



Eng Family Homestead Renovation

611 8TH AVE SOUTH, SEATTLE WA 98104

BUILDING PERMIT# 6950431-CN ISRD RECORD #: DONH-COA-01135

2/1/2024 ISRD CERTIFICATE OF APPROVAL APPLICATION DRAWING SET

2/23/2024 CORRECTED SET

SHEET INDEX

SURVEY

A0.00 GENERAL INFORMATION

LANDSCAPE

LANDSCAPE PLAN L1.10 L2.10 PLANTING PLAN

ARCHITECTURAL

WINDOW & DOOR SCHEDULE, ASSEMBLIES A0.10 A1.00 SITE PLAN & PROJECT INFO

DEMO PLAN AD2.00

BASEMENT & GARAGE PLAN A2.00

A2.10 MAIN LEVEL PLAN

ROOF PLAN A2.20

A3.00 EXTERIOR ELEVATIONS - SOUTH AND EAST

A3.01 EXTERIOR ELEVATIONS - NORTH AND WEST

A3.10 BUILDING SECTIONS

VERTICAL CIRCULATION A7.00 **EXTERIOR DETAILS** A8.00

STRUCTURAL

S1.00 GENERAL STRUCTURAL NOTES

S2.00 FOUNDATION PLAN

S2.01 LOWER ROOF / FLOOR FRAMING S2.02 UPPER ROOF FRAMING PLAN S3.00 TYPICAL CONCRETE DETAILS

TYPICAL FRAMING DETAILS

S3.02 STRUCTURAL FRAMING DETAILS

ELECTRICAL

S3.01

LEGEND E1.00

E2.00 BASEMENT & GARAGE PLAN - ELECTRICAL

E2.10 MAIN LEVEL PLAN - ELECTRICAL

ELECTRICAL FIXTURES

PROJECT DIRECTORY

<u>OWNER</u>

WING LUKE MUSEUM OF THE ASIAN PACIFIC AMERICAN EXPERIENCE PO BOX 3025, SEATTLE, WA 98114

CONTACT: CASSIE CHINN DEPUTY EXECUTIVE DIRECTOR 206.623.5124 X131

CCHINN@WINGLUKE.ORG

ARCHITECT

SKL ARCHITECTS 1501 E MADISON, SUITE 205

SEATTLE, WA 98122 T: (206) 322-1130

PRINCIPAL ARCHITECT: JOHN KENNEDY

JOHN@SKLARCHITECTS.COM CONTACT: NICOLE LEW NICOLE@SKLARCHITECTS.COM

STRUCTURAL ENGINEER ROICH STRUCTURAL PLLC

P.O. BOX 28809 SEATTLE, WA 98118 T: (206) 745-2967

CONTACT: ROI CHANG ROI@ROICHSTRUCTURAL.COM

TFWB ENGINEERS INC. 1200 WESTLAKE AVE N, #509 SEATTLE, WA 98109

PRINCIPAL: MIKE FITZMAURICE MIKE@TF-WB.COM

4238 4TH AVE NE SEATTLE, WA 98105

MARK TILBE MTILBE@MURASE.COM DEBBIE RAMOS

DRAMOS@MURASE.COM

HISTORIC STRUCTURES

PLANNING 122 NW 58TH STREET

SEATTLE, WA 98107-2027 PRINCIPAL: SUSAN D. BOYLE

SKLARCHITECTS.COM

SUNDBERG

KENNEDY

LY-AU YOUNG

ARCHITECTS

1501 E MADISON ST

SEATTLE, WA 98122

SUITE 205

ELECTRICAL ENGINEER

T: (206) 285-7228

CONTACT: PAUL MCINTOSH PAUL@TF-WB.COM

LANDSCAPE ARCHITECT MURASE ASSOCIATES

SCOTT MURASE SMURASE@MURASE.COM

206.322.1130

BOLA ARCHITECTURE +

(206) 383-2649

SBOYLE@BOLARCH.COM

@ <u>[</u>	AT CENTERLINE	HB HC	HOSE BIBB HOLLOW CORE
P. D	PROPERTY LINE DIAMETER	HDO HDR	HIGH DENSITY OVERLAY HEADER
# E)	POUND OR NUMBER EXISISTING	HDWD HDW	HARDWOOD HARDWARE
N)	NEW	HM HORIZ	HOLLOW METAL HORIZONTAL HIGH POINT
AB ABV ACC	ANCHOR BOLT ABOVE ACCESS	HP HR HT	HIGH POINT HOUR HEIGHT
ACOUS ACP	ACOUSTICAL ASPHALT CONCRETE PAVING	HVAC	HEATING/VENTILATING/AIR CONDITIONING
ACS ACT	ACCESS PANEL ACOUSTICAL TILE	HW HWT	HOT WATER HOT WATER TANK
AD ADA	AREA DRAIN AMERICANS with DISABILITIES ACT	ID	INSIDE DIAMETER
ADJ AFF	ADJUSTABLE ABOVE FINISHED FLOOR	IN INCL	INCH INCLUDED
AGGR AIB	AGGREGATE AIR INFILTRATION BARRIER	INSUL INT	INSULATION INTERIOR
ALT ALUM APPROX	ALTERNATE ALUMINUM APPROXIMATE	INV JB	INVERT JUNCTION BOX
ARCH ASPH	ARCHITECTURAL ASPHALT	JF JT	JOINT FILLER JOINT
AUTO	AUTOMATIC	KIT	KITCHEN
BITUM	BOARD BITUMINOUS	KO	KNOCKOUT
BLDG BLKG BM	BUILDING BLOCKING BEAM	LAM LAV LBS	LAMINATE, LAMINATED LAVATORY POUNDS
30 30T	BOTTOM OF BOTTOM	LF LH	LINEAR FOOT (FEET) LEFT HAND
BRG BSMT	BEARING BASEMENT	LL LOC	LIVE LOAD LOCATION
BUR	BUILT UP ROOFING	LP LT	LOW POINT LIGHT
CAB CB CEM	CABINET CATCH BASIN CEMENT	MAS	MASONRY MATERIAL
CEM CER CIP	CERAMIC CAST-IN-PLACE	MATL MAX MB	MAXIMUM MACHINE BOLT
SJ SLG	CONTROL JOINT CEILING	MC MDF	MEDICINE CABINET MEDIUM DENSITY FIBERBOARD
CLK CLO	CAULKING CLOSET	MDO MECH	MEDIUM DENSITY OVERLAY MECHANICAL
CLR CMU	CLEAR CONCRETE MASONRY UNIT	MEMB MEZZ	MEMBRANE MEZZANINE
CNTR COL CONC	COUNTER COLUMN CONCRETE	MFR MIN MIR	MANUFACTURER MINIMUM MIRROR
CONC CONN CONST	CONCRETE CONNECTION CONSTRUCTION	MISC MO	MIRROR MISCELLANEOUS MASONRY OPENING
CONT	CONTINUOUS CONTRACTOR	MTD MTL	MOUNTED METAL
CORR	CORRIDOR CARPET; CARPETED	MUL	MULLION
CRS CSK	COLD ROLLED STEEL COUNTERSUNK	N N/A	NORTH NOT APPLICABLE
CT CTR	CERAMIC TILE CENTER	NIC NO	NOT IN CONTRACT NUMBER
OBL	CUBIC FEET DOUBLE	NOM NR NTS	NOMINAL NOISE REDUCTION NOT TO SCALE
DEMO DET	DEMOLITION DETAIL	OA	OVERALL
DIA DIM	DIAMETER DIMENSION	OC OD	ON CENTER OUTSIDE DIAMETER
DL DN	DEAD LOAD DOWN	OFF	OVERFLOW DRAIN OFFICE
)R)R OPNG)S	DOOR DOOR OPENING DOWNSPOUT	OH OHWM OPNG	OVERHEAD ORDINARY HIGH WATER MARK OPENING
)SP)T	DRY STANDPIPE DRAIN TILE	OPP OSB	OPPOSITE ORIENTED STRAND BOARD
)W)WG	DISHWASHER DRAWING	PBD	PARTICLE BOARD
	EAST	PCC PCF	PRECAST CONCRETE POUNDS PER CUBIC FOOT
EA EJ	EXPANSION JOINT	PERF PERP	PERFORATED PERPENDICULAR
ELEC ELEV	ELEVATION ELECTRICAL ELEVATOR	PL PLAM PLAS	PLATE PLASTIC LAMINATE PLASTER
ENCL EQ	ENCLOSURE EQUAL	PLWD PNL	PLASTER PLYWOOD PANEL
QUIP ST	EQUIPMENT ESTIMATE	PNT PR	POINT PAIR
EXH FN	EACH WAY EXHAUST FAN	PRCST PSF	PRECAST POUNDS PER CUBIC FOOT
EXIST EXP EXP BT	EXISTING EXPANDED; EXPANSION EXPANSION BOLT	PSI PT PTN	POUNDS PER SQUARE INCH PRESERVATIVE TREATED PARTITION
EXPO EXP B I	EXPANSION BOLI EXPOSED EXTERIOR	PVC	POLYVINYL CHLORIDE
FA	FIRE ALARM	R RA	RISER RETURN AIR
:D :B	FLAT BAR FLOOR DRAIN	RAD RD	RADIUS ROOF DRAIN
EC	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	REF REFR	REFERENCE REFRIGERATOR
FEL H HC	FINISH FLOOR ELEVATION FIRE HYDRANT FIRE HOSE CABINET	REG REINF REM	REGISTER REINFORCED REMAINDER
IN FLR	FINISH FLOOR FINISH TO FINISH	REQ RESIL	REQUIRED RESILIENT
IN LASH	FINISH FLASHING	REV RH	REVISION; REVISED RIGHT HAND
LR LUOR	FLOOR; FLOORING FLUORESCENT	RM RO	ROOM ROUGH OPENING
OC OF	FACE OF CONCRETE FACE OF FINISH	RWL	RAIN WATER LEADER
OIC	FURNISHED BY OWNER - INSTALLED BY CONTRACTOR FACE OF MASONRY	S SAF SAM	SOUTH SELF-ADHERED FLASHING SELF-ADHERED MEMBRANE
OM OS P	FACE OF MASONRY FACE OF STUDS FIREPROOF	SAM SC SCHED	SELF-ADHERED MEMBRANE SOLID CORE SCHEDULE
:PL :R	FIREPROOF FIREPLACE FRAME	SCHED SD SECT	SMOKE DETECTOR SECTION
T TG	FOOR OR FEET FOOTING	SG SHV	SAFETY GLASS SHELF; SHELVING
URR UT	FURRING FUTURE	SHR SHT	SHOWER SHEET
W	FULL WIDTH	SHT MTL SHTG	SHEET METAL SHEATHING
GALV	GAUGE GALVANIZED CENERAL CONTRACTOR	SIM SOG	SIMILAR SLAB ON GRADE
GC GL GLAM	GENERAL CONTRACTOR GLASS GLUE-LAMINATED	SPEC SQ FT SQ IN	SPECIFICATION SQUARE FOOT (FEET) SQUARE INCH(ES)
SR .	GRADE GYPSUM WALL BOARD	SQ IN SST STD	STAINLESS STEEL STANDARD
GWB	GIESCHANALI DOMEO		C 17 (1812) 11 11 1

STL STOR

STRUCT SUSP

SYM

STEEL STORAGE

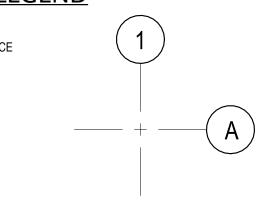
STRUCTURAL SUSPENDED

SYMMETRICAL

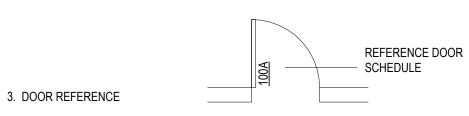
TREAD T&G TONGUE AND GROOVE TEL TELEPHONE TER TERRAZZO TEMPERED GLASS THICK TO TOP OF.. TOB TOP OF BEAM TOC TOP OF CONCRETE; CURB TOF TOP OF FLOOR; FOOTING; FRAME TOM TOP OF MASONRY TOP TOP OF PARAPET; PAVEMENT TOPO TOPOGRAPHY TOS TOP OF SLAB; STEEL TOW TOP OF WALL TUBE STEEL TSTAT THERMOSTAT TYP **TYPICAL** UNLESS OTHERWISE NOTED UNO VINYL BASE VENEER VEN VERT VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD VINYLT TILE WEST WITH WITHOUT WATER CLOSET WD WOOD WDW WINDOW WIDE FLANGE WIDE FLANGE BEAM WF BM WG WIRED GLASS WATER HEATER WATER LINE WLD WELDED WATERPROOF WPM WATERPROOF MEMBRANE WR WATER RESISTANT WSCT WAINSCOT WSG WIRE SAFETY GLASS WTR WATER WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH

WEIGHT

SYMBOLS LEGEND 1. GRID LINE REFERENCE

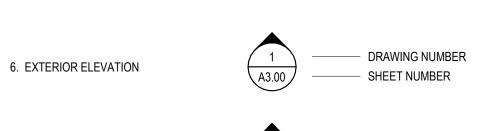




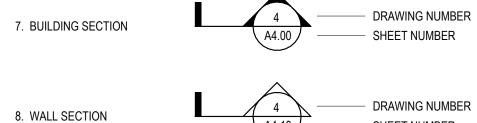


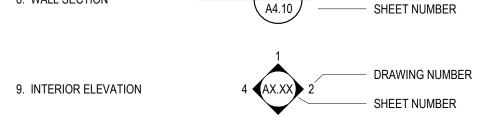


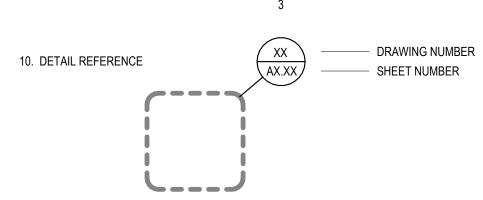




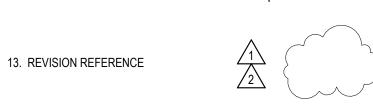
 $\langle A \rangle$











REFERENCE CONSTRUCTION MEMO ISSUING REVISION. ONLY MOST RECENT REVISION SHOWN CLOUDED. REFERENCE FOR PREVIOUS REVISIONS REMAIN. DATE OF REVISIONS INDICATED AT RIGHT MARGINS.

MATERIALS LEGEND

WOOD BLOCKING SHIM		WOOD FRAMING (CONTINUOUS)
FINISHED WOOD		PLYWOOD
BATT INSULATION		RIGID INSULATION
GRAVEL		EARTH
STEEL		ALUMINUM
CMU		BRICK
STONE	4 44 4 4	CONCRETE

ZONING / BUILDING CODE SUMMARY

PROJECT ADDRESS 611 8TH AVE SOUTH SEATTLE, WA 98104

WING LUKE MUSEUM OF THE PACIFIC AMERICAN EXPERIENCE

ASSESSOR'S PARCEL NUMBER 524780-2655

LEGAL DESCRIPTION

(PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO. 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.) THE NORTH 5 FEET OF LOT 6; LOT 7, EXCEPT THE NORTH 28 FEET OF THE EAST 76 FEET; AND THE WEST 44 FEET OF LOT 8, ALL IN BLOCK 53, TOWN

OF SEATTLE, AS LAID OUT BY D.S.MAYNARD (COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF SEATTLE), ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 23, RECORDS OF KING COUNTY, WASHINGTON.

MAIN LEVEL: 920 SQ FT BASEMENT LEVEL: 810 SQ FT NEW FLOOR AREA: 120 SQ FT TOTAL FLOOR AREA: 1,850 SQ FT

ASSOCIATED PROJECT NO. 3040417-LU, 3040418-LU, 3040419-LU (CONCURRENT SHORT PLAT APPLICATION)

APPLICABLE CODES LAND USE CODE, SMC TITLE 23 2018 SEATTLE BUILDING CODE 2018 SEATTLE EXISTING BUILDING CODE 2018 SEATTLE ENERGY CODE 2018 SEATTLE MECHANICAL CODE 2018 SEATTLE FIRE CODE 2020 SEATTLE ELECTRICAL CODE 2018 SEATTLE PLUMBING CODE

AUTHORITY HAVING JURISDICTION SEATTLE DEPARTMENT OF CONSTRUCTION & INSPECTIONS (SDCI)

<u>LOT SIZE</u> 8,311 S.F.

LAND USE DESIGNATION INTERNATIONAL DISTRICT MIXED IDM 85/85-170

HISTORIC DISTRICT INTERNATIONAL SPECIAL REVIEW DISTRICT RETAIL CORE, ASIAN DESIGN CHARACTER DISTRICT

CURRENT USE R-3 SINGLE FAMILY HOUSE WITH BASEMENT

B OCCUPANCY - HOUSE FOR DOCENT-LED IMMERSION TOURS. USE FOR OCCUPANT LOAD FACTOR IS EXHIBIT GALLERY / MUSEUM (REFER TO PRE-SUBMITTAL CONFERENCE NOTES)

ENERGY CODE SUMMARY

NOTE: MECHANICAL AND ELECTRICAL TO BE IN SEPARATE PERMIT. EXISTING GAS FURNACE TO BE REPLACED WITH ELECTRIC SPLIT SYSTEM HEAT PUMP. COOLING COMPONENT IS ALLOWED UNDER C503.2 EXCEPTION #3 AS PROJECT IS LESS THAN 2,000 SQ FT SERVED. PROJECT IS 1,830 GROSS SQ FT.

