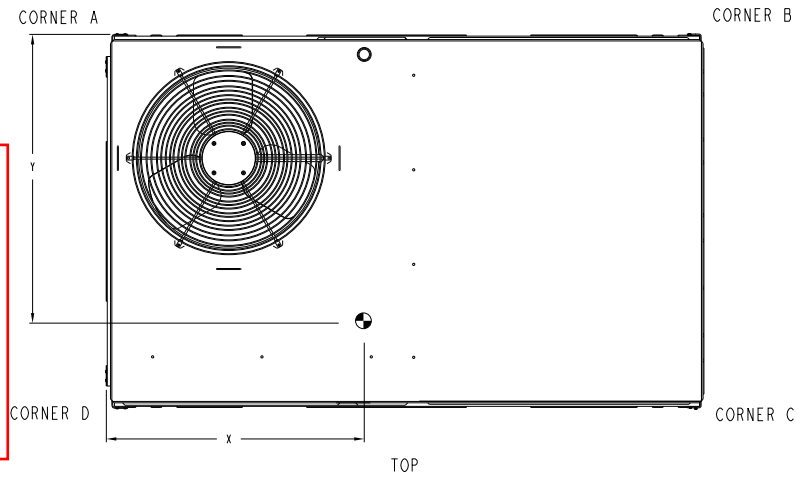
Fig. 1 - Dimensions 48KC 04-06 (sheet 1 of 2)


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UNIT	STD. UNIT WEIGHT	CORNER WEIGHT (A)		CORNER WEIGHT (B)		CORNER WEIGHT (C)		CORNER WEIGHT (D)		C.G.		HEIGHT	
48KC 04	490	222	120	54	111	50	125	56	135	61	35 3/4 [908]	24 3/4 [628]	18 7/8 [479]
48KC 06	207	270	141	64	156	70	158	71	142	64	39 1/8 [993]	23 1/2 [597]	20 1/8 [511]

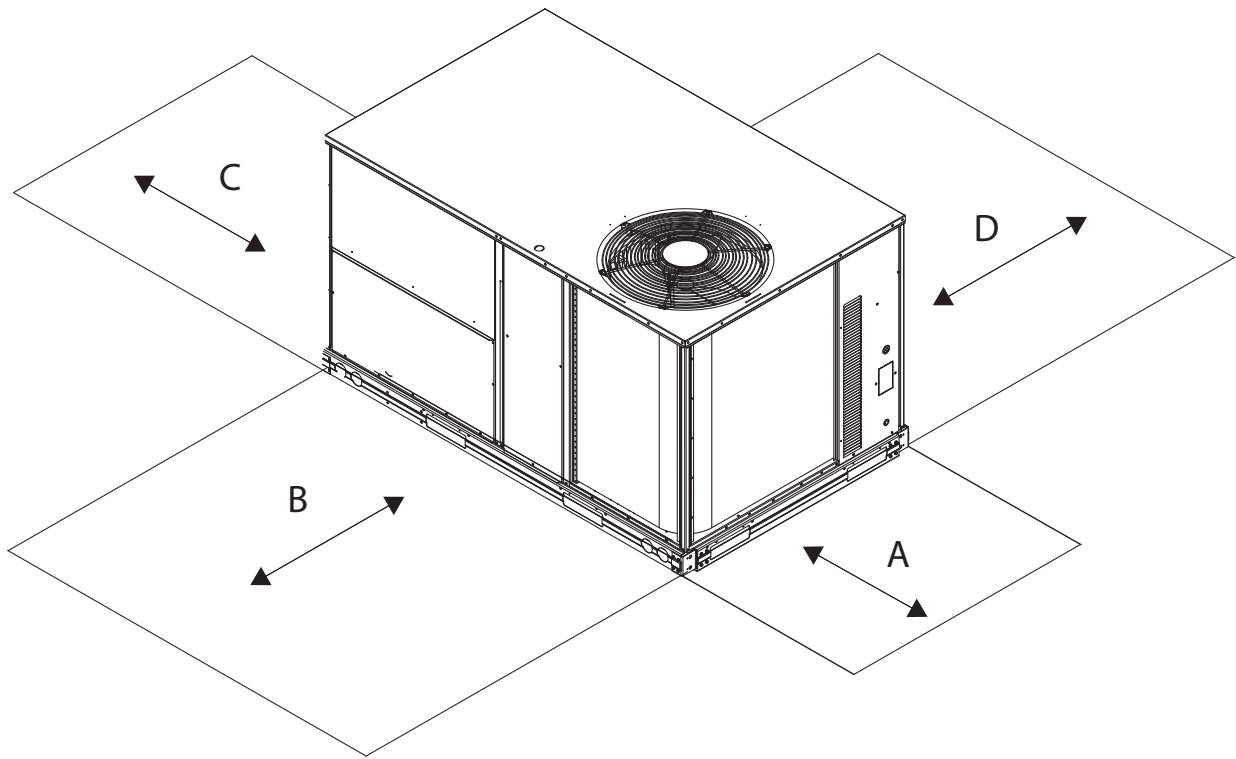
* STANDARD UNIT WEIGHT IS WITH LOW GAS HEAT AND WITHOUT PACKAGING. FOR OTHER OPTIONS AND ACCESSORIES, REFER TO THE PRODUCT DATA CATALOG.

Operating weight is this plus accessory weights from page 23 of this document. 490 +207=697lbs



SHEET 2 OF 2	DATE 09-16-14	SUPERCEDES -	48KC 04-06 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48KC000281	REV -
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Fig. 2 - Dimension 48KC 04-06 (sheet 2 of 2)



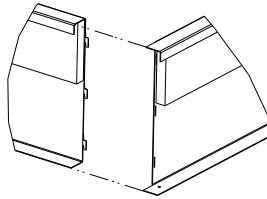
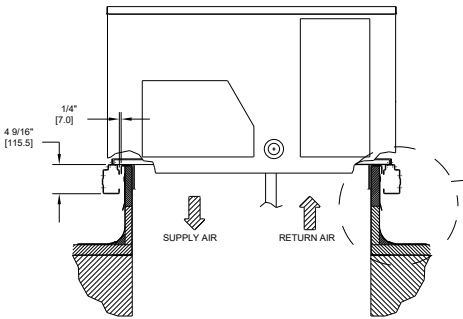
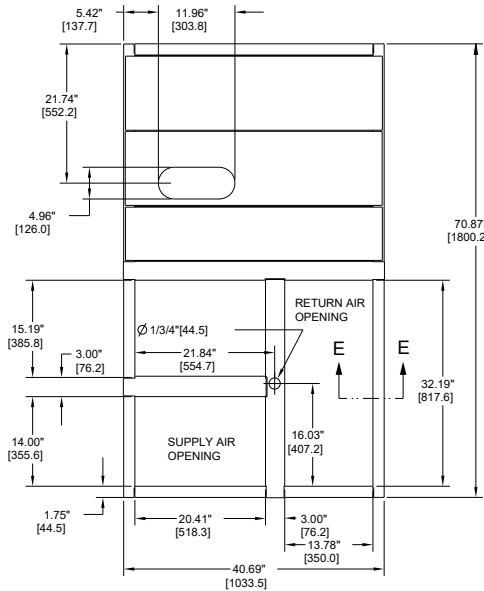
C08337