PROJECT IS NOT A SUBSTANTIAL ALTERATION AS DETERMINED WITH SDCI. SEE APPROVED PRE-SUBMITTAL CONFERENCE NOTES.

NEW PORTIONS OF PROJECT WILL MEET CURRENT ENERGY CODE AS **FOLLOWS**

VERTICAL GLAZING: FIXED U-FACTOR U-0.34 OPERABLE U-FACTOR U-0.36 GLAZED ENTRANCE DOOR U-FACTOR: U-0.60 OPAQUE DOOR: U-0.37

ROOF: R-38 INSULATION ENTIRELY ABOVE DECK WALL ABOVE GRADE: R-13 + R-7.5 CI WALL BELOW GRADE: R-19 WOOD STUD WALL EXT. BELOW GRADE: R-10 CI SLAB ON GRADE: R-10 PERIMETER & UNDER ENTIRE SLAB

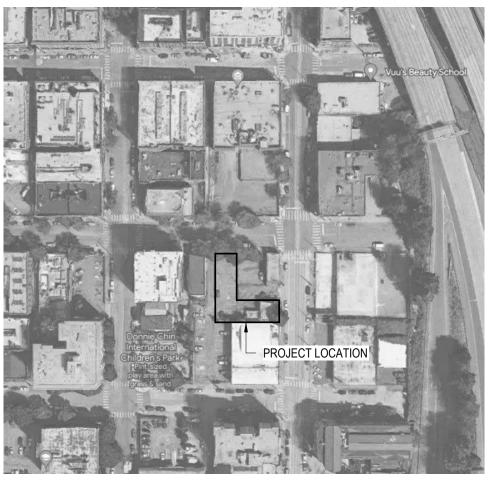
WHERE EXISTING FRAMING REMAINS AND THE FRAMING CAVITY IS EXPOSED DURING CONSTRUCTION, FILL CAVITY WITH INSULATION.

LOCATION MAP

GENERAL NOTES

OTHERWISE NOTED.

NOT TO SCALE



CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING

ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.

BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.

DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS

CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK.

VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT,

DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS

EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.

INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.

NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

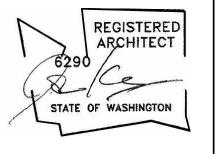
PROJECT DESCRIPTION

THE ENG FAMILY HOMESTEAD PROJECT IS A RENOVATION OF THE INTERIOR AND EXTERIOR OF THE EXISTING SINGLE FAMILY HOUSE ON THE PROPERTY, WITH A 160 SQUARE FOOT SECOND STORY ADDITION FOR ADA ACCESS. CHANGE OF USE FROM R-3 TO B (MUSEUM – HOME USED FOR HISTORIC IMMERSION TOURS).

SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

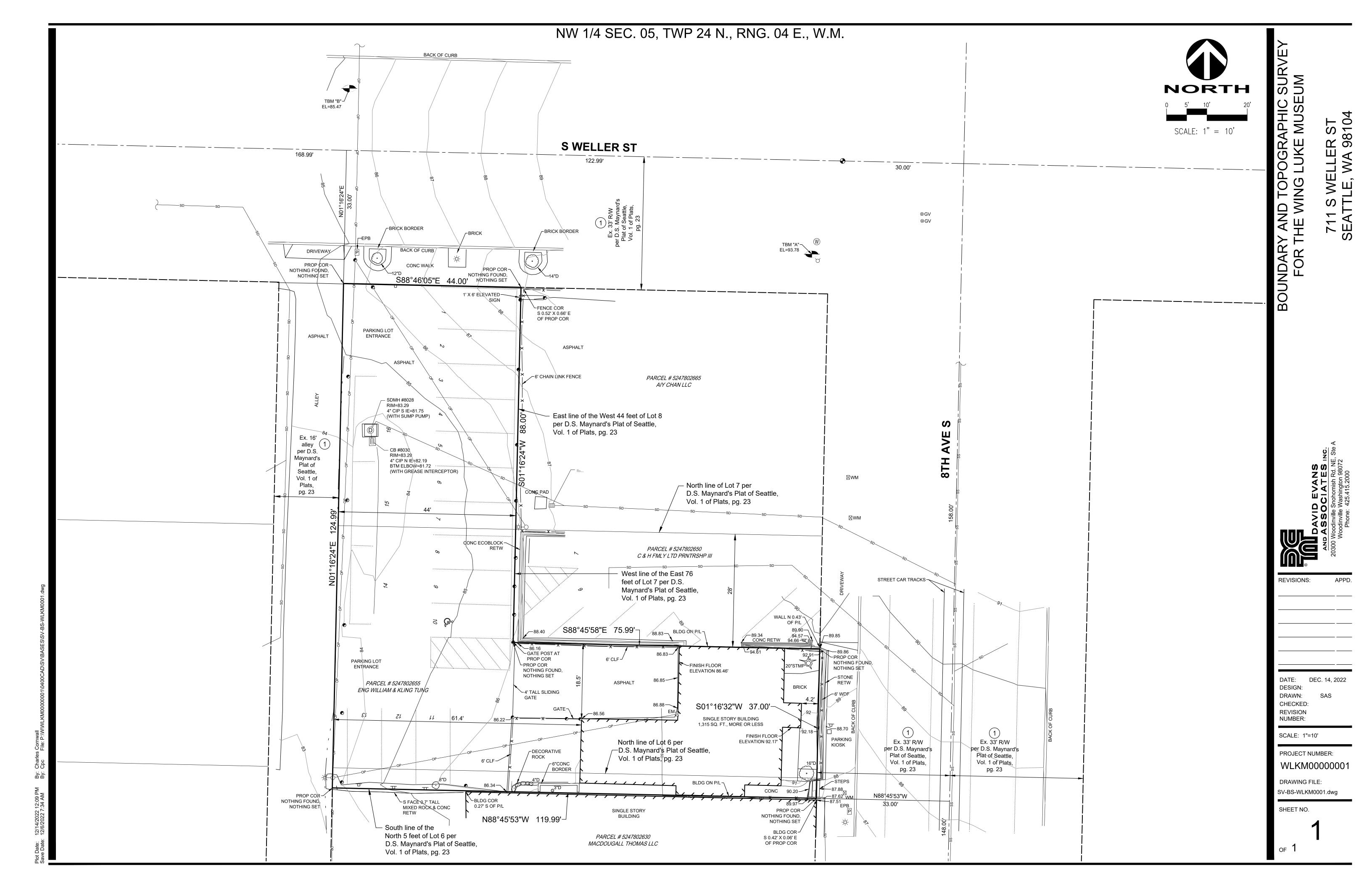
1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

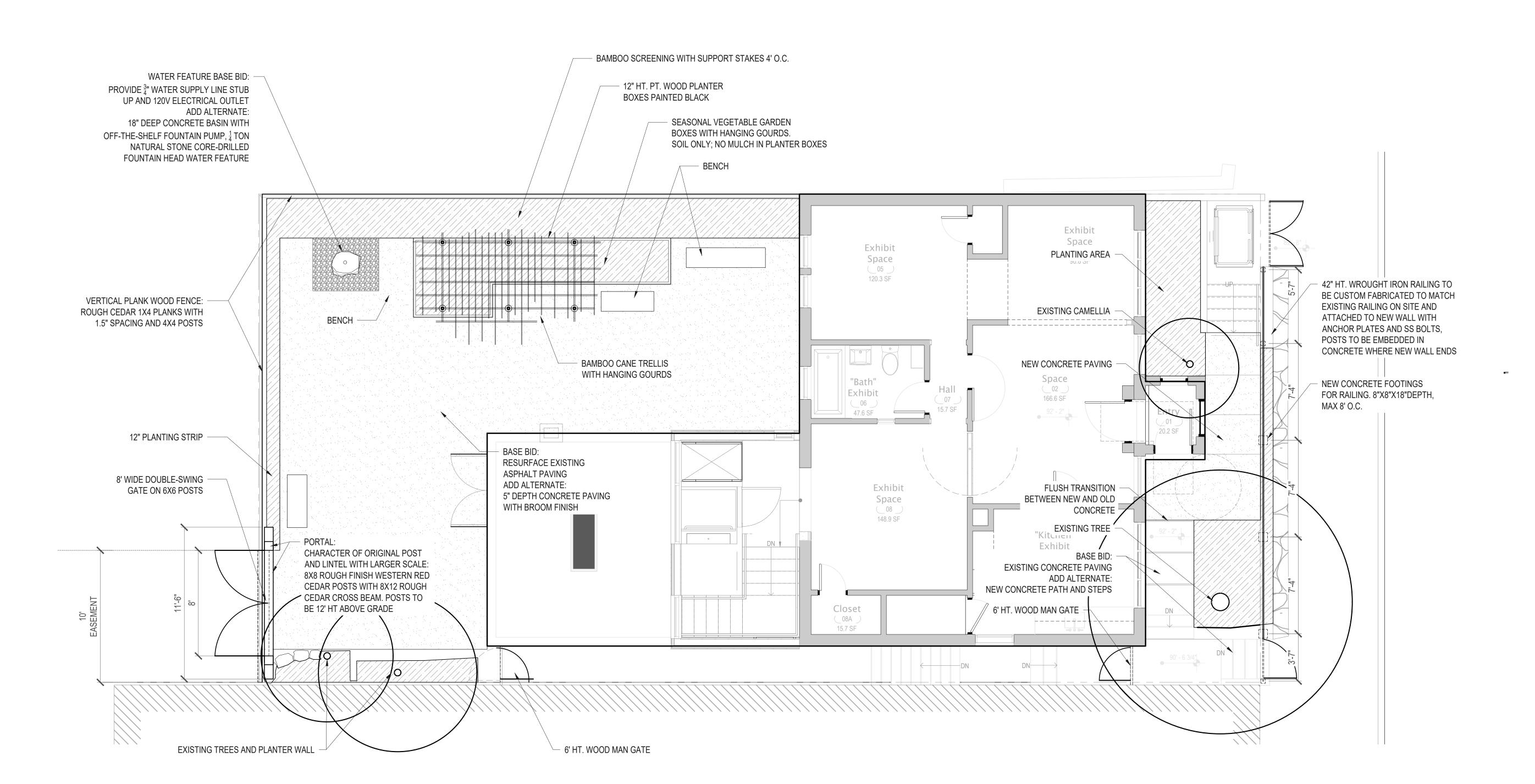


Official Stamps:

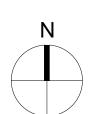
Homestead Renovatio th, Seattle, WA 98104 Eng Family |
611 8th Ave Sout
REVISIONS
NO. DESCRIPTION

GENERAL INFORMATION









ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Official Stamps:

	Eng Family Homestead Renovation	ead Renovation va 98104
	REVISIONS	
	NO. DESCRIPTION DATE	NOITOINGLE BOD TON
		Fac Calcida
_		

SITE PLAN
SCALE: 1/4"=1'-0"



(QTY	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS		QTY	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
SHRUBS AND VINES						GROUNDCOVER					
	4	•	AKEBIA QUINATA / CHOCOLATE VINE	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE		20	+ + + + + + + + + + + + + + + + + + + +	PLEIOBLASTUS PYGMAEUS / PYGMY BAMBOO	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH
	1		FATSIA JAPONICA / JAPANESE ARALIA	5-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE		21		LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH
	6		MAHONIA EURYBRACTEATA 'SOFT CARESS' / SOFT CARESS MAHONIA	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE		46		GROUNDCOVER MIX TYPE 1 70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.
	10		PHYLLOSTACHYS AUREA / GOLDEN BAMBOO	10' MIN. HT.	48" O.C.; FULL FOLIAGE, UPRIGHT BROWTH WITH MIN. 3 CANES; STAKED WITH 1.5"DIA. WOOD DOWEL PAINTED BLACK		20		30% TRICYRTIS / TOAD LILY	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.
	14		SARCOCOCCA RUSCIFOLIA / FRAGRANT SWEET BOX	2-GAL. CONT.	30" O.C.; WELL SPREAD WITH DENSE FOLIAGE TO GRADE		57		GROUNDCOVER MIX TYPE 2 70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.
PERENNIALS	3		HOSTA 'FRAGRANT BOUQUET' / FRAGRANT BOUQUET HOSTA	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE		24		30% IRIS CONFUSA / IRIS	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.
	2		PAEONIA LACTIFLORA / CHINESE PEONY	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE						
					GOLDEN BAMBOO WITH SUPPORT STAKES 4' O.C.						

		GOLDEN BAMBOO WITH SUPPORT STAKES 4' O.C.		
		GROUNDCOVER MIX: IRIS CONFUSA AND LIRIOPE MUSCARI		
	4'	SEASONAL VEGETABLE GARDEN PLANTING WITH HANGING GOURDS BY OWNER - SOIL ONLY, NO MULCH	FATSIA JAPONICA —	
			MAHONIA E. 'SOFT CARESS' Exhibit	
	ōo		Space Space SARCOCOCCA HOOKERIANA VAR. HUMILIS GROUNDCOVER MIX:	
	+++++++		EXISTING CAMELLIA	
AKEBIA VINE —	+ + + + + + + + + + + + + + + + + + + +		"Bath" Exhibit 06 47.6 SF Exhibit 07 15.7 SF	LIRIOPE
PYGMY BAMBOO —	+ + + + + + + + + + + + + + + + + + + +		20.2 SF	
	+ + + + + + + + + + + + + + + + + + + +		Exhibit Space 08 148.9 SF	HOSTA
7		DN V	EXISTING TREE	GROUNDCOVER MIX: LIRIOPE AND TRICYRTIS
•	MULCH ONLY, TYP. NO PLANTING		MULCH ONLY, TYP. NO PLANTING 113.5 SF	
/	2' 2' 2'		DSET DN	
		_	DN D	
	GROUNDCOVER MIX:	F 'SOFT CARESS'		

stead Renovation , wa 98104	TE NOT TON ONSTANTANT	NOT TON COINSTRUCTION	PRICING SET		11/17/2023
Eng Family Homestead Renovation 611 8th Ave South, Seattle, WA 98104 REVISIONS	NO. DESCRIPTION DATE				
	22013	11/17/2023	DR/MT	DR	
	Project number	Date	Project Manager	Drawn by	Checked by
PLANTING PLAN				1	Scale As indicated

SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS

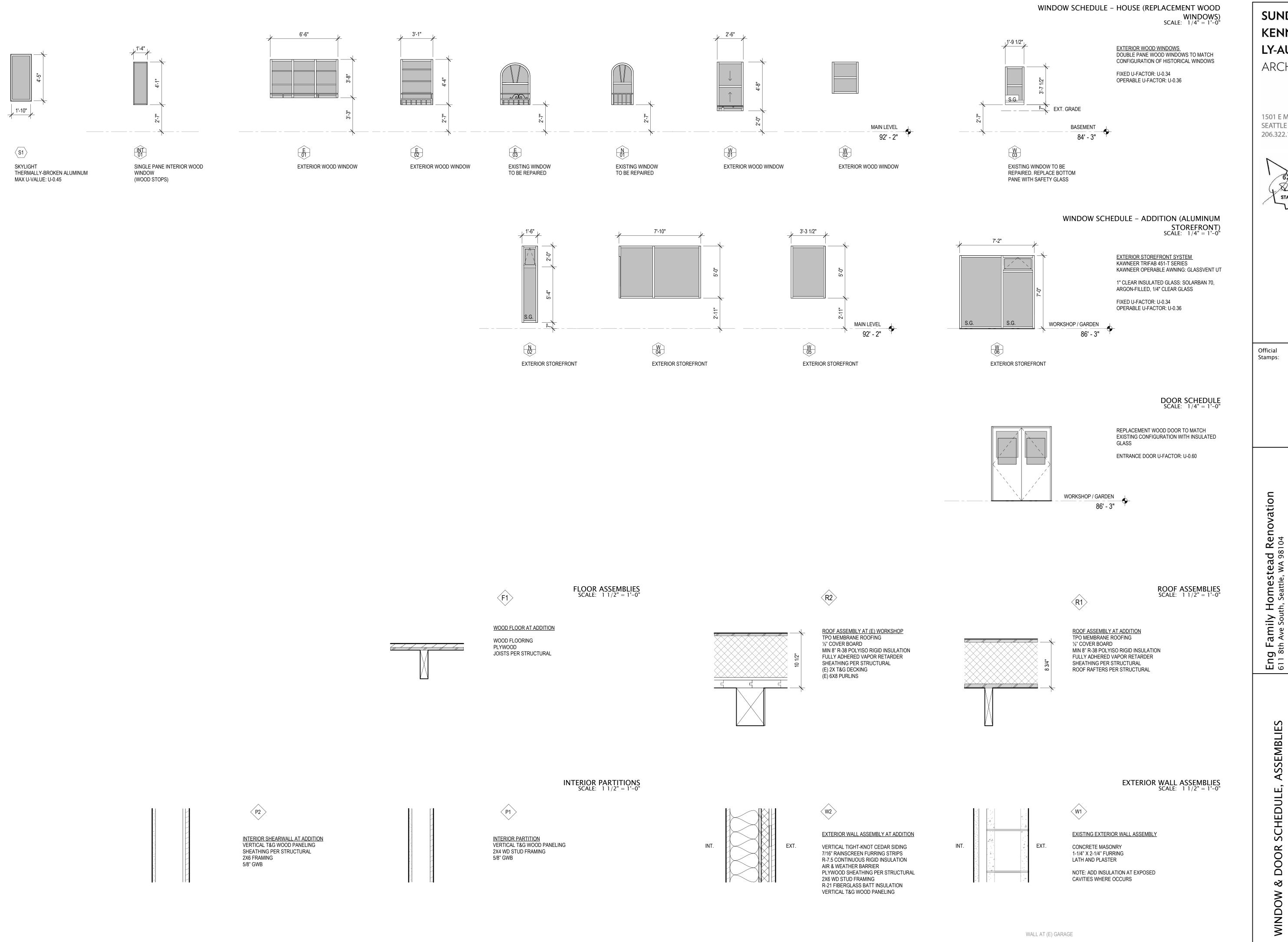
1501 E MADISON, SUITE 205

SEATTLE WA 98122-4465 206.322.1130

MURASE ASSOCIATES

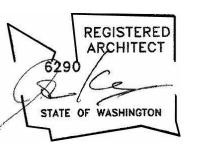
LANDSCAPE ARCHITECTURE
4238 4th Ave NE, Seattle, WA 98105
T 206 322 4937 www.murase.com