LOCATION	DIMENSION	CONDITION
A	48-in (1219 mm) 18-in (457 mm) 18-in (457 mm) 12-in (305 mm)	Unit disconnect is mounted on panel No disconnect, convenience outlet option Recommended service clearance Minimum clearance
B	42-in (1067 mm) 36-in (914 mm) Special	Surface behind servicer is grounded (e.g., metal, masonry wall) Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass) Check sources of flue products within 10-ft of unit fresh air intake hood
C	36-in (914 mm) 18-in (457 mm)	Side condensate drain is used Minimum clearance
D	48-in (1219 mm) 42-in (1067 mm) 36-in (914 mm) Special	No flue discharge accessory installed, surface is combustible material Surface behind servicer is grounded (e.g., metal, masonry wall, another unit) Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass) Check for adjacent units or building fresh air intakes within 10-ft (3 m) of this unit's flue outlet

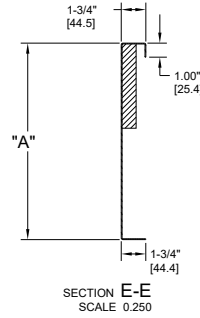
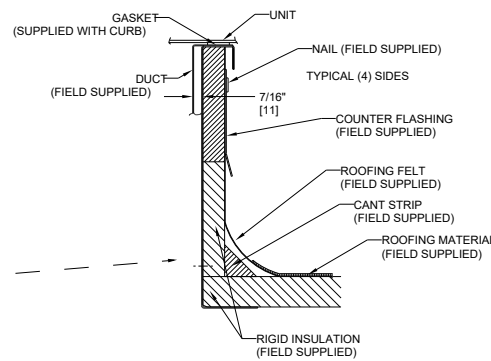
NOTE: Unit not designed to have overhead obstruction. Contact Application Engineering for guidance on any application planning overhead obstruction or for vertical clearances.

Fig. 3 - Service Clearance Dimensional Drawing

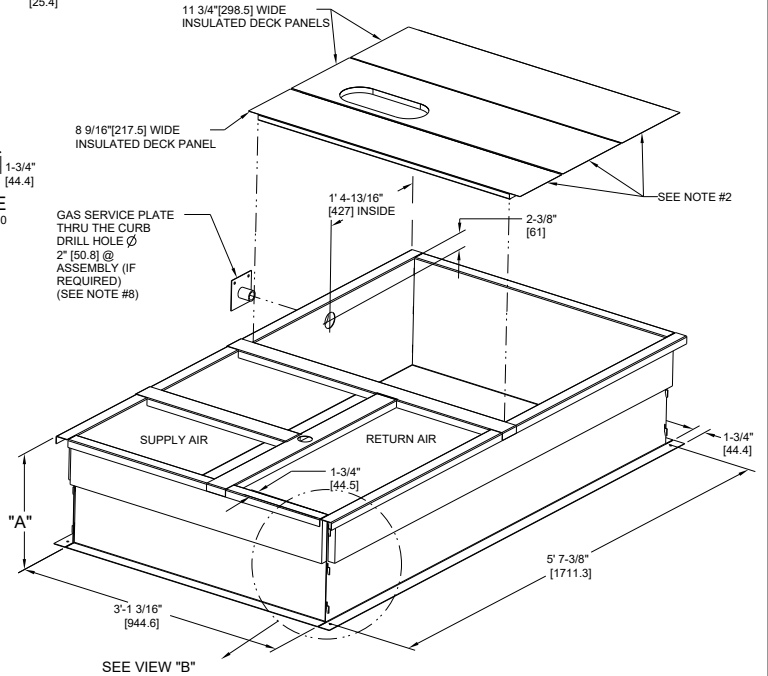
ROOF CURB ACCESSORY #	A	NOTES:	CONNECTOR PKG. ACC.	GAS CONNECTION TYPE	GAS FITTING	POWER WIRING FITTING	CONTROL WIRING FITTING	ACCESSORY CONVENIENCE OUTLET WIRING CONNECTOR
CRRFCURB001A01	14" [356]	1. ROOFCURB ACCESSORY IS SHIPPED DISASSEMBLED. 2. INSULATED PANELS: 25.4 [1"] THK. POLYURETHANE FOAM, 44.5 [1-3/4] # DENSITY. 3. DIMENSIONS IN [] ARE IN MILLIMETERS. 4. ROOFCURB: 18 GAGE STEEL. 5. ATTACH DUCTWORK TO CURB. (FLANGES OF DUCT REST ON CURB).	CRBTMPWR001A01	THRU THE CURB	3/4" [19] NPT	3/4" [19] NPT	1/2" [12.7] NPT	1/2" [12.7] NPT
CRRFCURB002A01	24" [610]	6. SERVICE CLEARANCE 4 FEET ON EACH SIDE. 7. DIRECTION OF AIR FLOW. 8. CONNECTOR PACKAGE CRBTMPWR001A01 IS FOR THRU-THE-CURB GAS TYPE PACKAGE CRBTMPWR003A01 IS FOR THRU-THE-BOTTOM TYPE GAS CONNECTIONS.	CRBTMPWR003A01	THRU THE BOTTOM	1/2" [12.7] NPT			



VIEW "B"
CORNER DETAIL



SECTION E-E
SCALE 0.250



SEE VIEW "B"
CERTIFIED DRAWING

A	OVERALL DIM. 5'-7 3/8" WAS 5'-7 7/8"; 18GA MATERIAL WA 16 GA.; NAIL FIELD SUPPLIED WAS WITH CURB	04/22/13	MMC	-	-	1067898
REV	REVISION RECORD	DATE	BY	CHK'D	APP'D	ECN NO.

DRAWING RELEASE LEVEL: PRODUCTION		UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES		TOLERANCES ON:		TITLE	
THIRD ANGLE PROJECTION		1 DEC	2 DEC	3 DEC	ANG	CURB ASY, ROOF	
MATERIAL		±	±	±	±	THIS DOCUMENT AND THE INFORMATION CONTAINED THEREIN IS PROPRIETARY TO CARRIER CORPORATION AND SHALL NOT BE USED OR DISCLOSED TO OTHERS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF CARRIER CORPORATION.	
ENGINEERING REQUIREMENTS		AUTHORIZATION NUMBER				SIZE	DRAWING NUMBER
T-005, Y-002		1041738				D	48TC400427
WEIGHT:		ENGINEERING	MANUFACTURING	CHECKER	REVISION	REV	(004-007)
SURFACE FINISH		MMC	06/17/11			B	
MODEL (INTERNAL USE ONLY)		NEXT DRAWING		SCALE	DISTRIBUTION		
				N/A	MMC		

Fig. 4 - Roof Curb Details - 48TC 04-06

OPTIONS & ACCESSORY WEIGHTS

OPTION / ACCESSORY	OPTION / ACCESSORY WEIGHTS					
	04		05		06	
	lb	kg	lb	kg	lb	kg
Humidi-MiZer ¹	50	23	50	23	55	25
Power Exhaust – vertical	45	20	45	20	45	20
Power Exhaust – horizontal	30	14	30	14	30	14
EconoMi\$er (IV, X or 2)	35	16	35	16	35	16
Two Position damper	39	18	39	18	39	18
Manual Dampers	12	5	12	5	12	5
Medium Gas Heat	12	5	9	4	9	4
High Gas Heat	–	–	17	8	17	8
Hail Guard (louvered)	13	6	13	6	17	8
Cu/Cu Condenser Coil ²	37	17	74	34	95	43
Cu/Cu Condenser and Evaporator Coils ²	75	34	112	51	165	75
Roof Curb (14-in. curb)	115	52	115	52	115	52
Roof Curb (24-in. curb)	197	89	197	89	197	89
CO ₂ sensor	2	1	2	1	2	1
Flue Discharge Deflector	7	3	7	3	7	3
Optional Indoor Motor/Drive	6	3	6	3	17	8
Motor Master Controller	9	4	9	4	9	4
Return Smoke Detector	7	3	7	3	7	3
Supply Smoke Detector	7	3	7	3	7	3
Non – Fused Disconnect	5	2	5	2	5	2
Powered Convenience outlet	36	16	36	16	36	16
Non – Powered Convenience outlet	4	2	4	2	4	2
Enthalpy Sensor	2	1	2	1	2	1
Differential Enthalpy Sensor	3	1	3	1	3	1

NOTE: Where multiple variations are available, the heaviest combination is listed.

– Not Available

¹ For Humidi-MiZer add MotorMaster Controller.

² Where available.

Table 40 – UNIT WIRE/FUSE OR HACR BREAKER SIZING DATA

UNIT	NOM. V-Ph-Hz	IFM TYPE	NO C.O. or UNPWR C.O.								w/ PWRD C.O.							
			NO P.E.				w/ P.E. (pwrd fr/ unit)				NO P.E.				w/ P.E. (pwrd fr/ unit)			
			MCA	MAX FUSE or HACR BRKR	DISC. SIZE		MCA	MAX FUSE or HACR BRKR	DISC. SIZE		MCA	MAX FUSE or HACR BRKR	DISC. SIZE		MCA	MAX FUSE or HACR BRKR	DISC. SIZE	
					FLA	LRA			FLA	LRA			FLA	LRA			FLA	LRA
48KC**04	208/230-1-60	DD-STD	30	45	29	88	32	45	31	90	-	-	-	-	-	-	-	-
		MED	27	40	26	93	29	45	28	95	-	-	-	-	-	-	-	-
		HIGH	29	45	28	118	31	45	30	120	-	-	-	-	-	-	-	-
	208/230-3-60	DD-STD	22	30	22	82	24	30	24	84	27	30	27	87	29	35	29	89
		MED	20/19	25/25	19/19	111	22/21	30/30	21/21	113	24/24	30/30	25/24	116	26/26	30/30	27/26	118
		HIGH	23/23	30/30	23/23	147	25/25	30/30	25/25	149	28/28	30/30	28/28	152	30/29	35/35	30/30	154
	460-3-60	DD-STD	12	15	12	43	13	15	13	44	14	20	14	45	15	20	16	46
		MED	11	15	10	57	12	15	11	58	13	15	13	59	14	15	14	60
		HIGH	12	15	12	75	13	15	13	76	15	20	15	77	16	20	16	78
	575-3-60	DD-STD	10	15	10	42	12	15	12	44	11	15	12	44	13	15	14	46
		MED	7	15	7	45	9	15	9	47	9	15	9	47	11	15	11	49
		HIGH	9	15	8	60	10	15	10	62	10	15	10	62	12	15	12	64
48KC**05	208/230-1-60	DD-STD	37	50	35	128	39	50	37	130	-	-	-	-	-	-	-	-
		MED	34	50	32	133	36	50	35	135	-	-	-	-	-	-	-	-
		HIGH	36	50	35	158	38	50	37	160	-	-	-	-	-	-	-	-
	208/230-3-60	DD-STD	26	30	26	94	28	40	28	96	31	40	32	99	33	45	34	101
		MED	24/24	30/30	23/23	123	26/26	30/30	26/25	125	29/29	40/40	29/29	128	31/31	40/40	31/31	130
		HIGH	27/27	40/40	27/27	159	29/29	40/40	29/29	161	32/32	45/45	33/33	164	34/34	45/45	35/35	166
	460-3-60	DD-STD	13	15	13	47	14	20	14	48	15	20	15	49	16	20	16	50
		MED	12	15	11	61	13	15	12	62	14	15	13	63	15	20	15	64
		HIGH	13	15	13	79	14	20	14	80	15	20	15	81	16	20	17	82
	575-3-60	DD-STD	11	15	11	39	13	15	13	41	13	15	13	41	15	20	15	43
		MED	9	15	8	42	11	15	10	44	10	15	10	44	12	15	12	46
		HIGH	10	15	9	57	12	15	12	59	12	15	11	59	13	15	14	61

See "Legend and Notes for Table 40 on page 42.