Official Stamps:



ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

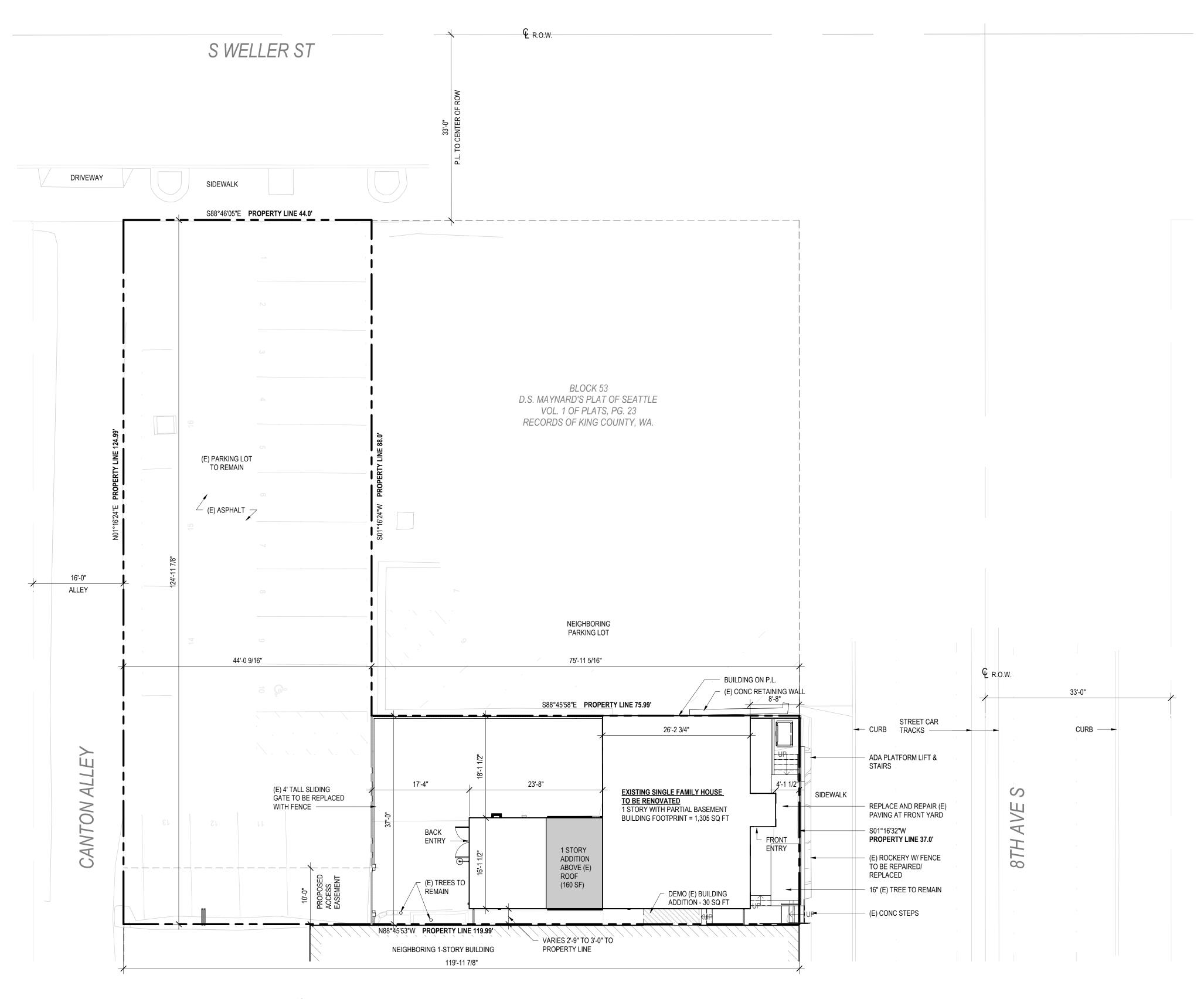


ISRD CERTIFICATE OF
APPROVAL

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE
ISRD CERTIFICAT
APPROVAL

Project number

Date
Project Manager



PRELIMINARY SITE PLAN

SCALE: 1" = 10'-0"

PROJECT INFORMATION

OWNER

611 8TH AVE SOUTH

PROJECT DESCRIPTION RENOVATION OF AN EXISTING SINGLE FAMILY

(PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO. 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.)

THE NORTH 5 FEET OF LOT 6; LOT 7, EXCEPT THE NORTH 28 FEET OF THE EAST 76 FEET; AND THE WEST 44 FEET OF LOT 8, ALL IN BLOCK 53, TOWN OF SEATTLE, AS LAID OUT BY D.S.MAYNARD (COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF SEATTLE), ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF

PLATS, PAGE 23, RECORDS OF KING COUNTY, WASHINGTON.

ZONING INTERNATIONAL DISTRICT MIXED IDM 85/85-170

GROSS FLOOR AREA

BASEMENT LEVEL: 810 SQ FT

TOTAL FLOOR AREA: 1,850 SQ FT

ASSOCIATED PROJECT NO. (CONCURRENT SHORT PLAT APPLICATION)

ADDRESS

SEATTLE, WA 98104

WING LUKE MUSEUM OF THE ASIAN PACIFIC AMERICAN EXPERIENCE

HOUSE FOR HISTORICAL DOCENT-LED TOURS.

524780-2655 ASSESSOR'S PARCEL NO.

LEGAL DESCRIPTION:

HISTORIC DISTRICT INTERNATIONAL SPECIAL REVIEW DISTRICT

MAIN LEVEL: 920 SQ FT

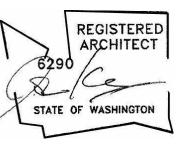
NEW FLOOR AREA: 120 SQ FT

3040417-LU, 3040418-LU, 3040419-LU

SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

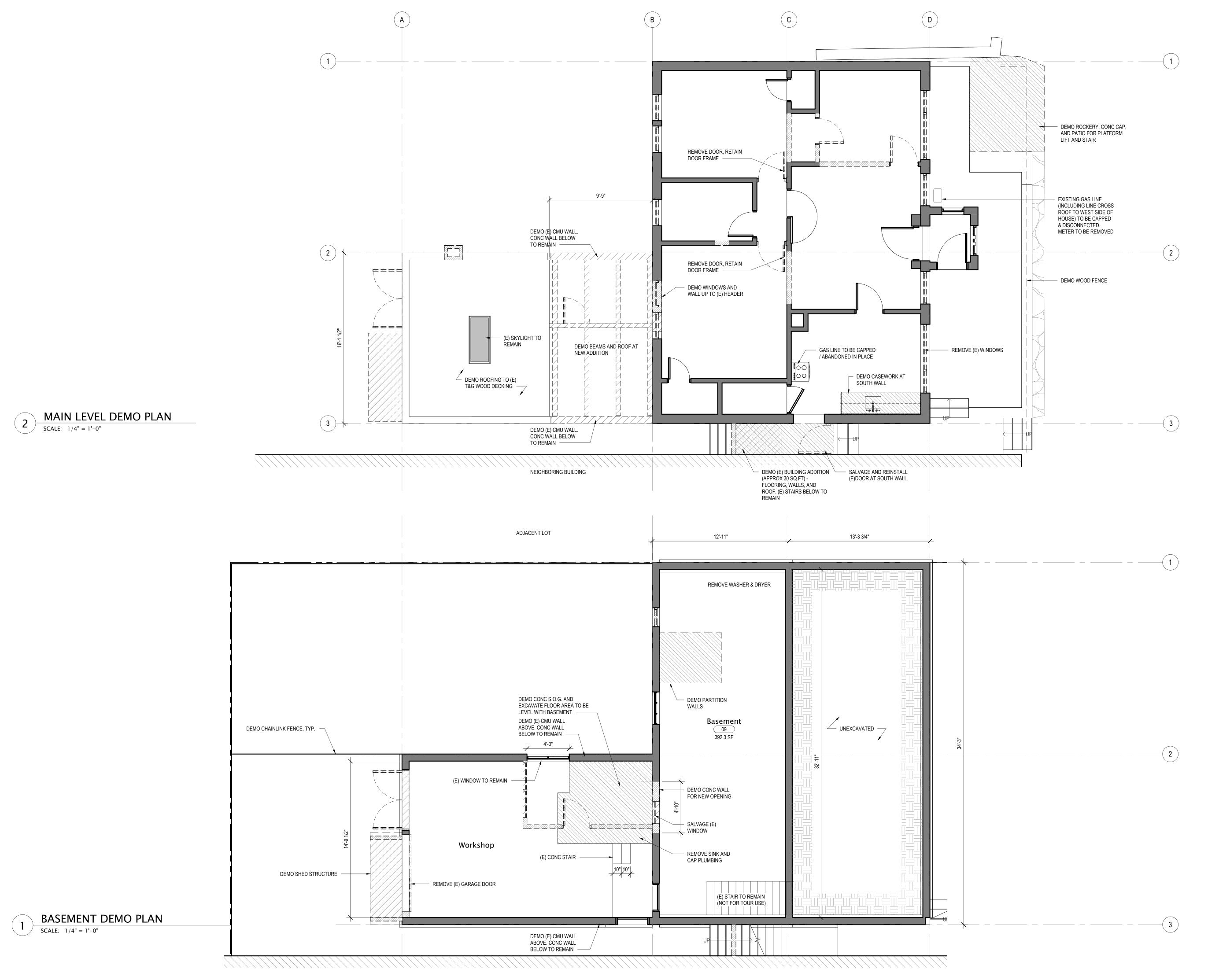
1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Official Stamps:

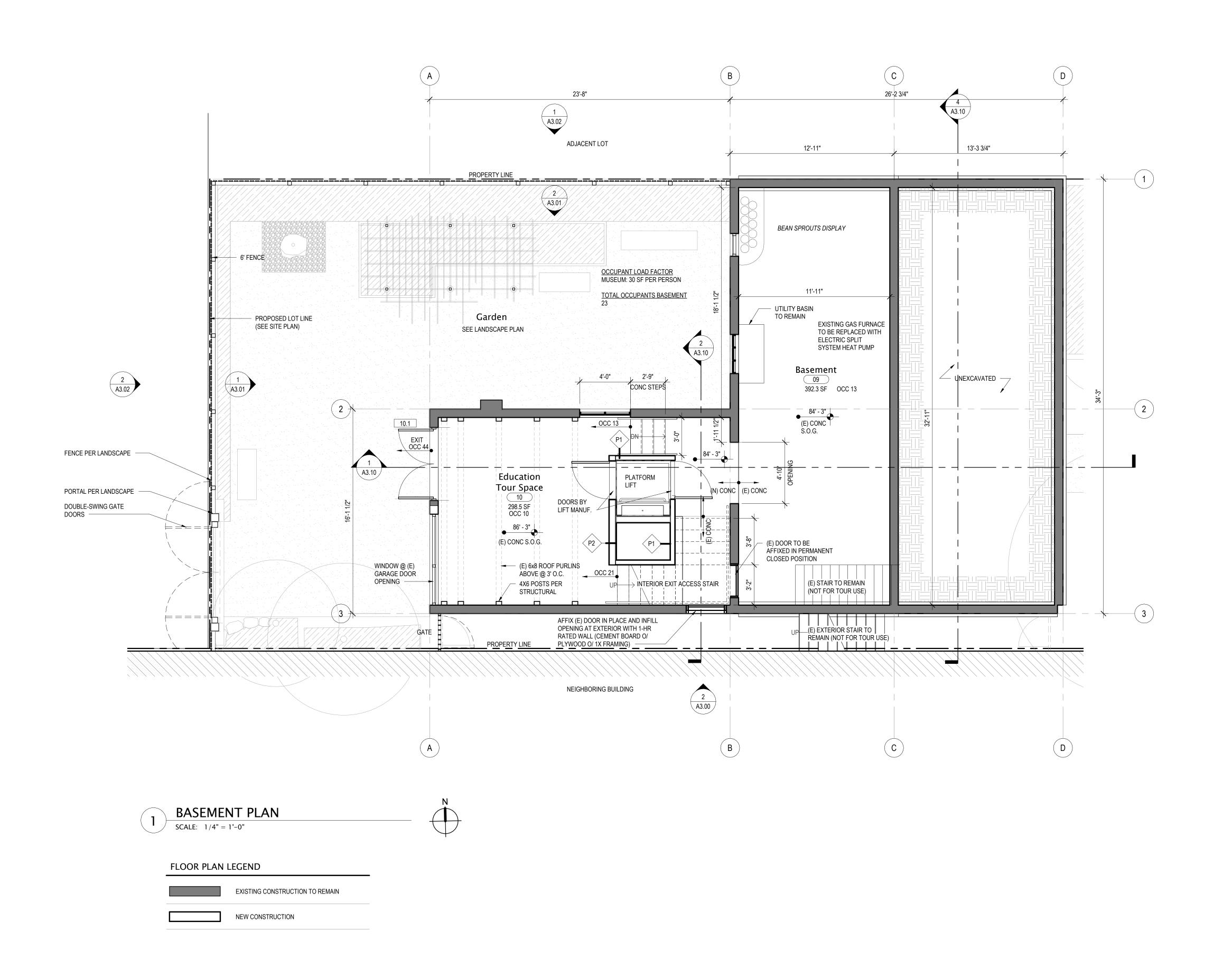
Eng Family Homestead Renovatio
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE

SITE



SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS 1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 Official Stamps: Eng Family Homestead Renovatio
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE DEMO MAIN BASEMENT

NEIGHBORING BUILDING



ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Official Stamps:

DATE
ISRD CERTIFICATE OF
APPROVAL

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE

611 8t

REVISIOR

22013 NO. DESC
2/23/2024
ir JK/ NL

Project number

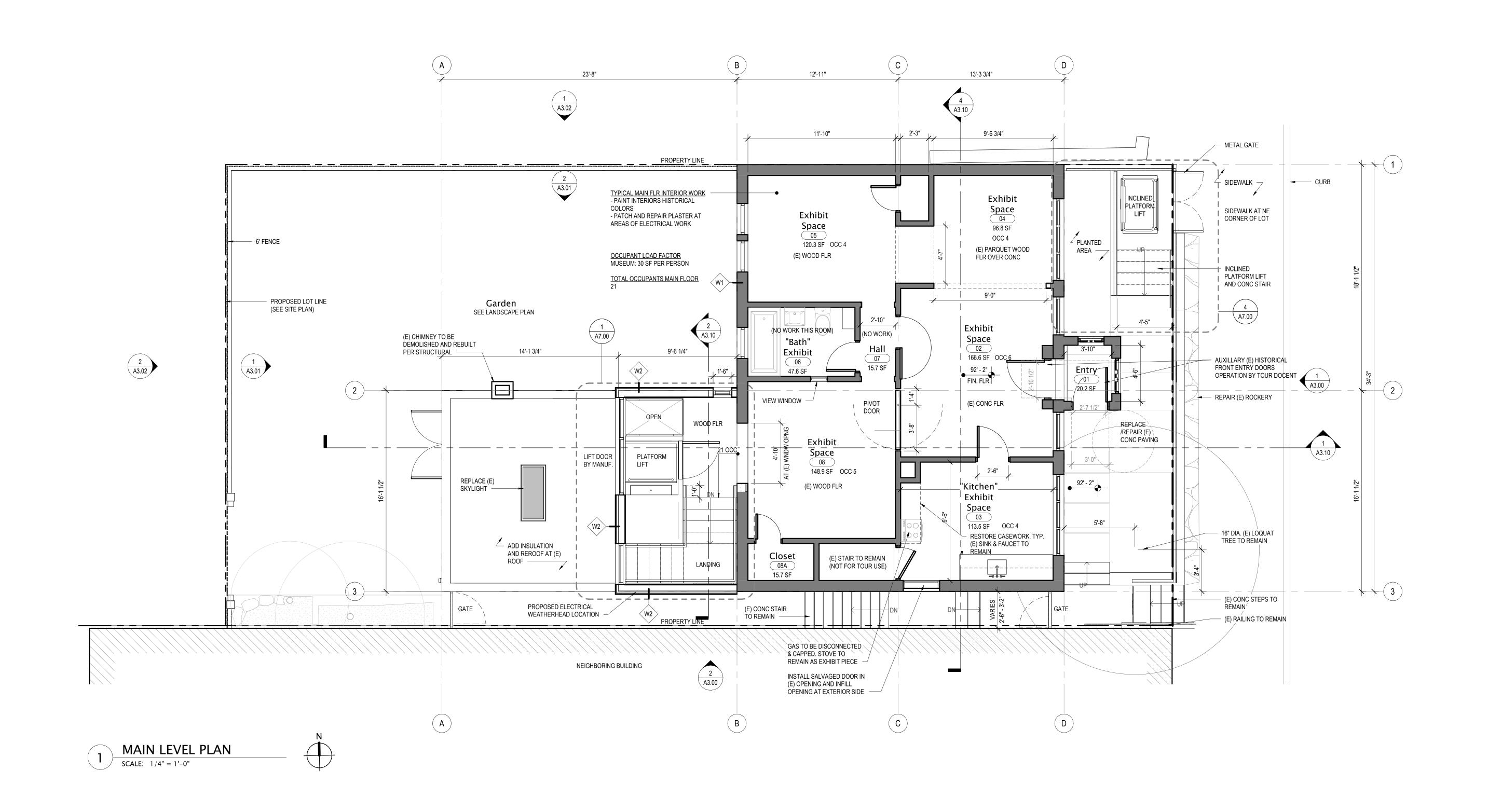
Date

Project Manager

Drawn by

A2.00

BASEMENT PLAN



ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

REGISTERED ARCHITECT
6290
STATE OF WASHINGTON

Official Stamps:

stead Renovation

b, wA 98104

The state of the state of

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE

Project number 22013 NO.

Date 2/23/2024

Project Manager JK/ NL

Drawn by NL

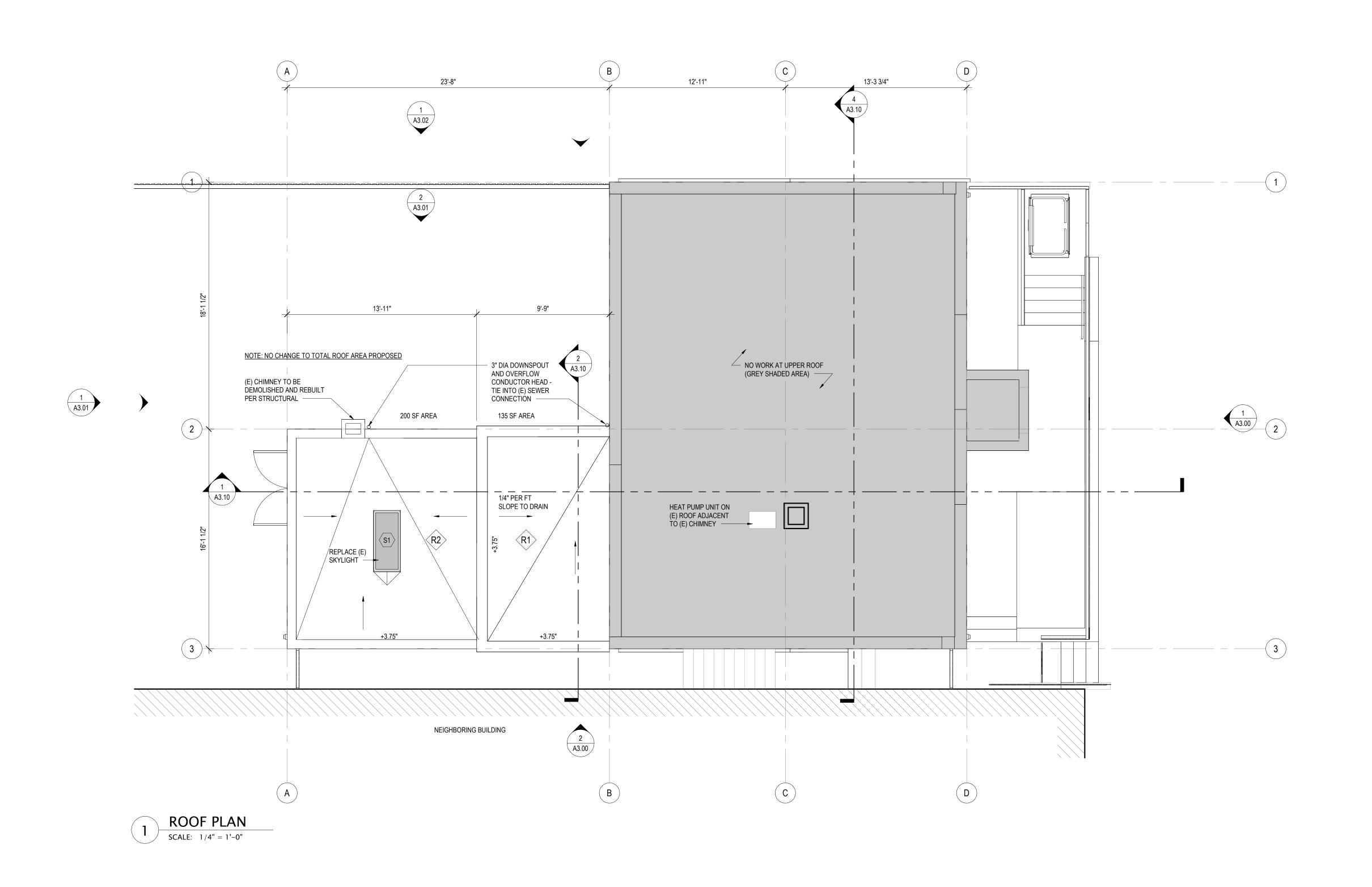
Project
Date
Project

MAIN LEVEL

FLOOR PLAN LEGEND

EXISTING CONSTRUCTION TO REMAIN

NEW CONSTRUCTION



ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Official Stamps:

ISRD CERTIFICATE OF
APPROVAL

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE

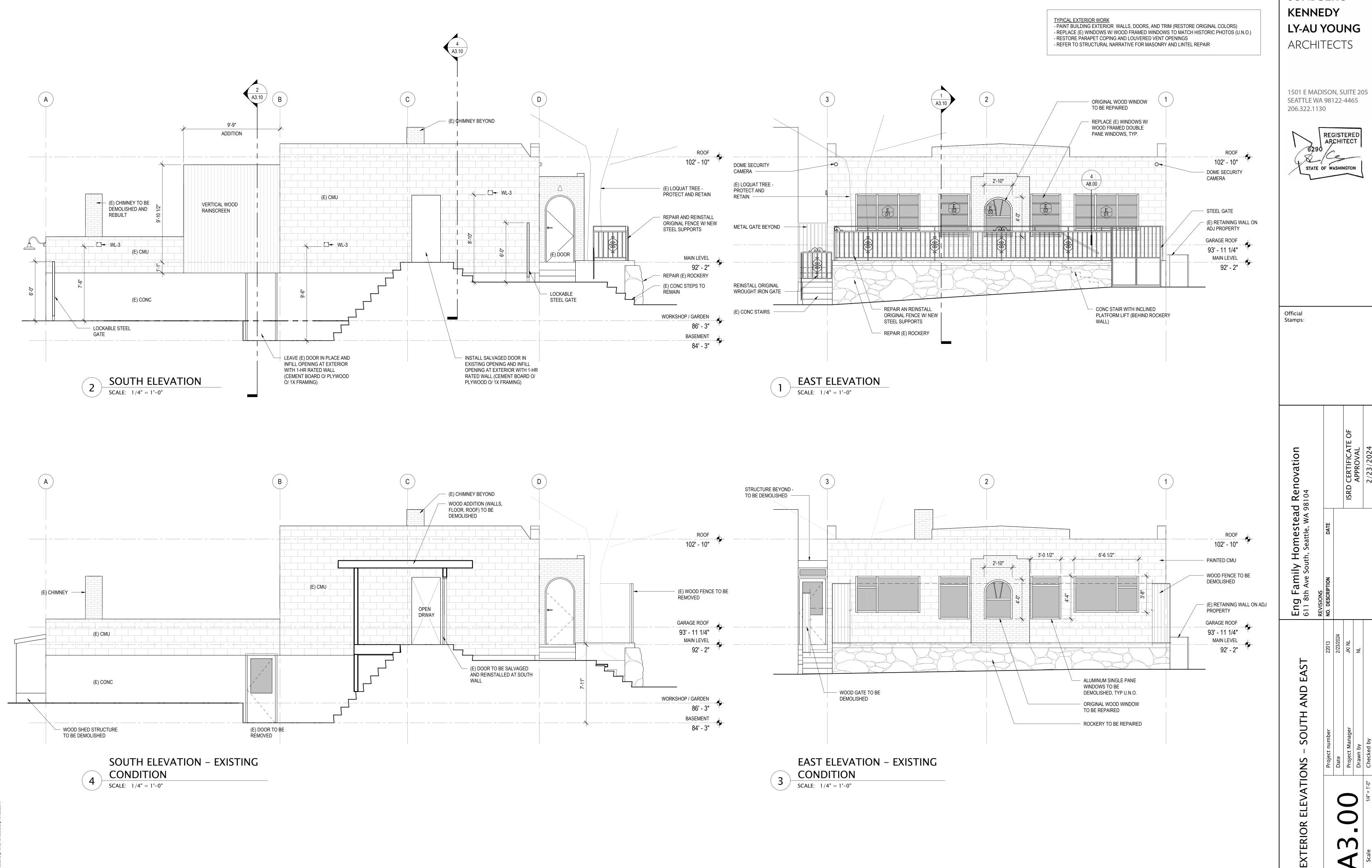
ber 22013 REVISIONS 22013 NO. DESCRIPTIO 2/23/2024 JK/ NL NL