Model	Fig. ++	Compressor	Connections (ID)		Receiver 90% Full Lbs.	Fan(s)	Dimensions			Net. Wt. Lbs.	Sound Data dBA [†]
			Liquid	Suction			D (In.)	W (In.)	H (In.)		
BH*005X6	A	RST45C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/2	135	68
BH*008X6	A	RST64C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/2	135	68
BH*009X6	A	RST64C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/2	144	68
BH*010X6	A	RST70C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	138	68
BH*015X6	B	CS10K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	193	71
BH*020X6	B	CS12K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	203	73
BH*025X6	B	CS14K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	208	74
BH*030X6	D	CS18K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	290	73
BH*032X6	D	CS20K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	275	76
BH*011L6	A	CF04K6E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	139	73
BH*014L6	A	CF06K6E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	170	73
BH*019L6	B	CF06K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	200	69
BH*025L6	B	CF09K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	222	76
BH*031L6	C	CF12K6E	1/2	7/8	14.0	2	28-1/4	37-3/4	19-3/4	223	77
BH*005H6	A	RST45C1E	3/8	1/2	5.5	1	28-1/4	23-3/4	17-1/4	135	68
BH*009H6	A	RST64C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	144	68
BH*010H6	A	RST70C1E	3/8	5/8	5.5	1	28-1/4	23-3/4	17-1/4	138	68
BH*015H6	B	CS10K6E	3/8	5/8	9.0	2	28-1/4	37-3/4	17-1/4	193	71
BH*025H6	B	CS14K6E	3/8	7/8	9.0	2	28-1/4	37-3/4	17-1/4	208	74
BH*032H6	D	CS20K6E	1/2	7/8	20.0	1	30-1/4	42-1/2	29-3/4	275	76

NOTES:

* = T for Outdoor, N for Indoor, S for IntelliGen™/Beacon II™

++ = See Dimensional Drawings for details

† = Estimated sound pressure values are 10 feet from the unit. For estimating sound pressure from the unit at different distances, deduct the following from the unit values: 20 feet, deduct 6 dBA; for 40 feet, deduct 12 dBA; for 80 feet, deduct 18 dBA. This data is typical of "free field" conditions for horizontal air cooled condensing units at the outlet of the discharge air. The actual sound measurements may vary depending on the condensing unit installation. Factors such as reflecting walls, background noise and mounting conditions may have a significant influence on this data.

AWEF Values: Medium/High Temperature Condensing Units - Cooler Application

Model	INDOOR				OUTDOOR / IntelliGen™/BEACON II™			
	R-404A/ R-507A	R-407A/F	R-407C	R-448A/ R-449A	R-404A/ R-507A	R-407A/F	R-407C	R-448A/ R-449A
BH*005X6	4.86	-	4.95	4.87	6.50	-	6.12	6.42
BH*008X6	5.02	-	4.97	4.94	7.83	-	6.35	7.59
BH*009X6	4.57	-	4.90	4.54	5.97	-	6.62	6.14
BH*010X6	5.36	-	4.83	4.93	7.55	-	6.94	6.82
BH*015X6	5.60	-	-	-	8.30	-	-	-
BH*020X6	5.59	-	-	-	8.41	-	-	-
BH*025X6	5.37	-	-	-	8.18	-	-	-
BH*030X6	6.20	-	-	-	9.01	-	-	-
BH*032X6	6.11	-	-	-	8.90	-	-	-
BH*005H6	4.86	-	-	-	6.50	-	-	-
BH*009H6	4.57	-	-	-	5.97	-	-	-
BH*010H6	5.36	-	-	-	7.55	-	-	-
BH*015H6	5.60	-	-	-	8.30	-	-	-
BH*025H6	5.37	-	-	-	8.18	-	-	-
BH*032H6	6.11	-	-	-	8.90	-	-	-

These refrigeration systems are designed and certified for use in walk-in cooler applications.

NOTES:

- = Compressor is not rated for this refrigerant

* = T for Outdoor, N for Indoor, S for IntelliGen™/Beacon II™

ELECTRICAL DATA: HERMETIC COMPRESSOR MODELS

Model Number	Part Number	Power Supply			Compressor		Fan Motor			MCA		MOPD		Evap. Fan Amps	Defrost Heater Amps
		Volts	Ph	Hz [†]	RLA	LRA	Qty.	HP	FLA	Air/ IntelliGen™ Beacon II™	Elec.	Air/ IntelliGen™ Beacon II™	Elec.		
BH*005X6B	RST45C1E-CAV	208-230	1	60	4.6	26.5	1	1/15	0.5	15.0	20.0	15	20	8.0	15
BH*008X6B	RST55C1E-CAV	208-230	1	60	6.1	33.7	1	1/15	0.5	15.0	20.0	15	20	8.0	15
BH*009X6B	RST64C1E-CAV	208-230	1	60	8.0	43.0	1	1/15	0.5	15.0	20.0	15	20	6.0	15
BH*010X6B	RST70C1E-PFV	208-230	1	60	6.3	34.2	1	1/15	0.5	15.0	20.0	15	20	7.0	15
BH*010X6C	RST70C1E-TFC	208-230	3	60	4.2	31.0	1	1/15	0.5	15.0	20.0	15	20	8.6	15
BH*015X6B	CS10K6E-PFV	208-230	1	60	9.8	56.0	2	1/15	1.0	15.0	24.0	20	25	6.0	19
BH*015X6C	CS10K6E-TF5	208-230	3	60	6.7	51.0	2	1/15	1.0	15.0	20.0	15	20	7.0	15
BH*020X6B	CS12K6E-PFV	208-230	1	60	9.8	56.0	2	1/15	1.0	15.0	24.0	20	25	6.0	19
BH*020X6C	CS12K6E-TF5	208-230	3	60	6.7	51.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19
BH*025X6B	CS14K6E-PFV	208-230	1	60	11.2	61.0	2	1/15	1.0	15.0	29.0	25	30	6.0	23
BH*025X6C	CS14K6E-TF5	208-230	3	60	8.2	55.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19
BH*025X6D	CS14K6E-TFD	460	3	60	4.2	28.0	2	1/15	1.0	15.0	15.0	15	15	^	^
BH*030X6B	CS18K6E-PFV	208-230	1	60	14.4	82.0	1	1/3	3.5	21.0	38.0	35	45	12.0	30
BH*030X6C	CS18K6E-TF5	208-230	3	60	9.4	65.5	1	1/3	3.5	15.0	29.0	20	30	7.0	23
BH*030X6D	CS18K6E-TFD	460	3	60	3.9	33.0	1	1/3	1.9	15.0	15.0	15	15	^	^
BH*032X6B	CS20K6E-PFV	208-230	1	60	16.7	96.0	1	1/3	3.5	24.0	38.0	40	50	12.0	30
BH*032X6C	CS20K6E-TF5	208-230	3	60	10.3	75.0	1	1/3	3.5	20.0	29.0	25	30	7.0	23
BH*032X6D	CS20K6E-TFD	460	3	60	4.6	40.0	1	1/3	1.9	15.0	15.0	15	15	^	^
BH*011L6B	CF04K6E-PFV	208-230	1	60	8.6	59.2	1	1/15	0.5	15.0	20.0	15	25	7.0	15
BH*011L6C	CF04K6E-TF5	200-230	3	60	3.9	52.0	1	1/15	0.5	15.0	20.0	15	20	8.0	15
BH*014L6B	CF06K6E-PFV	208-230	1	60	10.3	59.2	1	1/15	0.5	15.0	20.0	20	25	4.0	15
BH*014L6C	CF06K6E-TF5	200-230	3	60	6.3	52.0	1	1/15	0.5	15.0	24.0	15	25	9.0	19
BH*019L6B	CF06K6E-PFV	208-230	1	60	10.3	59.2	2	1/15	1.0	15.0	24.0	20	30	6.0	19
BH*019L6C	CF06K6E-TF5	208-230	3	60	6.3	52.0	2	1/15	1.0	15.0	24.0	15	25	9.0	19
BH*025L6B	CF09K6E-PFV	208-230	1	60	15.0	87.0	2	1/15	1.0	20.0	29.0	30	40	6.0	23
BH*025L6C	CF09K6E-TF5	200-230	3	60	9.2	72.2	2	1/15	1.0	15.0	21.0	20	25	7.0	15
BH*031L6B	CF12K6E-PFV	208-230	1	60	17.0	105.0	2	1/15	1.0	22.3	37.5	35	50	12.0	30
BH*031L6C	CF12K6E-TF5	200-230	3	60	10.7	85.0	2	1/15	1.0	15.0	28.8	25	30	7.0	23
BH*031L6D	CF12K6E-TFD	460	3	60	5.3	42.0	2	1/15	1.0	15.0	15.0	15	15	^	^
BH*005H6B	RST45C1E-CAV	208-230	1	60	4.5	26.5	1	1/15	0.5	15.0	-	15	-	-	-
BH*009H6B	RST64C1E-CAV	208-230	1	60	7.6	43.0	1	1/15	0.5	15.0	-	15	-	-	-
BH*010H6B	RST70C1E-PFV	208-230	1	60	6.9	34.2	1	1/15	0.5	15.0	-	15	-	-	-
BH*010H6C	RST70C1E-TFC	208-230	3	60	4.7	31.0	1	1/15	0.5	15.0	-	15	-	-	-
BH*015H6B	CS10K6E-PFV	208-230	1	60	11.1	56.0	2	1/15	1.0	15.0	-	25	-	-	-
BH*015H6C	CS10K6E-TF5	208-230	3	60	7.2	51.0	2	1/15	1.0	15.0	-	15	-	-	-
BH*025H6B	CS14K6E-PFV	208-230	1	60	12.4	61.0	2	1/15	1.0	20.0	-	25	-	-	-
BH*025H6C	CS14K6E-TF5	208-230	3	60	8.5	55.0	2	1/15	1.0	15.0	-	20	-	-	-
BH*032H6B	CS20K6E-PFV	208-230	1	60	17.9	96.0	1	1/3	3.5	25.9	-	40	-	-	-
BH*032H6C	CS20K6E-TF5	208-230	3	60	13.3	75.0	1	1/3	3.5	20.2	-	30	-	-	-

NOTES:

* = T for Outdoor, N for Indoor, S for IntelliGen™/Beacon II™

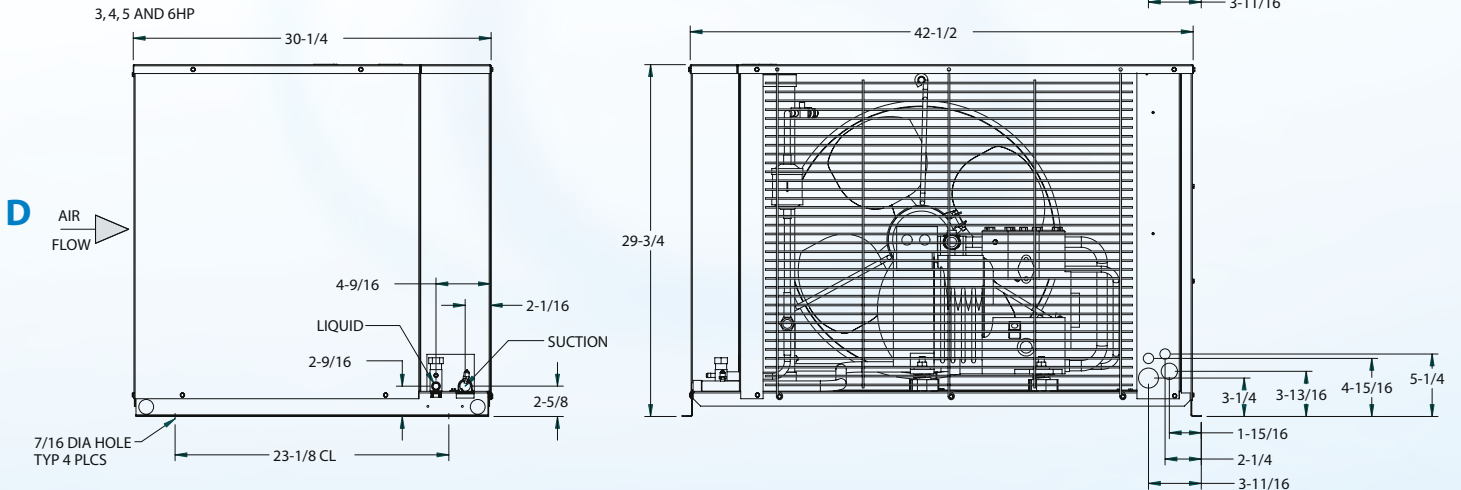
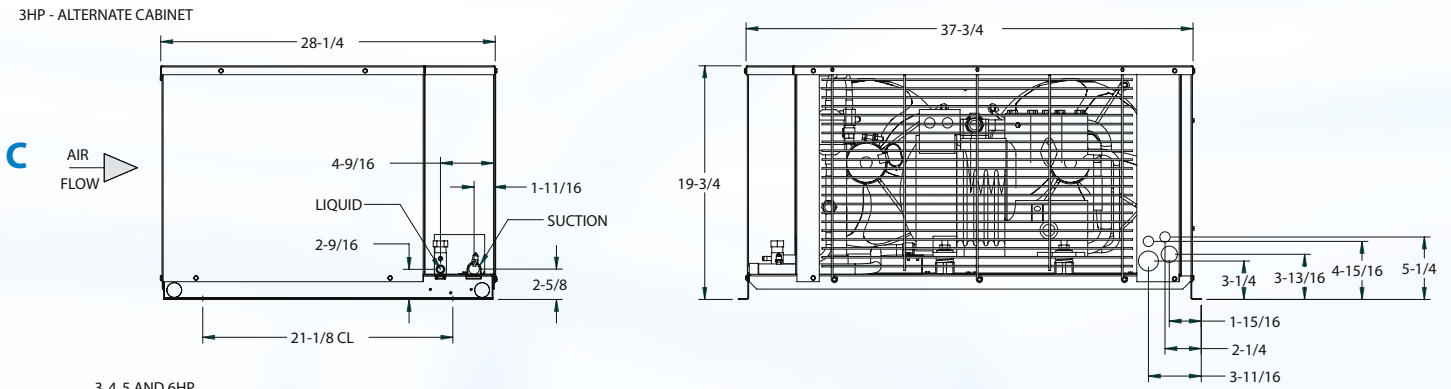
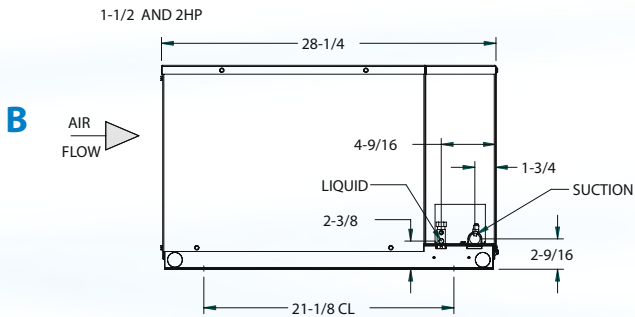
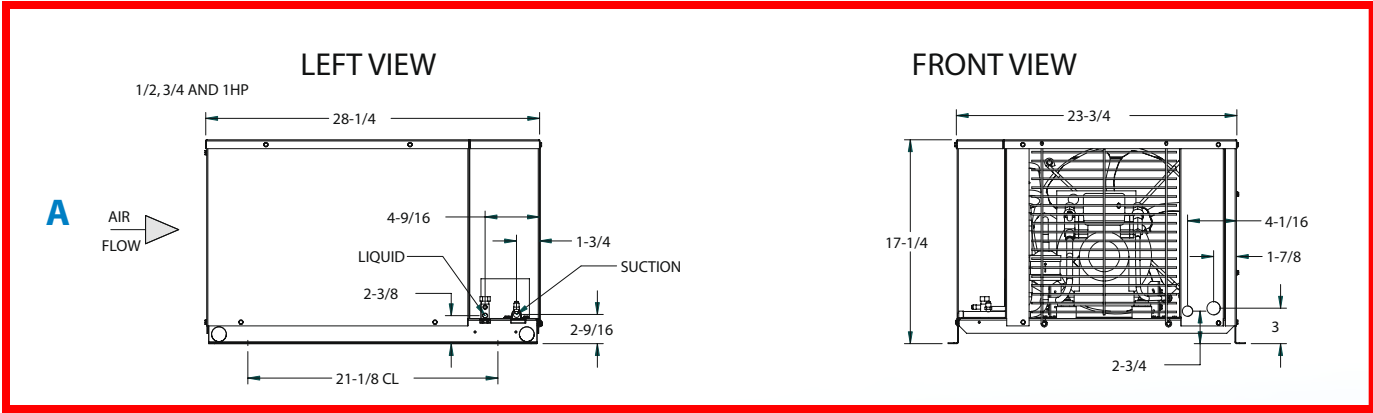
^ Power supplied by customer.

† Consult factory for 50 HZ applications.

Per UL and NEC, RLA values have been calculated by dividing the Maximum Continuous Current (MCC) by 1.56.

Dimensional Drawings

OUTDOOR



Submittal Data Sheet

8-Ton VRV-IV Heat Pump Unit - 230V

RXYQ96TTJU

FEATURES

- Variable Refrigerant Temperature (VRT) control allows the VRV IV to deliver up to 28% of improvement in seasonal cooling efficiency compared to previous Daikin VRV heat pump systems
- Same product structure for 230V and 460V simplifies ordering
- The rated seasonal cooling efficiency has been improved by an average of 11% compared to VRV III
- Improved efficiency with IEER values now up to 28
- Larger capacity single modules ranging up to 14 tons and systems up to 34 tons allow for a more flexible system design
- New configurator software designed to simplify the commissioning and maintenance of the system
- Larger capacity single modules allow for opportunity to reduce electrical connections, piping connections and outdoor unit mounting fixtures
- System wide auto-climate adjustment technology to increase the energy efficiency
- All inverter compressors to increase the efficiency and avoid starting current inrush
- Assembled in the US to increase flexibility and reduce lead times
- Standard Limited Warranty: 10-year warranty on compressor and all parts

BENEFITS

- 3 row 7mm heat exchanger coil improves efficiency
- Inverter control board cooled by refrigerant to avoid influence from ambient temperatures
- Heat exchanger coil wraps around on all 4 sides of the unit to increase the surface area / efficiency
- Designed with reduced MOP to optimize installation cost
- Digital display on the unit for improved and faster configuration, commissioning, and trouble shooting.





Submittal Data Sheet

8-Ton VRV-IV Heat Pump Unit - 230V

RXYQ96TTJU

PERFORMANCE

Outdoor Unit Model No.	RXYQ96TTJU	Outdoor Unit Name:	8-Ton VRV-IV Heat Pump Unit - 230V
Type:	Heat Pump	Unit Combination:	
Rated Cooling Conditions:	Indoor (°F DB/WB): 80 / 67 Ambient (°F DB/WB): 95 / 75	Rated Heating Conditions:	Indoor (°F DB/WB): 70 / 70 Ambient (°F DB/WB): 47 / 43
Rated Piping Length(ft):			
Rated Height Difference (ft):	0.00		
Rated Cooling Capacity (Btu/hr):	92,000	Rated Heating Capacity (Btu/hr):	103,000
Nom Cooling Capacity (Btu/hr):		Nom Heating Capacity (Btu/hr):	
Cooling Input Power (kW):	6.34	Heating Input Power (kW):	6.62
EER (Non-Ducted/Ducted):	15.10 / 13.00	Heating COP (Non-Ducted/Ducted):	4.6 / 4.0
IEER (Non-Ducted/Ducted):	28.00 / 22.70	Heating COP 17F (Non-Ducted/Ducted):	2.9 / 2.6