Project number

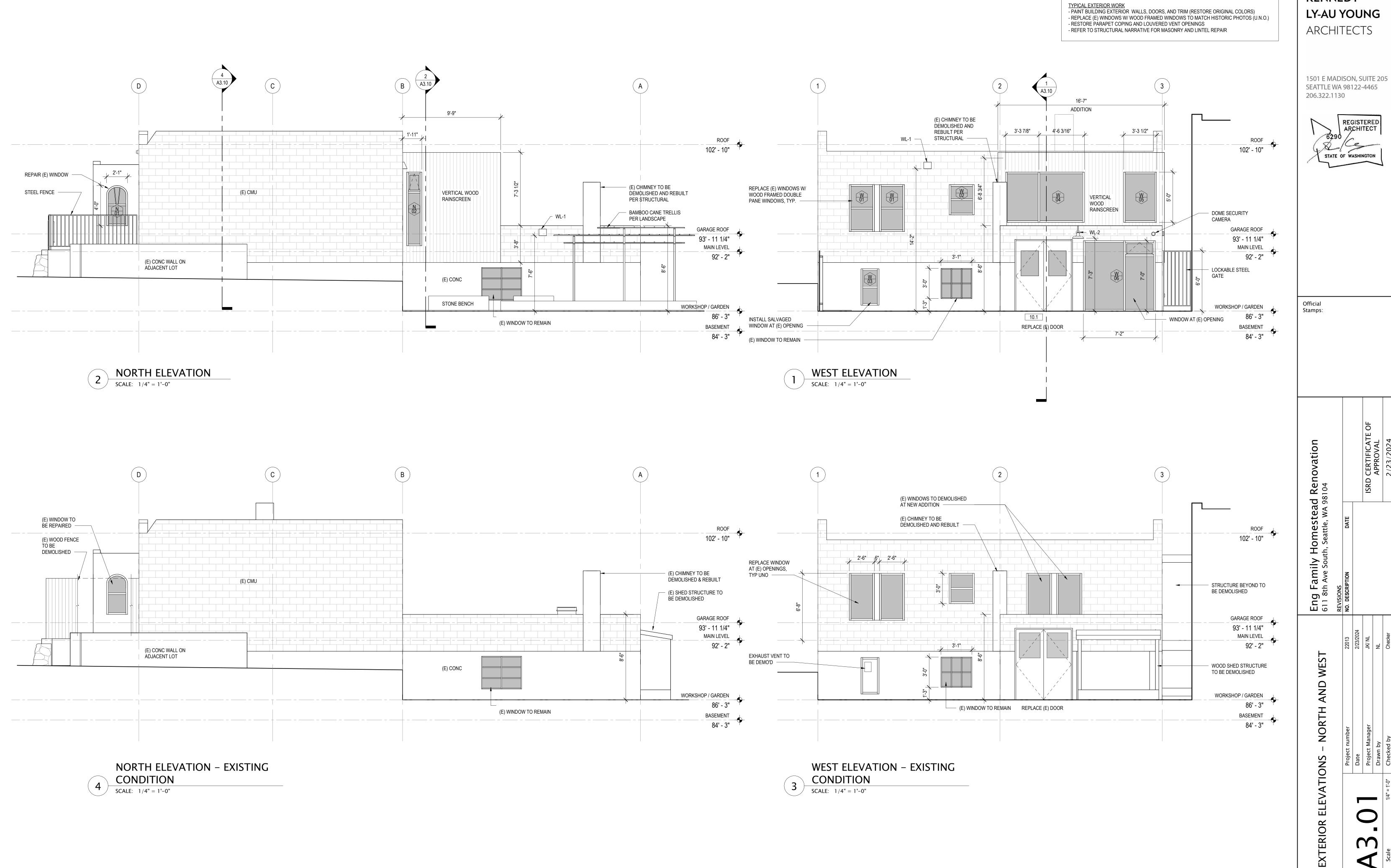
Date
Project Manager

Drawn by

ROOF PLAN



SUNDBERG

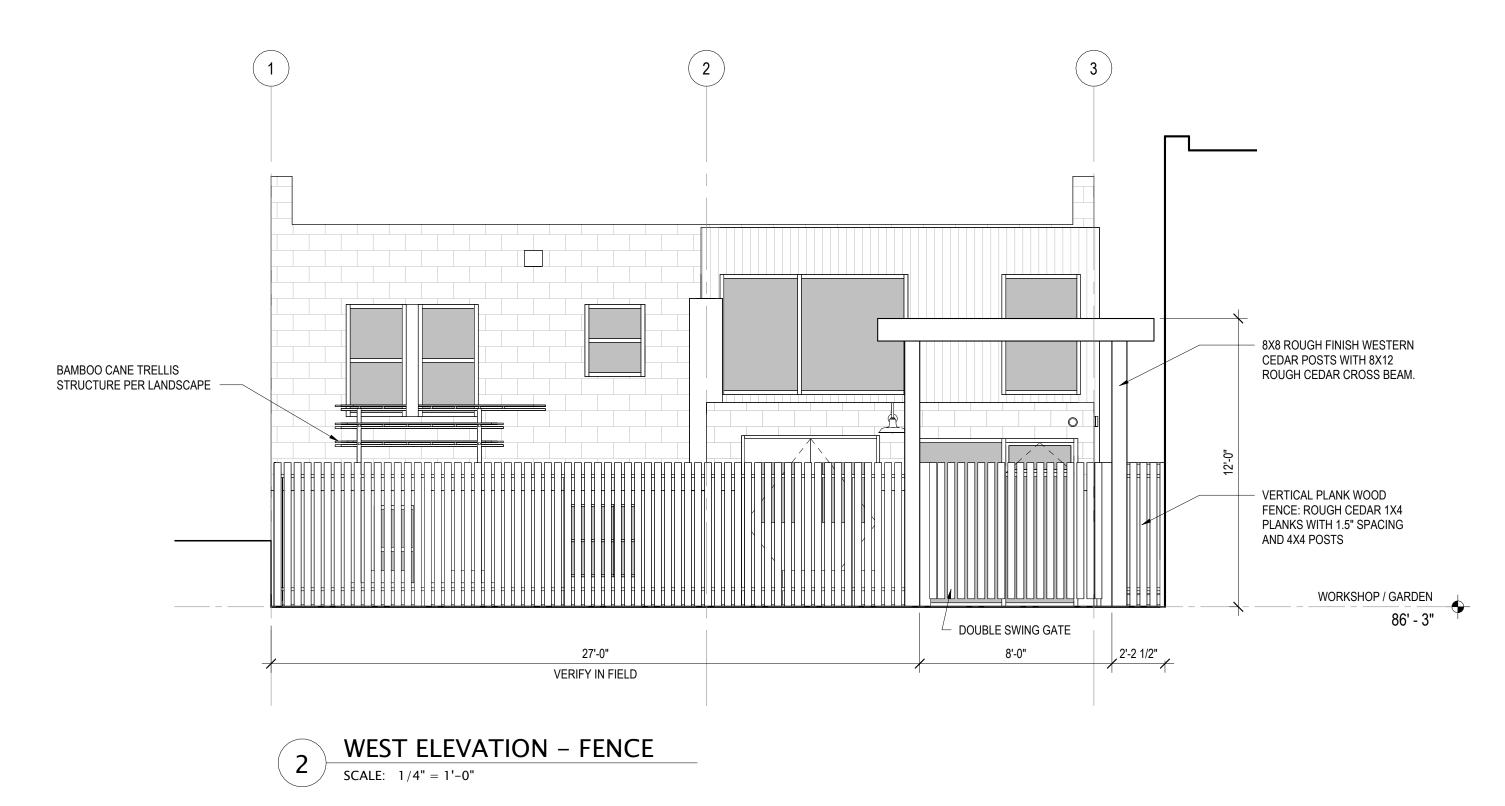


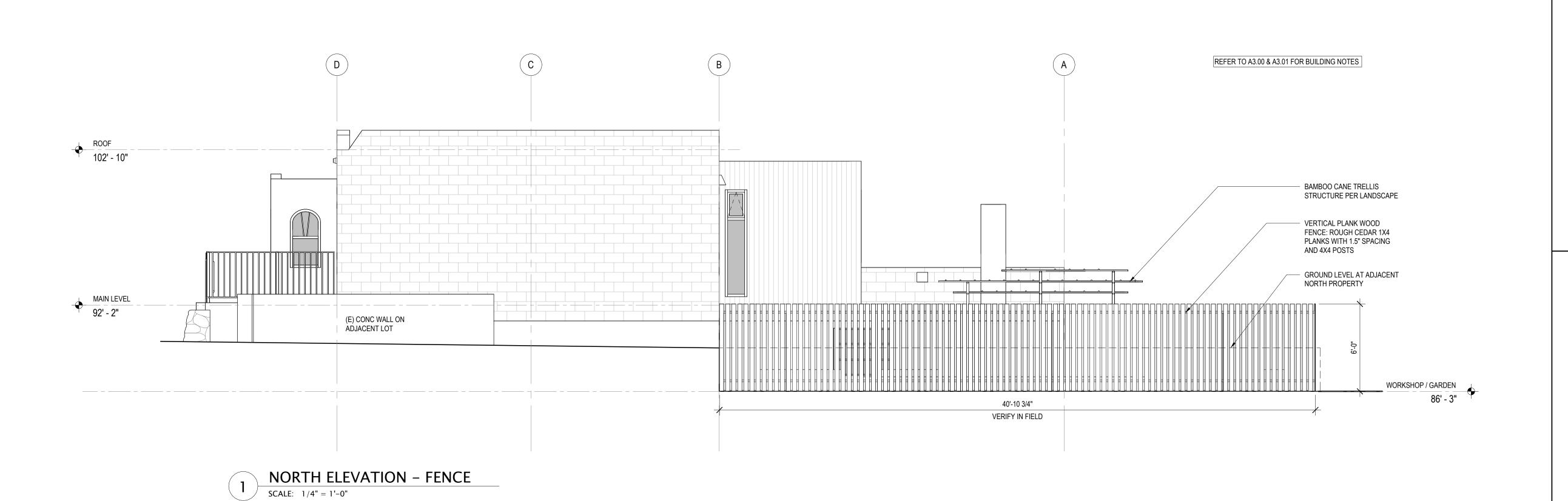
SUNDBERG

KENNEDY

Autodesk Docs://Eng Family Homestead/Eng Homestead.rv

REFER TO A3.00 & A3.01 FOR BUILDING NOTES





SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

REGISTERED ARCHITECT
6290
STATE OF WASHINGTON

Official Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

REVISIONS
NO. DESCRIPTION
DATE
ISRD CERTIFICATE OF
APPROVAL

 NORTH & WEST FENCE
 EIIIG FAILIII

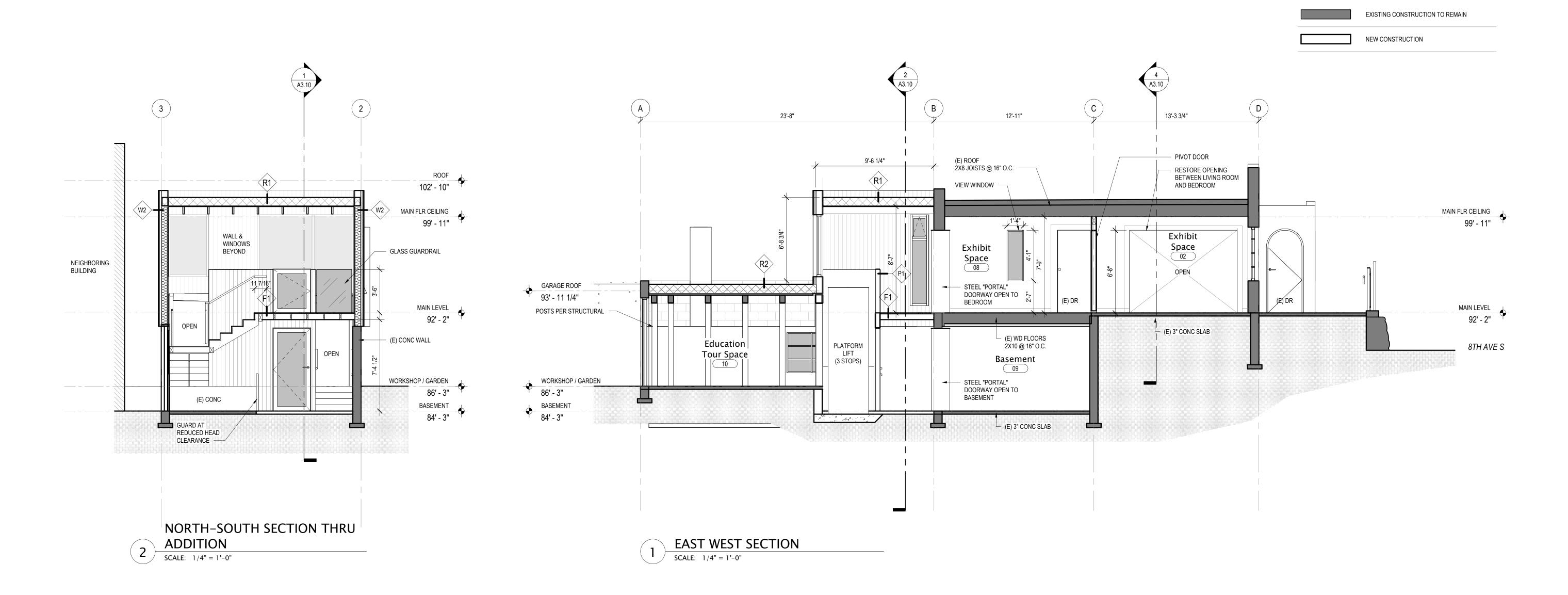
 number
 22013
 NO. DESCRIPTION

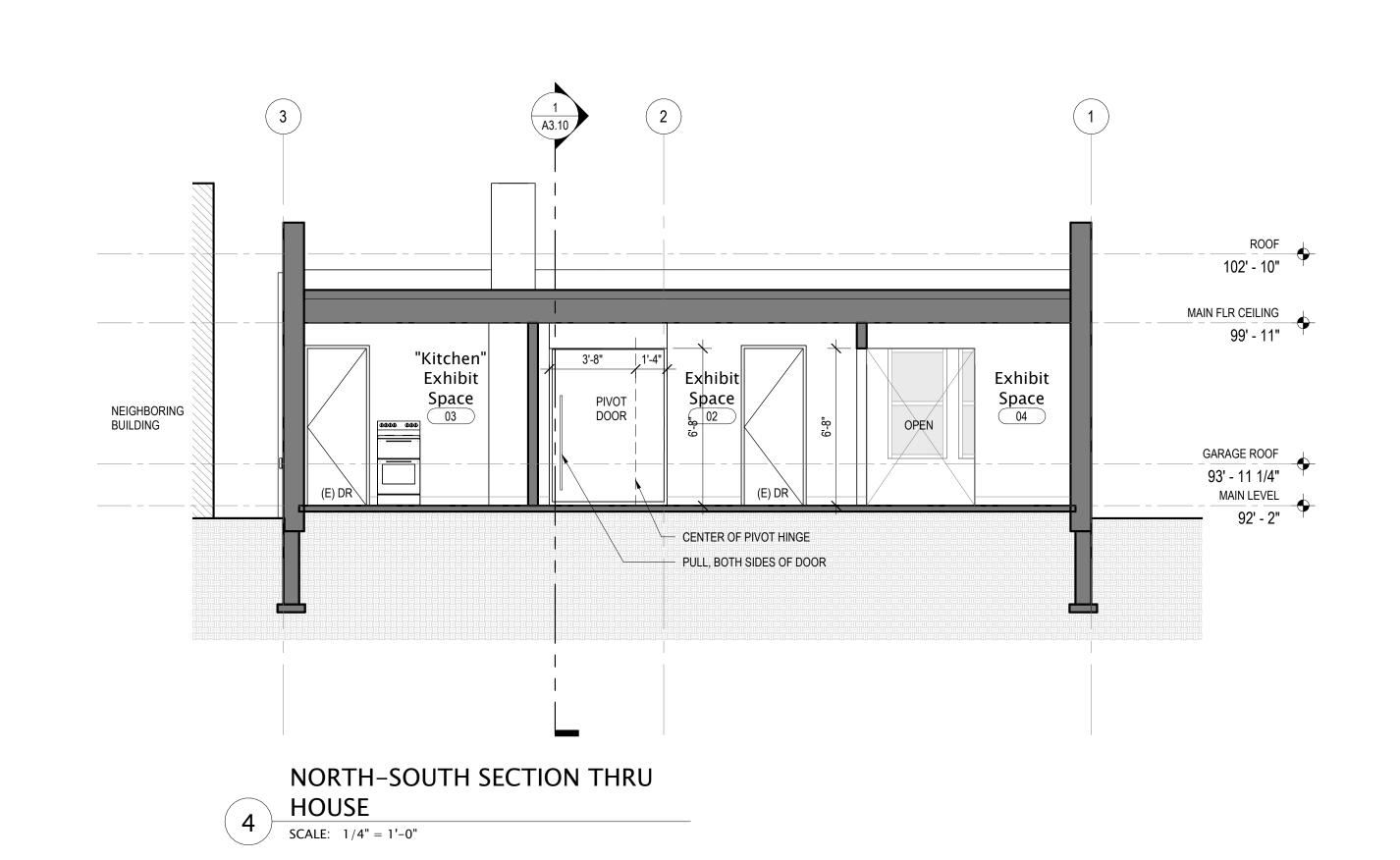
 Nanager
 JK/NL

 NA
 NL

Project
Date
Project

EXTERIOR ELEVATIONS

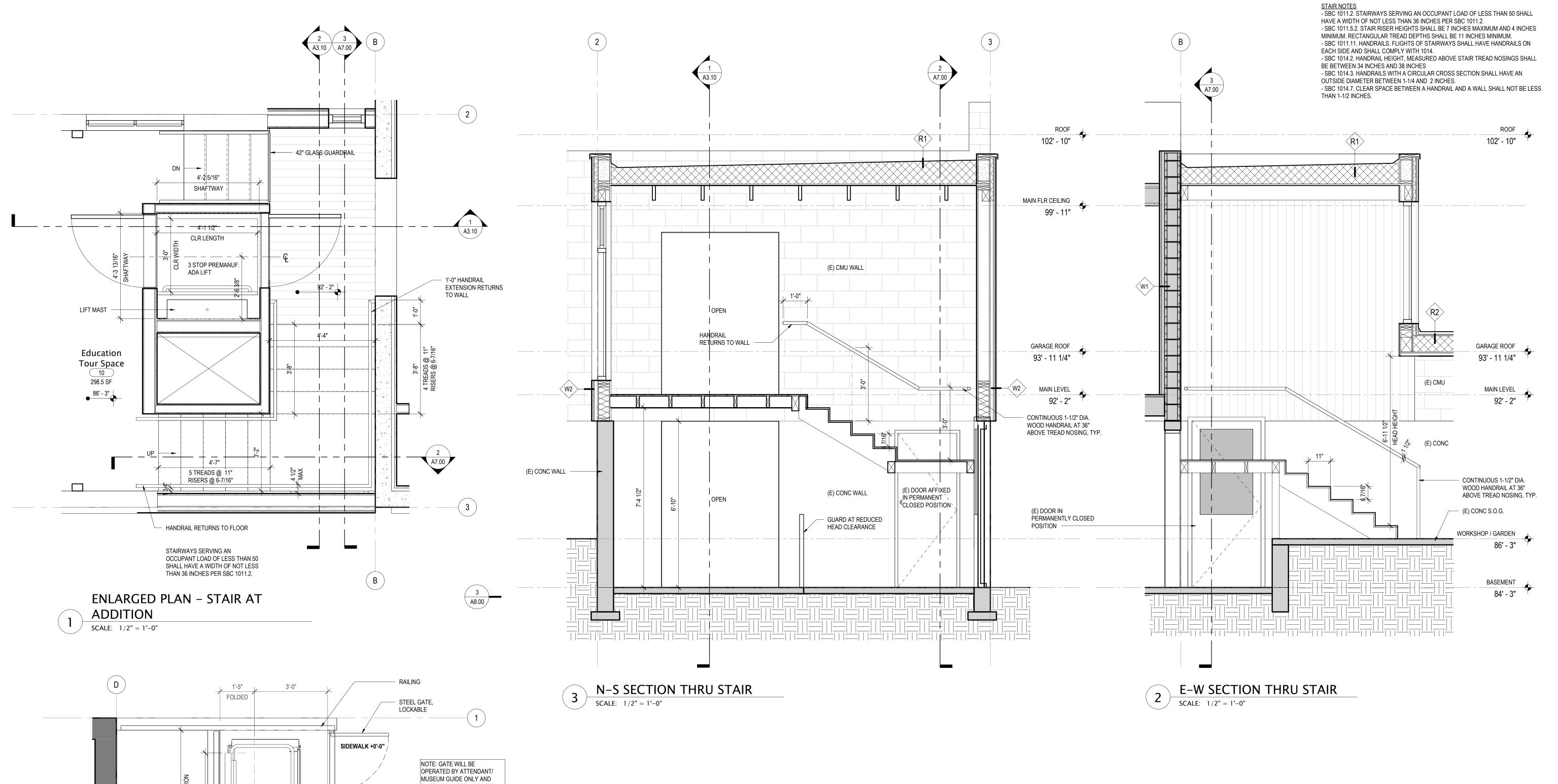




SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS 1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 STATE OF WASHINGTON Official Stamps: Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE **BUILDING SECTIONS**

SECTION LEGEND

Autodesk Docs://Eng Family Homestead/Eng Homestead.rvt



ENLARGED PLAN – INCLINED
PLATFORM LIFT AT 8TH AVE S

SCALE: 1/2" = 1'-0"

FREE-STANDING TOWER SUPPORTS INCLINED

PLATFORM LIFT (SIDE LOAD)

> CONC STAIRS ___4 TREADS @ 11"_ 5 RISERS @ 6"

4'-5" STAIR WIDTH

FRONT PATIO ELEV. +2'-6"

FIXED IN THE OPEN POSITION

FOR THE DURATION OF

CONC RETAINING WALL

WROUGHT-IRON RAILING (SEE

STAIR RAILING

ELEVATIONS)

EXISTING ROCKERY

SEATTLE WA 98122-4465 206.322.1130 STATE OF WASHINGTON Official Stamps: Eng Family Homestead Renovatio
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE VERTICAL CIRCULATION

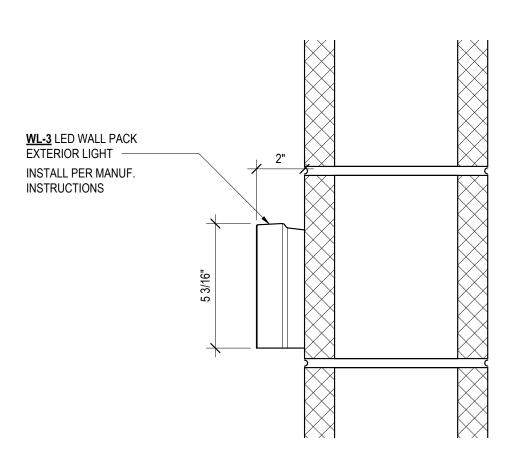
SUNDBERG

LY-AU YOUNG

1501 E MADISON, SUITE 205

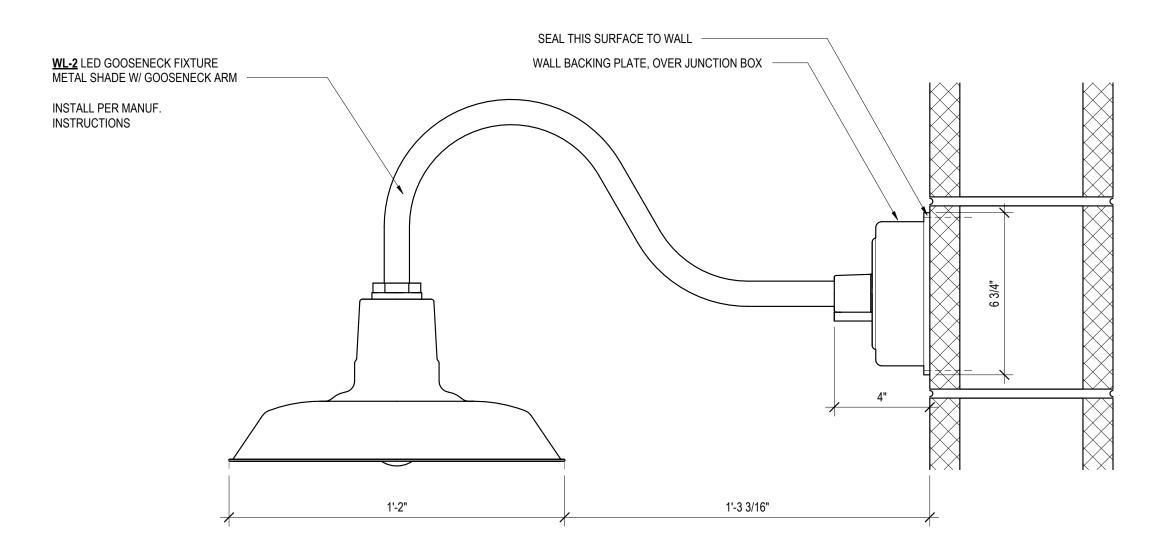
ARCHITECTS

KENNEDY



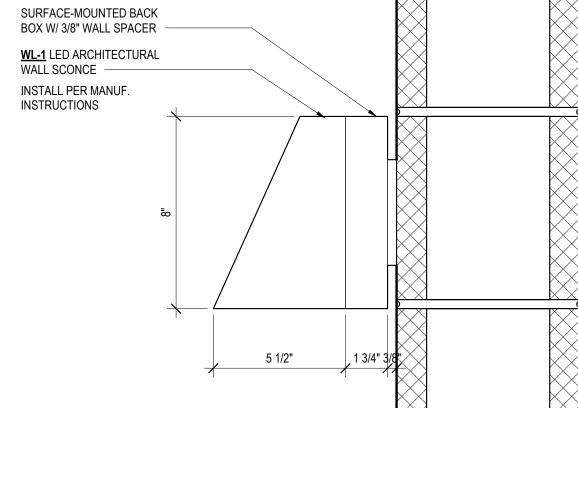
3 WL-3 ATTACHMENT PROFILE

SCALE: 3" = 1'-0"



2 WL-2 ATTACHMENT PROFILE

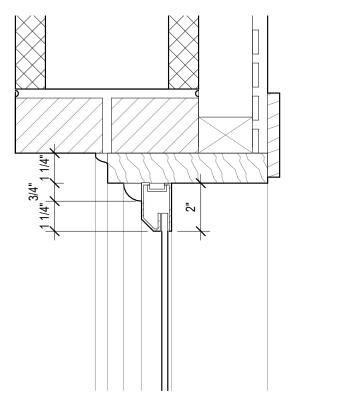
SCALE: 3" = 1'-0"

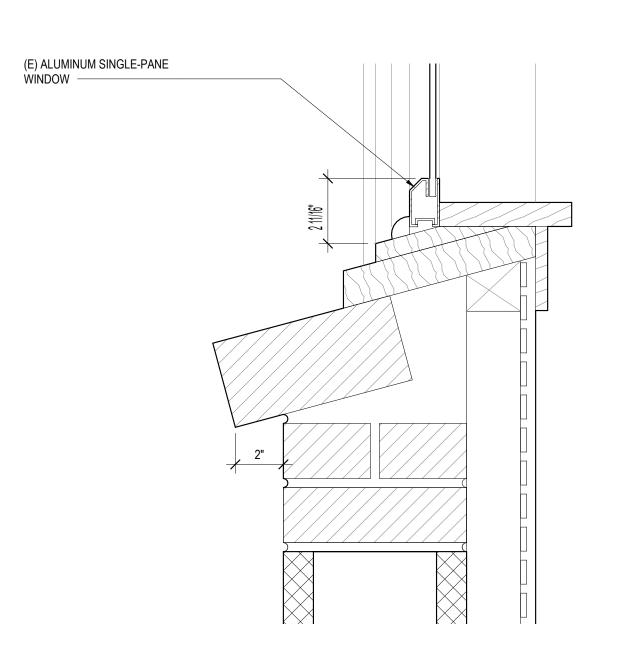


WL-1 ATTACHMENT PROFILE

SCALE: 3" = 1'-0"

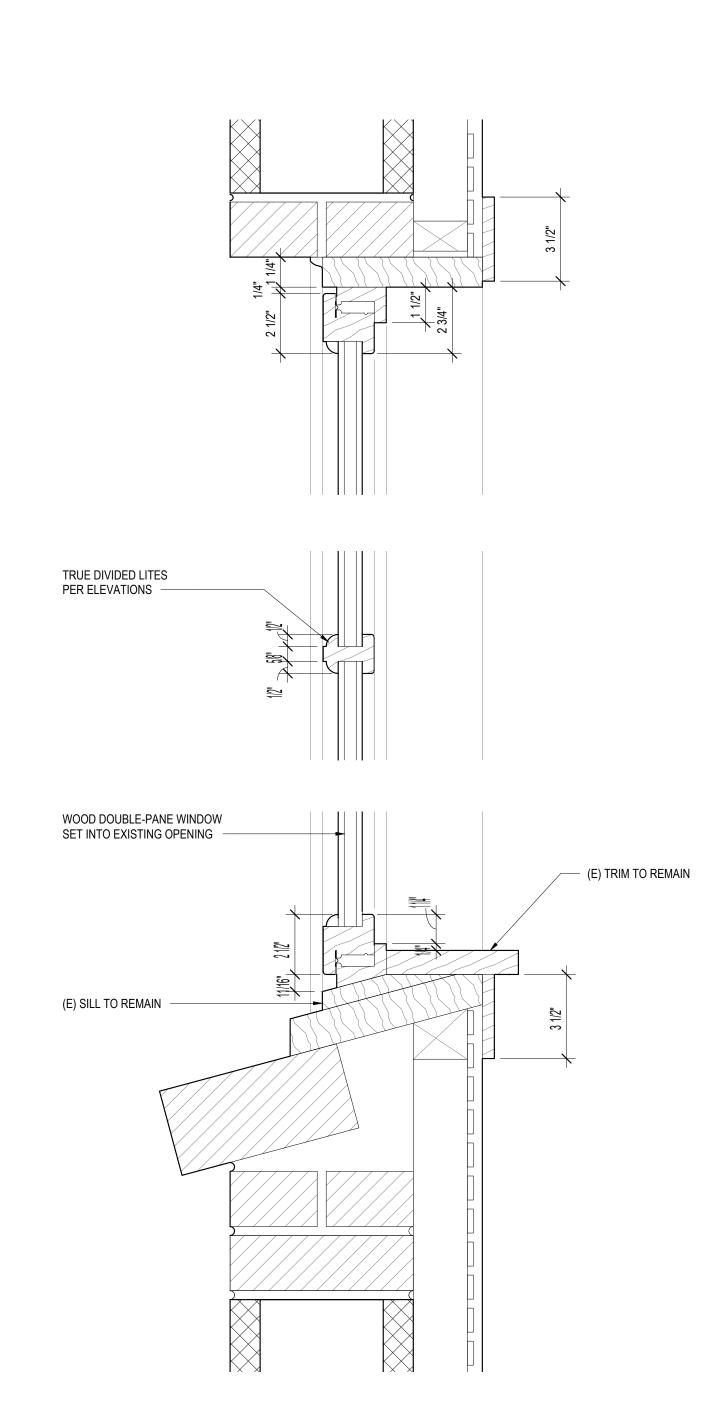
EXTERIOR CMU WALL -





EXISTING

TYPICAL WINDOW DETAILS -SCALE: 3" = 1'-0"



NOTE: WEST WINDOWS ARE DOUBLE HUNG WINDOWS WITH SIMILAR PROFILE TO CASEMENT SHOWN.

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

Official Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE

EXTERIOR DETAILS

GENERAL STRUCTURAL NOTES

THE FOLLOWING SHALL APPLY UNLESS SHOWN OTHERWISE ON THE PLANS

- SUMMARY OF WORK: THIS PROJECT CONSISTS OF A NEW STAIR ADDITION, TENANT IMPROVEMENTS, AND A VOLUNTARY SEISMIC UPGRADE TO AN EXISTING ONE-STORY RESIDENCE WITH AN ATTACHED GARAGE. THE EXISTING BUILDING UPGRADE HAS BEEN DESIGNED FOLLOWING THE EVALUATION AND RETROFIT STANDARDS OF THE SEATTLE EXISTING BUILDING CODE 303.4.2 AND ASCE 41-17 FOR A COLLAPSE PREVENTION PERFORMANCE OBJECTIVE IN A 75% BSE-2E LEVEL EARTHQUAKE. REFERENCE ENGINEER'S STRUCTURAL EVALUATION REPORT IN ACCORDANCE WITH DIRECTOR'S RULE DR 15-2021, DATED SEPTEMBER 15, 2023. ALL NEW STRUCTURAL ELEMENTS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE 2018 SEATTLE
- 2. DOCUMENTS: STRUCTURAL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DOCUMENTS FOR ALL BIDDING AND CONSTRUCTION.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. TYPICAL DETAILS AND GENERAL NOTES SHALL APPLY EVEN IF NOT SPECIFICALLY DENOTED ON PLANS, UNLESS NOTED OTHERWISE. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF RECORD.

PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTIONS, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

EXISTING STRUCTURAL INFORMATION, DESIGNATED AS (E) ON THE STRUCTURAL DRAWINGS, HAS BEEN COMPILED FROM INFORMATION FURNISHED BY VARIOUS SOURCES AND IS NOT NECESSARILY FIELD-VERIFIED BY THE ENGINEER. DIMENSIONS RELATING TO THE EXISTING STRUCTURES ARE INTENDED FOR USE AS GUIDELINES ONLY; ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS SHALL BE FIELD-VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

- 3. WARRANTY: THE STRUCTURAL ENGINEER OF RECORD HAS USED THE DEGREE OF CARE AND SKILL ORDINARILY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY MEMBERS OF THE PROFESSION IN THIS LOCALE AND NO OTHER WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE IN CONNECTION WITH RENDERING PROFESSIONAL
- OWNER RESPONSIBILITY: THE OWNER SHALL RETAIN A SPECIAL INSPECTOR TO PERFORM THE SPECIAL INSPECTION REQUIREMENTS REQUIRED BY THE BUILDING OFFICIAL AND AS OUTLINED IN THE QUALITY ASSURANCE SECTION BELOW.

- ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS. SPECIFICATIONS, THE 2018 INTERNATIONAL BUILDING CODE (IBC), WITH STATE AND LOCAL JURISDICTION AMENDMENTS.
- 6. DESIGN LOADING CRITERIA

ROOF SNOW LOAD	40 PSF
LATERAL LOADS - WIND BASIC WIND SPEED	97 MPH
IMPORTANCE FACTOR	1.0
Kzt	1.0
EXPOSURE	В
INTERNAL PRESSURE COEFF.	+/- 0.18
COMPONENTS & CLADDING (20 FT^2, ULTIMATE)	22.2 PCE (EIELP) / 25.0 PCE (EDCE)
WALL	22.3 PSF (FIELD) / 25.8 PSF (EDGE)
ROOF	31.0 PSF (FIELD) / 41.4 PSF (EDGE)
WIND DESIGN BASE SHEAR (ULT)	2.29 KIPS (E/W) / 2.13 KIPS (N/S)
LATERAL LOADS - SEISMIC	
SEISMIC IMPORTANCE FACTOR	Ip=1.0
STRUCTURAL OCCUPANCY CATEGORY	II
MAPPED SPECTRAL RESPONSE ACCELERATIONS	Ss=1.413g, S1=0.493g
BUILDING LOCATION	47.5972 N, 122.3227 W
SITE CLASS	, D
SPECTRAL RESPONSE COEFFICIENTS	SDs=1.131g
SEISMIC DESIGN CATEGORY	D
BASIC SEISMIC FORCE RESISTING SYSTEM	LIGHT FRAMED SHEAR WALLS
DESIGN BASE SHEAR (ULT)	2.56 KIPS
RESPONSE MODIFICATION FACTOR	R = 6.5
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE

- 7. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURE DURING CONSTRUCTION".
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK.THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 9. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 11. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

CONCRETE MIX DESIGN

REINFORCING STEEL SHOP DRAWINGS & PLACEMENT PLAN

STRUCTURAL STEEL DEFERRED STRUCTURAL COMPONENTS AS REQUIRED (REF NOTE #13)

12. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

13. SHOP DRAWINGS OF DEFERRED STRUCTURAL DESIGN BUILD COMPONENTS INCLUDING CURTAIN WALL SYSTEMS, SKYLIGHT FRAMES, PREFABRICATED STAIR SYSTEMS, EXTERIOR CLADDING, CANOPIES, STORAGE RACKS (GREATER THAN 6 FT IN HEIGHT), HANDRAILS, GUARDS, GRAB RAILS, AND PRE-MANUFACTURED TRUSSES SHALL INCLUDE THE DESIGNING PROFESSIONAL ENGINEER'S STAMP, STATE OF WASHINGTON, AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW OF THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF DOCUMENTS TO THE BUILDING OFFICIAL FOR APPROVAL AS REQUIRED. THE DEFERRED STRUCTURAL COMPONENTS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS.SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE MADE AVAILABLE UPON REQUEST.

QUALITY ASSURANCE

14. THE OWNER SHALL RETAIN A SPECIAL INSPECTOR TO PERFORM THE SPECIAL INSPECTION REOUIREMENTS AS REQUIRED BY THE BUILDING OFFICIAL AS OUTLINED IN SECTION 1704 OF THE INTERNATIONAL BUILDING CODE. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF

SOILS	IBC 1705.6
CONCRETE CONSTRUCTION	IBC 1705.3, ACI 318
WOOD CONSTRUCTION	IBC 1705.5
STEEL CONSTRUCTION	IBC 1705.2, AISC 360
POST-INSTALLED ANCHOR INSTALLATION	IBC 1705.1.1/TABLE 1705.3
EPOXY GROUTED INSTALLATION	ESR REPORT

<u>GEOTECHNICAL</u>

SO

- 15. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR POSSIBLE FOUNDATION REDESIGN.
- ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH FREE FROM ORGANIC MATERIALS AT LEAST 18" BELOW ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, SLOUGHS, DEBRIS AND FREE OF WATER AT ALL TIMES. IF ORGANIC SILT AND/OR FILL MATERIAL IS ENCOUNTERED AT SUBGRADE, OVER-EXCAVATE A MINIMUM OF 2'-0" BELOW THE DESIGN FOUNDATION SUBGRADE ELEVATION PRIOR TO PLACING FOOTINGS. THE OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH STRUCTURAL FILL COMPACTED TO 95% PROCTOR PER ASTM D-1557 OR A LEAN CONCRETE MIX.

ALLOWABLE SOIL PRESSURE	2000 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED)	. 55 PCF/35 PCF
COEFFICIENT OF FRICTION (FACTOR OF SAFETY OF 1.5 INCLUDED)	0.30

OTHERWISE NOTED ON PLANS.

16. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF, ON EXISTING ROOF SYSTEMS TO 25 PSF.

EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS, AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO
- CUTTING ANY OPENINGS. C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE. D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNLESS
- 17. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR
- 18. WHERE NEW EXCAVATIONS EXTEND BELOW AND UNDERMINE EXISTING FOOTINGS, THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROVIDE TEMPORARY SUPPORT TO THE STRUCTURE AND EXISTING FOUNDATION AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL ALL TEMPORARY SUPPORT AS REQUIRED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
- 19. ALL EXTERIOR MASONRY WALLS SHALL BE SURVEYED, INSPECTED AND REPAIRED AS FOLLOWS BY AN EXPERIENCED MASON:

SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE CONCRETE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS FIRE ESCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER AS TO THEIR FINDINGS.

20. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906, AND ACI 301, INCLUDING TESTING PROCEDURES. MINIMUM STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONSTRUCTION	MIN 28 DAY	MAXIMUM	MAXIMUM	AIR	MAXIMUM
	STRENGTH (f'c)	W/C RATIO	AGGREGATE	CONTENT	SLUMP
ALL STRUCT CONCRETE	4,000 PSI	0.38	3/4"	5% +/- 1	3.5"

ADMIXTURES: ALL CONCRETE, INCLUDING SLAB ON GROUND, SHALL CONTAIN AN ACCEPTABLE WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494 AND BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

- 21. THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE 1904.2.1 OF THE INTERNATIONAL BUILDING CODE.
- 22. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy = 60,000 PSI.
- 23. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

- 24. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS: FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST EARTH FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER) 1-1/2" COLUMN TIES OR SPIRALS AND BEAM STIRRUPS GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4" SLABS AND WALLS (INT. FACE)
- 25. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

- 26. EPOXY-GROUTED ITEMS INTO CONCRETE (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-RE 500 V3" HIGH-STRENGTH EPOXY AS MANUFACTURED BY THE HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3814. SPECIAL INSPECTION PER ESR. RODS SHALL BE ASTM A-36 GALVANIZED, UNLESS OTHERWISE NOTED.
- 27. EPOXY-GROUTED ITEMS INTO GROUTED CONCRETE MASONRY (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-HY 270" HIGH-STRENGTH EPOXY AS MANUFACTURED BY THE HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4143. SPECIAL INSPECTION PER ESR. RODS SHALL BE ASTM A-36 GALVANIZED, UNLESS OTHERWISE NOTED.
- 28. EXPANSION BOLTS INTO CONCRETE SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION PER ESR REPORT.
- 29. SCREW BOLTS INTO CONCRETE AND GROUTED CONCRETE MASONRY SHALL BE "KH-EZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3027 AND ESR-3056, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION PER ESR REPORT.