OUTDOOR UNIT DETAILS

Power Supply (V/Hz/Ph):	208-230 / 60 / 3	Compressor Type	Inverter
Power Supply Connections:	L1, L2, L3 Ground	Capacity Control Range (%):	20 - 100
Min. Circuit Amps MCA (A):	36.3	Capacity Index Limit:	48.0 - 125.0
Max Overcurrent Protection (MOP) (A):	45.00	Airflow Rate (H) (CFM):	5,827
Max Starting Current MSC(A):		Gas Pipe Connection (inch):	7/8
Rated Load Amps RLA(A):	23.8	Liquid Pipe Connection (inch):	3/8
Dimensions (Height) (in):	66-11/16	H/L Pressure Connection (inch)	
Dimensions (Width) (in):	48-7/8	H/L Equalizing Connection (inch)	
Dimensions (Depth) (in):	30-3/16	Sound Pressure (H) (dBA):	61
Net Weight (lb):	525	Sound Power Level (dBA):	
		Max. No. of Indoor Units:	16

Submittal Data Sheet

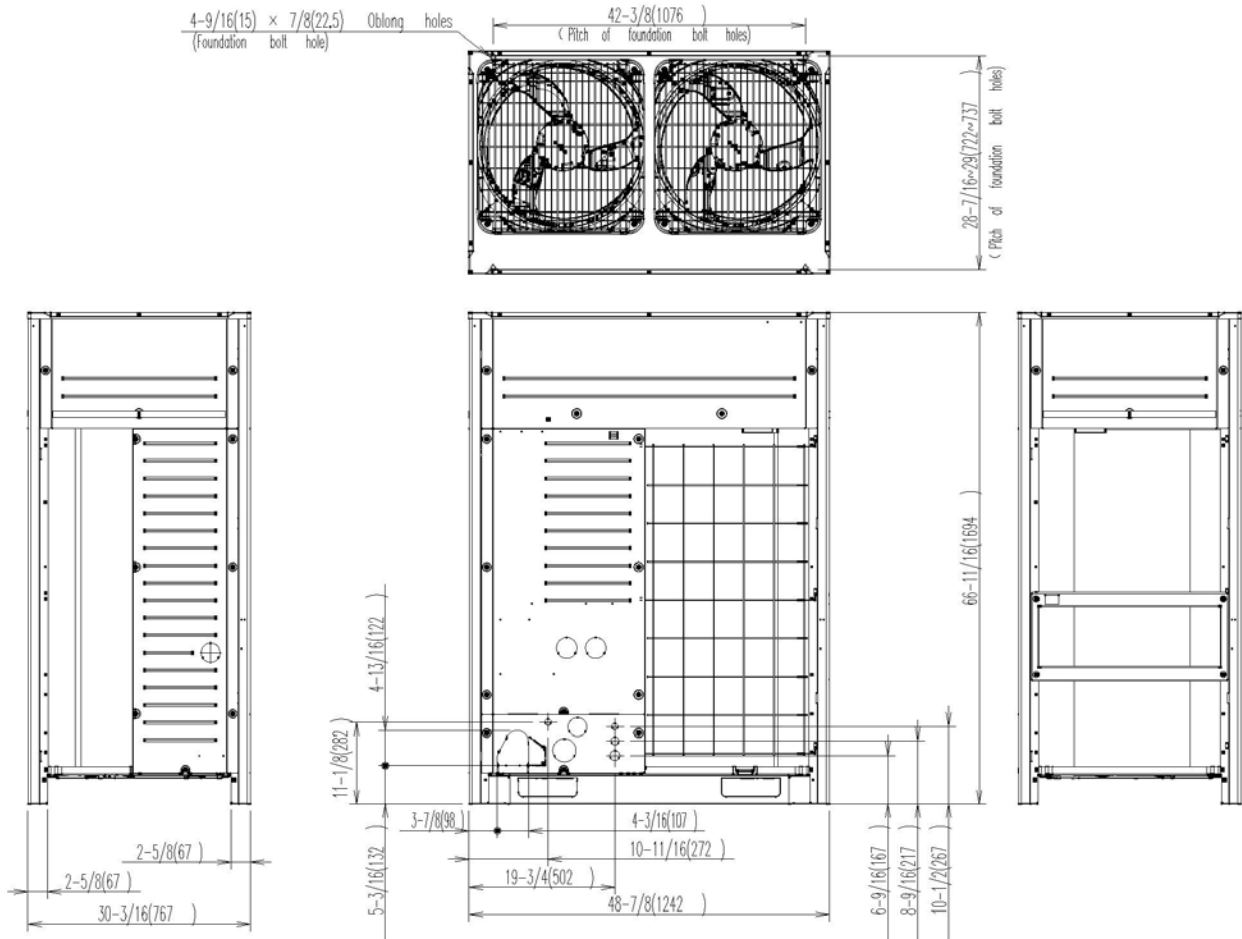
8-Ton VRV-IV Heat Pump Unit - 230V

RXYQ96TTJU

SYSTEM DETAILS

Refrigerant Type:	R-410A	Cooling Operation Range (°F DB):	23 - 122
Holding Refrigerant Charge (lbs):	22.7	Heating Operation Range (°F WB):	-4 - 60
Additional Charge (lb/ft):		Max. Pipe Length (Vertical) (ft):	295
Pre-charge Piping (Length) (ft):		Cooling Range w/Baffle (°F DB):	-
Max. Pipe Length (Total) (ft):	540	Heating Range w/Baffle (°F WB):	-
Max Height Separation (Ind to Ind ft):	0		

DIMENSIONAL DRAWING



Chiller to be provided by Nether
for production.