<u>STEEL</u>

- 30. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:
- 1. AISC 360 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS AND CHAPTER 22 OF THE INTERNATIONAL BUILDING CODE.
- 2. AISC 303, CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AMENDED AS NOTED IN THE CONTRACT DOCUMENTS AND BY THE DELETION OF PARAGRAPH 4.4.1.
- 31. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

3. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

		·	
	TYPE OF MEMBER	ASTM SPECIFICATION	Fy
A.	WIDE FLANGE SHAPES	A992	50 KSI
B.	HSS SQUARE & RECT.	A500 (GRADE B)	46 KSI
C.	CHANNELS, ANGLES AND PLATES	A36	36 KSI
D.	ANCHOR RODS	F1554, GRADE 36	36 KSI
E.	CONNECTION BOLTS	A325	

- 32. ALL A-325-N CONNECTION BOLTS, NOT PART OF THE SEISMIC LOAD RESISTING SYSTEM (SLRS), NEED ONLY BE TIGHTENED TO SNUG-TIGHT (ST) CONDITIONS, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OF THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS OTHERWISE NOTED. ALL ASTM A-307 BOLTS SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS.
- 33. ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END, UNLESS OTHERWISE NOTED.
- 34. COATINGS AND PROTECTION (WEATHER, FIRE, CORROSION, ETC) SHALL BE AS SPECIFIED BY THE ARCHITECT. GALVANIZED STEEL MEMBERS SHALL CONFORM TO ASTM A-123 AND GALVANIZED STEEL HARDWARE SHALL CONFORM TO ASTM A-153. ALL STEEL NOTED AS GALVANIZED AND ANY STEEL IN GROUND CONTACT OR WITHIN 6" OF GRADE SHALL BE ZINC-PLATED (GALVANIZED) BY THE HOT-DIPPED GALVANIC METHOD (OR PRE-APPROVED EQUIVALENT). EXCEPT WHERE SUCH STEEL IS TO BE FULLY ENCASED IN CONCRETE. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 35. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT-LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.
- 36. NON-SHRINK GROUT FOR STEEL BASE PLATES SHALL BE AN APPROVED NONSHRINK CEMENTITIOUS GROUT CONTAINING NATURAL AGGREGATES DELIVERED TO THE JOB SITE IN FACTORY PREPACKAGED CONTAINERS REQUIRING ONLY THE ADDITION OF WATER. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000PSI MINIMUM). GROUT SHALL MEET ASTM C1107 REQUIREMENTS. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. APPROVED GROUTS INCLUDE: MASTER BUILDER'S "MASTER FLOW 713", SIKA CORPORATION'S "SIKAGROUT 212", BURKE COMPANY'S "NONFERROUS NONSHRINK GROUT", W.R. MEADOWS CG-86 CONSTRUCTION GRADE GROUT.

37. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS:	(2X & 3X MEMBERS)	HEM FIR NO. 2
5616.67.112.22.11.16.	(=/: 0: 0/: : =: : == :: 0)	MINIMUM BASE VALUE, FB = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR NO. 2
		MINIMUM BASE VALUE, FB = 1000 PSI
LARGE BEAMS:	(INCL. 6X AND LARGER)	DOUGLAS FIR NO. 1
		MINIMUM BASE VALUE, FB = 1350 PSI
POSTS:	(4X MEMBERS)	DOUGLAS FIR NO. 1
		MINIMUM BASE VALUE, FC = 1300 PSI
	(6X AND LARGER)	DOUGLAS FIR NO. 1
		MINIMUM BASE VALUE, FC = 1000 PSI
STUDS, PLATES & MISC. FRA	AMING:	HEM FIR NO. 2

38. PLYWOOD SHEATHING SHALL BE APA RATED, GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH PS-1 OR PS-2 AND IBC 2304.7 AND TABLE 2304.7(2). REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

ROOF SHEATHING SHALL BE 19/32" (NOMINAL) WITH SPAN RATING 32/16, UNO. WALL SHEATHING SHALL BE 15/32" (NOMINAL) WITH SPAN RATING 24/0, UNO.

- 39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY, EXPOSED TO WEATHER, OR THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LOCATED WITHIN 8" OF EARTH, SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. NAILS, SCREWS, BOLTS W/NUTS AND WASHERS, ANCHOR BOLTS, HOLDOWNS AND ANY OTHER STEEL DEVICES IN DIRECT CONTACT WITH THE TREATED WOOD SHALL BE EITHER STAINLESS STEEL OR GALVANIZED PER THE MANUFACTURER TO PREVENT DIRECT CONTACT BETWEEN THE STEEL AND THE TREATED WOOD. TAPED AND PAINTED SEPARATION TECHNIQUES MUST BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND RECEIVE PRIOR APPROVAL FROM THE ARCHITECT AND ENGINEER.
- 40. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR MOST RECENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS, SCREWS, OR BOLTS IN EACH MEMBER. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS CALLED OUT BELOW. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

41. WOOD FASTENERS

A.	NAIL	SIZES	SPECIFIED	ON	DRAWINGS	ARE	BASED	ON	THE	FOLLOWING SPECIFICATIONS:
				SI	ZE	LENG	TH	D	IAME	TER
				80)	2-1/2		0).131"	
				10)D	3"		0	.131"	
				12	2D	3-1/4	ıı	0	.148"	

3-1/2"

16D

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

0.162"

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" DIA AND SMALLER LAG SCREWS. BOLT HOLES SHALL BE A MINIMUM OF $\frac{1}{3}$ 2" TO A MAXIMUM OF $\frac{1}{6}$ " LARGER THAN THE BOLT DIAMETER. HOLES SHALL BE ACCURATELY ALIGNED IN MAIN MEMBERS AND SIDE PLATES/MEMBERS. BOLTS SHALL NOT BE FORCIBLY DRIVEN.
- C. SDS SERIES WOOD SCREWS CALLED OUT ON PLAN SHALL BE "SIMPSON STRONG-DRIVE" WOOD SCREWS BY SIMPSON STRONG-TIE COMPANY, AND INSTALLED IN STRICT ACCORDANCE TO ICC-ES REPORT ESR-2236. EQUIVALENT SCREWS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. LAG SCREWS ARE NOT AN EQUIVALENT SUBSTITUTION. UNLESS NOTED OTHERWISE, A MINIMUM EMBEDMENT OF 2.5 INCHES SHALL BE
- 42. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC, THE AITC "TIMBER CONSTRUCTION MANUAL", AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE IBC, COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. 4X8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS IN STRUCTURAL WALLS, UNLESS OTHERWISE NOTED. NAIL MULTI-MEMBER HEADERS WITH (2) ROWS OF 10D NAILS @ 12"O.C. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE AND BOTTOM PLATE TO EACH STUD WITH (3) 10D NAILS. FACE NAIL DOUBLE TOP PLATE WITH 10D @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE (12) 10D NAILS @ 4" O.C. EACH SIDE JOINT. AT TOP PLATE INTERSECTIONS PROVIDE (3) 10D FACE NAILS.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH (2) ROWS OF 12D NAILS @ 16" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END OF THE PLATE SECTION. INDIVIDUAL MEMBERS OF BUILT- UP POSTS SHALL BE NAILED TO EACH OTHER WITH (2) ROWS OF 10D @ 16" O.C., STAGGERED. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING WITH #6 X 1-1/4" TYPE S OR W SCREWS @ 12"O.C. PROVIDE 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), AND TOP AND BOTTOM PLATES WITH 8D NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL TIMBER JOISTS TO SUPPORTS WITH (3) 10D NAILS AND NAIL TJI JOISTS TO SUPPORTS WITH (2) 10D NAILS. ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH (2) ROWS OF 10D NAILS @ 12" O.C. STAGGERED. TOENAIL RIM JOIST TO TOP PLATE WITH 10D @ 6"OC. TOENAIL BLOCKING BETWEEN JOISTS TO TOP PLATE WITH (3) 10D NAILS.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6" O.C. TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND WITH 8D NAILS @ 12"O.C.TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 10D NAILS @ 12" O.C. WITH MINIMUM OF (2) 10D NAILS PER BLOCK UNLESS OTHERWISE NOTED.

- 43. NOTCHES AND HOLES IN WOOD FRAMING:
- A. SAWN LUMBER JOISTS AND RAFTERS: NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/2 THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED $\frac{1}{6}$ THE JOIST DEPTH, BE LONGER THAN 1/3 THE JOIST DEPTH, OR BE LOCATED IN THE MIDDLE 1/3 OF SPAN. HOLES SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED

 ✓ THE JOIST DEPTH. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL BE LOCATED A MINIMUM OF 2" FROM ANY NOTCH.
- B. EXTERIOR AND BEARING WALLS: WOOD STUDS ARE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 1/4 OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED IN WOOD STUDS. HOLES SHALL NOT BE WITHIN ¾" TO THE EDGE OF THE STUD. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL NOT BE LOCATED AT THE SAME SECTION AS A NOTCH.
- C. CUTS, NOTCHES, AND HOLES IN MANUFACTURED LUMBER, PREFABRICATED PLYWOOD WEB JOISTS, AND PREFABRICATED TRUSSES ARE PROHIBITED EXCEPT WHERE NOTED ON STRUCTURAL PLANS OR PERMITTED BY MANUFACTURER'S RECOMMENDATIONS.
- 44. STAIR AND STAIR LANDING FRAMING REQUIREMENTS 4'-0" MAX WIDTH UNLESS NOTED OTHERWISE

LANDINGS: SPAN 2X6 JOISTS AT 16"OC IN SHORT DIRECTION OF LANDING. AT FULL HEIGHT WOOD STUDS, PROVIDE 2X6 CONTINUOUS LEDGER W/ (3) 0.131 X 3-1/4" NAILS TO EACH STUD. AT CONCRETE WALLS, PROVIDE TREATED 2X6 CONTINUOUS LEDGER W/ 5/8" DIAMETER ANCHOR RODS AT 16"OC, EMBED 5". WHERE LANDING EDGE IS NOT SUPPORTTED BY BEAM, FULL HEIGHT STUD WALL, OR FULL HEIGHT CONCRETE WALL, PROVIDE 2X4 AT 16"OC CRIPPLE WALL FROM LANDING EDGE TO SLAB ON GRADE BELOW.

STRINGERS 9'-0" IN LENGTH OR LESS: PROVIDE 2X12 STRINGERS AT CENTER AND SIDES OF STAIR. NOTCH TO 5-1/2" MINIMUM DEPTH AND PROVIDE HUS 26 HANGERS TO SUPORTING BEAMS. AT CENTER STRINGER, SISTER 2X6 EA SIDE OF STRINGER AND AT SIDE STRINGERS, SISTER 2X6 ONE SIDE OF STRINGER. END SISTERED 2X6 'S SHORT OF HANGERS.

WHERE STRINGERS BEAR ON TOP OF WOOD FLOOR FRAMING BELOW, PROVIDE (2) LS70 CLIP AT BOTTOM OF STRINGER. WHERE STRINGERS BEAR ON CONCRETE SLAB, PROVIDE 2X TREATED SILL PLATE W/ 5/8" EXPANSION BOLT AT EACH STRINGER (EMBED 3-1/8").

EXTERIOR STAIR APPLICATIONS SHALL CONSIST OF TREATED LUMBER.

SUNDBERG **KENNEDY**

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

 \simeq

588

tea

es

om Seat

Ţ

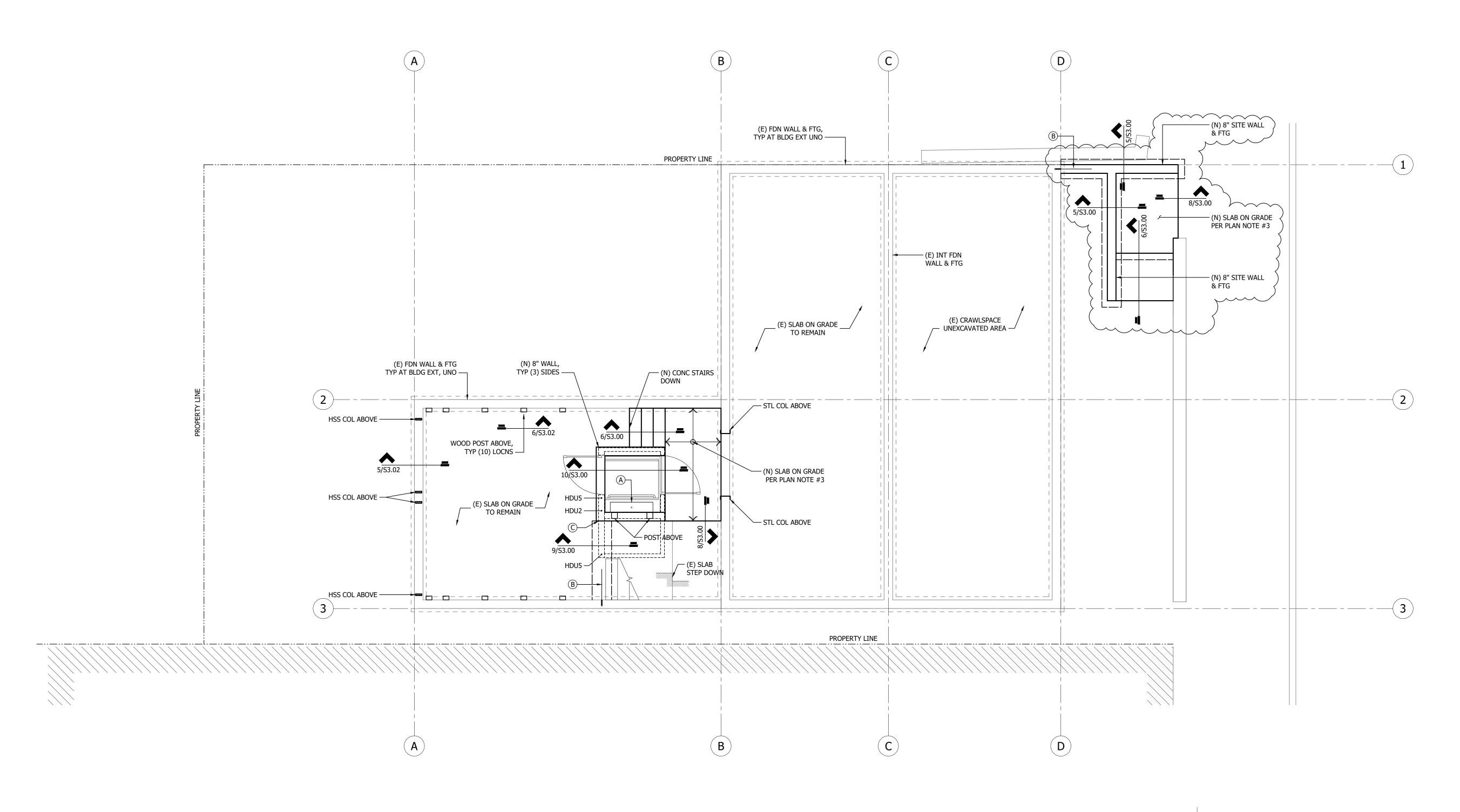
amily Ave Sou

止 후

ng :

STRU

ERAL



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISH GRADES, AND TOP OF WALL ELEVATIONS.
- 2. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 3. TYPICAL SLAB ON GRADE SHALL BE 4" THICK. REINFORCE w/ #4 BARS @ 18"oc. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL.
- 4. ALL FOOTINGS MUST BE CENTERED ON LOADS ABOVE AND PLACED ON FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. BOTTOM OF ALL NEW FOOTINGS SHALL BE 18" MINIMUM BELOW ADJACENT GRADE, UNO. REFER TO FOOTING SCHEDULE FOR SIZE AND REINFORCEMENT REQUIREMENTS AT ALL PAD FOOTINGS.
- 5. HD__ INDICATES HOLD-DOWN AT END OF SHEAR WALL ABOVE.
- 6. REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

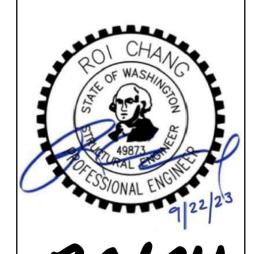
NEW CONCRETE WALL/SLAB NEW CONCRETE FOOTING (HIDDEN BELOW SLAB/GRADE) EXISTING CONCRETE WALL/SLAB EXISTING CONCRETE FOOTING (HIDDEN BELOW SLAB/GRADE) NEW WOOD WALL FRAMING ABOVE

FOOTNOTES

- A REFERENCE ARCH DWGS & LIFT MANUFACTURER SPECS FOR ALL DIMENSIONS, SOIL PLACEMENT/COMPACTION, AND INSTALLATION REQUIREMENTS. LIFT MANUFACTURER TO PROVIDE FINAL SITE SPECIFIC SHOP DRAWINGS FOR DESIGN COORDINATION AND APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
- PROVIDE NEW $\#4 \times 2'$ -2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW WALL FOOTING REINFORCING PER 7/S3.00.
- STEPPED FOOTING W/ ADDITIONAL BENT DOWELS BETWEEN CONTINUOUS FOOTING AND LIFT WALL FOOTING PER DETAIL 11/S3.00.