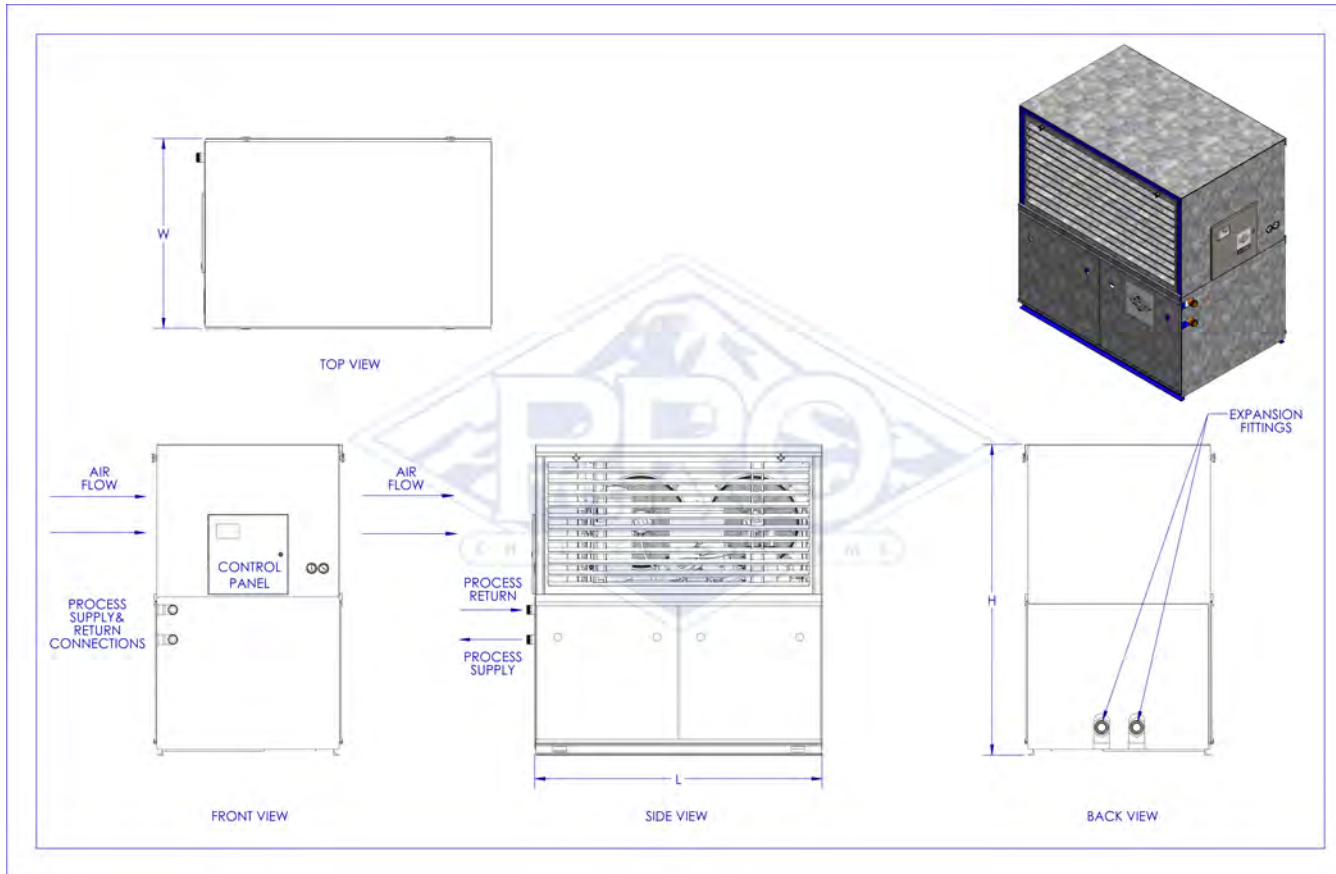
MA Series Single 13.5 HP

Pro Chiller Model: PM112F3R4100-A- V*



Voltages				Chiller Specifications		
	120/1/60	230/1/60	230/3/60	460/3/60	Chiller Package includes the following:	
MCA	N/A	N/A	75	41	Condensing Unit	Danfoss Maneurop and Emerson reciprocating and scroll compressors.
MOP	N/A	N/A	120	67	Evaporator	Spiral Drum Evaporator or brazed plate evaporator.
System Data				Glycol Pump	Dual stainless steel centrifugal pump configuration with dedicated process and internal circulation pump.	
Dimensions	72"L x 46"W x 78"H	Controls	Electronic	Storage Tank	High Density Polyethylene Insulated Storage Tank.	
Frame	Coated Steel	Electrical Enclosure	NEMA 4	Control Panel	ETL/UL 508A rating with on/off switches, indicators lights, motor starters, non fused main electrical disconnect.	
Housing	Galv Sheet Metal	Shipping Weight	1900 LBS	Factory Tested	Each system factory charged with refrigerant and tested under load at design operating temperatures.	
Tank	100 Gal	Operating Weight	2800 LBS	Enclosure	Coated welded structural steel frame with removable service panels.	
Compressor	13.5 HP	DB @ 1M	86	Control System	Electronic temperature control with digital temperature display.	
Condenser	Air Cooled	Refrigerant	R404A	Warranty	Warranty - From date of shipment: 24 Months defective parts and 12 months labor	
Circulation Pump	1 HP	BTUH @ 20 °F, 90 °F Ambient	N/A			
Process Pump	1.5 HP	BTUH @ 25 °F, 90 °F Ambient	97896			
Glycol Connection Size	2 IN	BTUH @ 30 °F, 90 °F Ambient	108763			
HX	Spiral Drum	BTUH @ 35 °F, 90 °F Ambient	120337			

System Data			
		Expansion Fittings	2 ea 2 IN





The City of Seattle

Pike Place Market Historical Commission

Mailing Address: PO Box 94649, Seattle WA 98124-4649
Street Address: 600 4th Avenue, 4th Floor

CERTIFICATE OF APPROVAL FOR USE

Date: July 22, 2022

MHC 80/22

Applicant: Kurt Dammeier

Property Owner: Scott Brazinski, Sugar Mountain Capital

Business: Beecher's Handmade Cheese

Address: 1606 Pike Pl Seattle, WA 98101

Building: Seattle Garden Center

At its meeting of July 13, 2022 the Pike Place Market Historical Commission approved the following:

Expand existing Beecher's Handmade Cheese business space (1600 Pike Pl) into adjacent business space (1606 Pike Pl) according to attached plans.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Lisa Martin, Commission Chairperson

By:

Minh Chau Le, Commission Coordinator
Pike Place Market Historical Commission



The City of Seattle

Pike Place Market Historical Commission

Mailing Address: PO Box 94649, Seattle WA 98124-4649

Street Address: 600 4th Avenue, 4th Floor

CERTIFICATE OF APPROVAL FOR PRELIMINARY DESIGN

Date: October 4, 2022

MHC 106/22

Applicant: James Cary, Cardinal Architecture

Property Owner: Kurt Dammeier

Business: Beecher's Handmade Cheese

Address: 1600 Pike Pl Seattle, WA 98101

Building: Seattle Garden Center Building

At its meeting of September 28, 2022 the Pike Place Market Historical Commission approved the following:

Relocate dining and retail areas within business space, renovate north, west, and south business storefronts; all work according to attached plans.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Lisa Martin, Commission Chairperson

By:

Minh Chau Le, Commission Coordinator
Pike Place Market Historical Commission

Administered by the Historic Preservation Program Seattle Department of Neighborhoods

"Printed on Recycled Paper"

The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.

Work must occur exactly according to approved plans and specifications. Any changes other than those specified above will require the review and approval of the Commission prior to implementation. Any work done in non-compliance with this permit will be reported directly to the Compliance Division of the Seattle Department of Construction and Inspection. The Certificate is issued with the understanding that the applicant will obtain all other permits and approvals that may be required.