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

 \Box

Renovation

FOR CONSTRUCTION
PERMIT SET

Eng Family Homestead | 611 8th Ave South, Seattle, WA 981 | REVISIONS | No. DESCRIPTION | DATE | FILL Cycle 1 Revisions | Public 1 | Cycle 1 Revisions | Public 2 | P

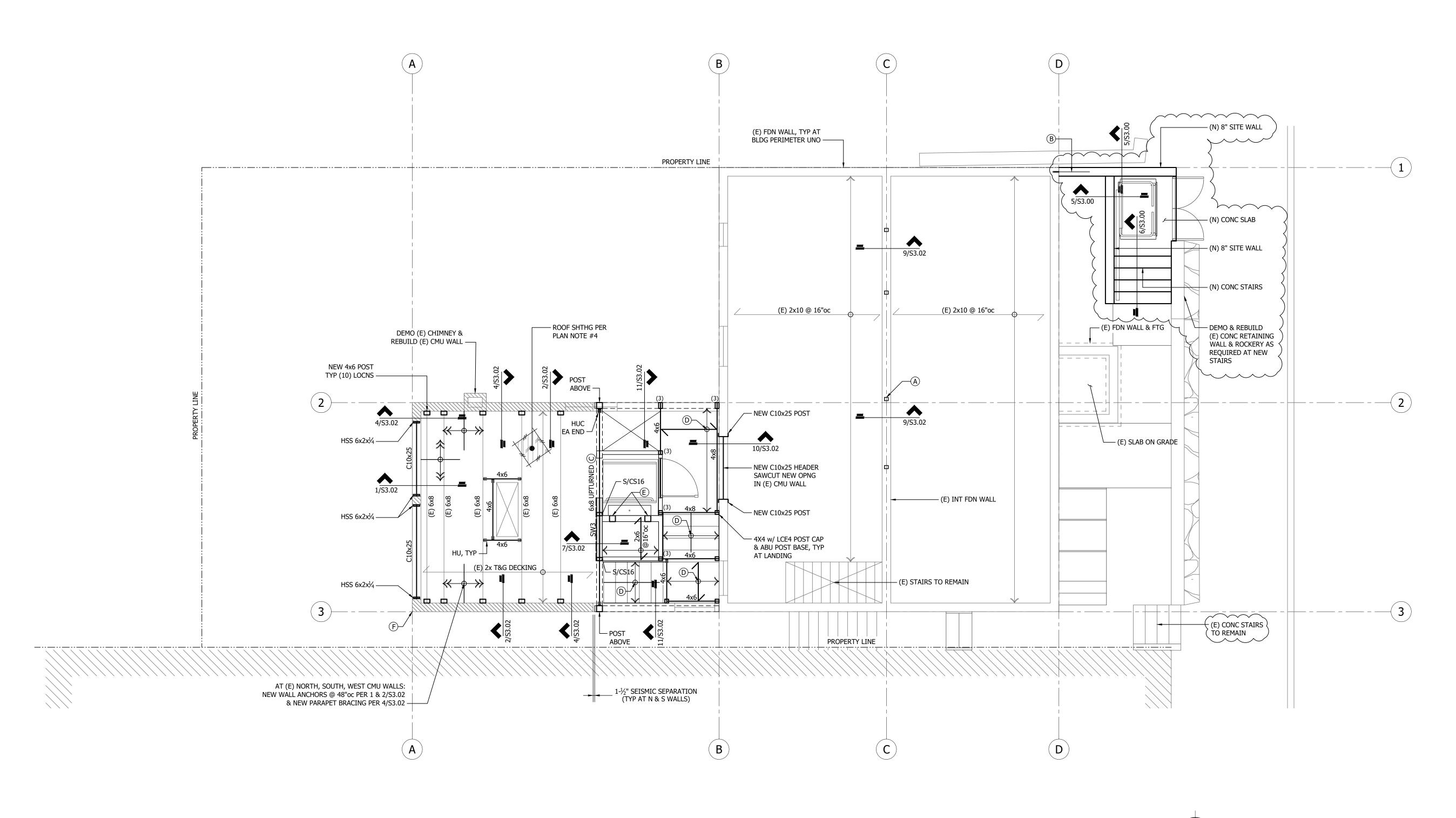
22019 NG 9/22/2023 1 RC RC

Project number

Date
Project Manager

Drawn by

2.00

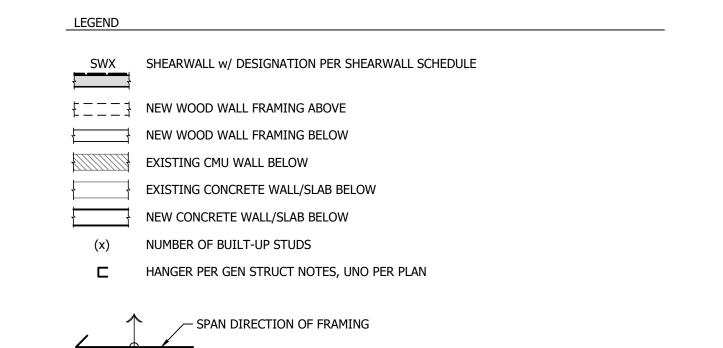


LOWER ROOF / FLOOR FRAMING PLAN

SCALE: $\frac{1}{4}$ " = 1'-0

LOWER ROOF / FLOOR FRAMING PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- 2. PLAN INDICATES FRAMING AT ROOF/FLOOR LEVEL AND WALLS/POSTS BELOW.
- 3. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 4. PROVIDE 19/32" APA RATED SHEATHING (32/16) OVER EXISTING ROOF DECKING. ATTACH SHEATHING WITH **8d x 1-½" NAILS @ 6"OC** TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12"OC TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO EXISTING ROOF DECKING DIRECTION, STAGGER PANEL JOINTS.
- 5. ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- 6. PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE.
- 7. S__ INDICATES HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE.
- 8. REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.



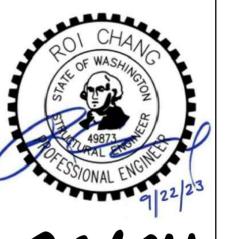
EXTENT OF FRAMING

FOOTNOTES

- (A) BLOCKING TO ALIGN w/ POST ABOVE PER 9/S3.02.
- B PROVIDE NEW #4 x 2'-2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW WALL & FOOTING REINFORCING PER 7/S3.00.
- © DRAG STRUT ATTACH EXISTING DECKING TO BEAM ABOVE WITH SDS $\frac{1}{4}$ x 8 SCREWS @ 24"oc OVER FULL LENGTH OF MEMBER.
- D PROVIDE STAIR AND LANDING FRAMING PER GENERAL STRUCTURAL NOTE #44 (REFER TO SHEET S1.00)
- (2) 6x6 FULL HEIGHT POST w/ (2) A35 TOP & BOTTOM. LOCATE PER LIFT MANUFACTURE SPECS.
- F REPAIR EXISTING MASONRY AS REQUIRED PER GENERAL STRUCTURAL NOTE #19.

SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

 \Box

OR CONSTRUCTION
PERMIT SET

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

REVISIONS

NO. DESCRIPTION
1 Cycle 1 Revisions
FOR CONSTRUCT

| REVISIONS | NO. DESCRIPTION | 22/2023 | 1 Cycle 1 Revisions | 1 | Cycle 1 Re

nber 2.99. nager R

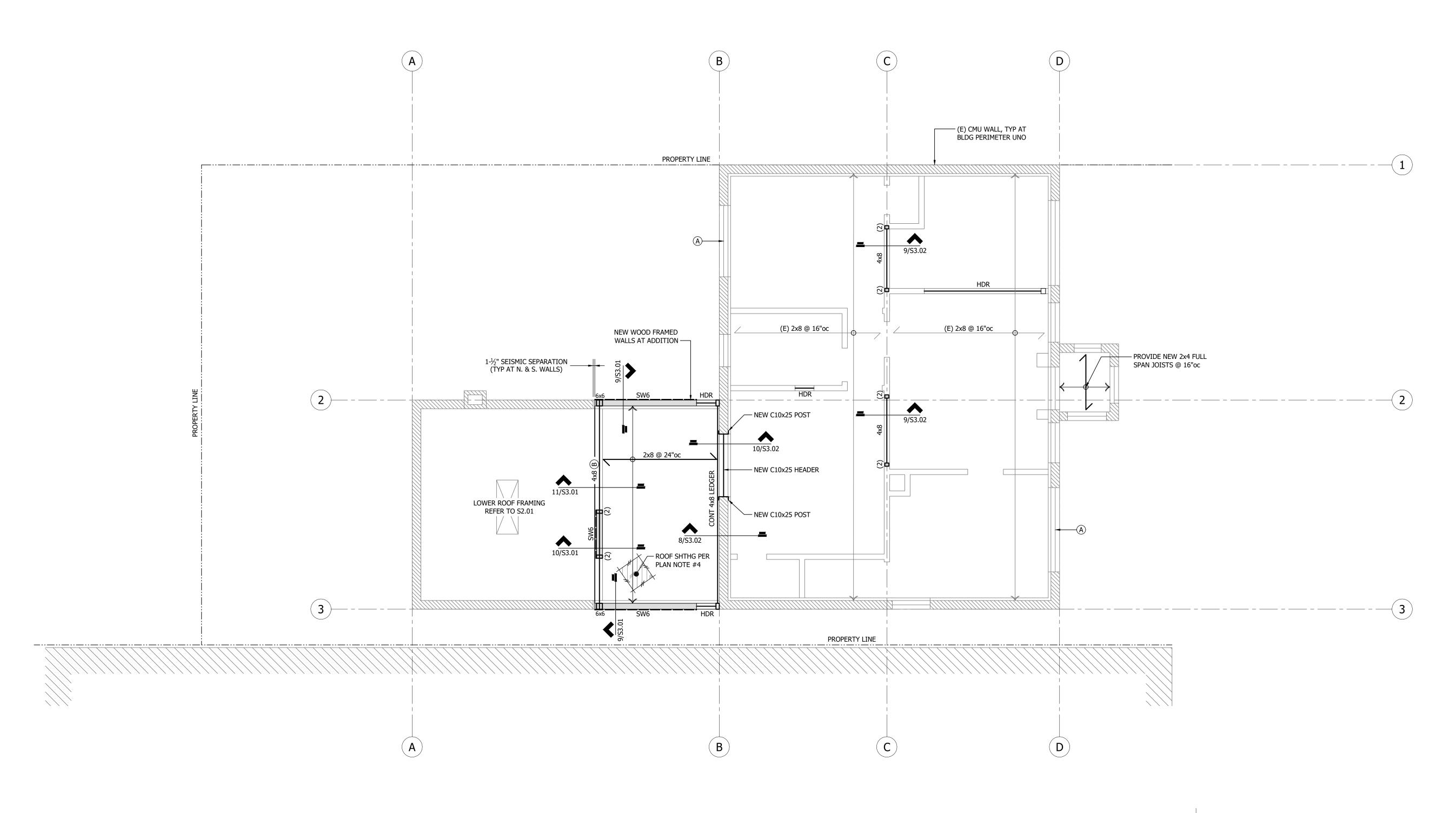
FRAMING

Project number

Date
Project Manager

Drawn by

S2.01

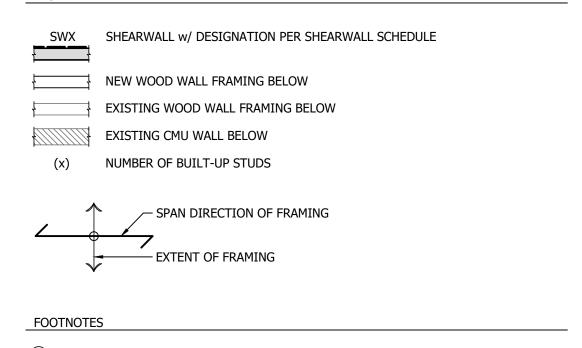


UPPER ROOF FRAMING PLAN

SCALE: $\frac{1}{4}$ " = 1'-0"

UPPER ROOF FRAMING PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- 2. PLAN INDICATES FRAMING AT ROOF LEVEL AND WALLS/POSTS BELOW.
- 3. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 4. NEW ROOF SHEATHING SHALL BE 19/32" APA RATED SHEATHING (32/16). ATTACH SHEATHING WITH 8d NAILS @ 6"OC TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12"OC TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOIST FRAMING DIRECTION, STAGGER PANEL JOINTS.
- 5. ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- 6. PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE. TYPICAL HEADERS OVER DOOR AND WINDOW OPENINGS (**HDR**) SHALL BE 4x6 MIN EXTERIOR, (2)2X6 MIN INTERIOR. UNLESS NOTED OTHERWISE, PROVIDE (1) FULL HEIGHT (KING) STUD AND (2) BEARING (TRIMMER) STUD AT EACH END OF BEAM/HEADER. NAIL MULTIPLE STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- 7. PROVIDE SIMPSON HARDWARE PCZ/EPCZ COLUMN TO BEAM CONNECTIONS, TYPICAL UNO. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION.
- 8. TYPICAL STUD WALLS SHALL BE 2x6 @ 16"oc AT EXTERIOR WALLS AND 2x4's OR 2x6's @ 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNLESS NOTED OTHERWISE.
- REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

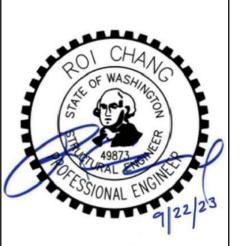


REMOVE & REPLACE EXISTING STEEL LINTEL w/ L6x6x½6 GALVANIZED ANGLE AS REQUIRED PER GENERAL STRUCTURAL NOTE #19, TYPICAL AT EAST & WEST WINDOW OPENINGS.

B EXTEND 4x8 BEAM CONTINUOUS TO NORTH & SOUTH INTERSECTING WALLS

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

 \Box

FOR CONSTRUCTION
PERMIT SET

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE
FOR CONSTRUCT

22019 NG 9/22/2023 RC RC RC

Project number

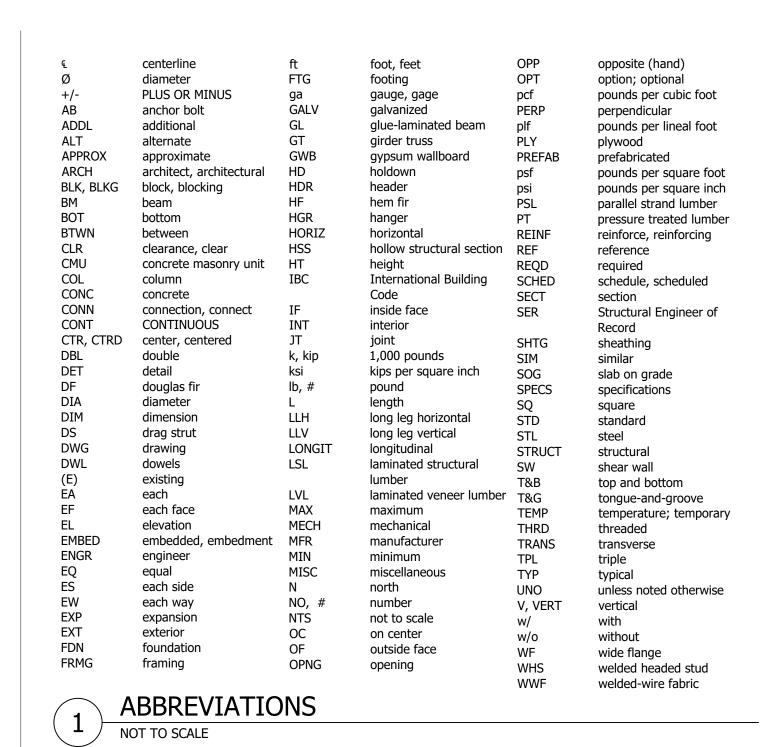
Date

Project Manager

Drawn by

52.02

ROOF



- Anchor PL $\frac{3}{8}$ " x 6" SQ

HUS-EZ 3/8" Ø x 3" CONC

w/ (4) HILTI KWIK

SCREWS @ 4"oc

- #4 @ 12"oc VERT (ALT HOOKS INTO FTG)

CTRD IN WALL

— SLAB ON GRADE

& #4 @ 12"oc HORIZ,

PREFAB GUARDRAIL DESIGN BY OTHERS;

SPACE STANCHION

POSTS @ 4'-0" MAX

(3'-6" MAX HEIGHT)

FREE-DRAINING

BY GEOTECH

FOOTING DRAIN PER CIVIL

(2) #4 CONT ___/ 5" 8" 5"

EXTERIOR SITE RETAINING WALL

MATERIAL AS REQ'D

REINFORCING BAR LAP SPLICE & DEVELOPMENT LENGTH TABLE $f_c = 4.000 \text{ psi}$ GRADE 60 REINFORCING

	1 c = 7,000 psi	GNADL				
_	BAR SIZE		P SPLICE GTHS s)	DEVELOPME	RAIGHT NT LENGTHS d)	MIN HOOKED BAR EMBEDMENT LENGTHS
		TOP BARS	OTHER BARS	TOP BARS	OTHER BARS	(Ldh)
	#3	25"	20"	20"	15"	6"
	#4	32"	25"	25"	19"	7"
	#5	41"	31"	31"	24"	8"
	#6	49"	38"	38"	29"	10"
	#7	71"	55"	55"	42"	12"
	#8	81"	62"	62"	48"	13"

(2) TYP —— VERT REINF VERT BARS - CORNER BARS TO - CORNER BARS TO MATCH MATCH HORIZ REINF CROSS WALL HORIZ REINF (ALT HOOKS) TYPICAL CORNER BARS: CROSS WALL HOOKS MAY BE SKEWED TO MAINTAIN COVER -SINGLE CURTAIN VERT REINF ADDITIONAL VERT BARS CORNER BARS TO - CORNER BARS TO MATCH CROSS WALL HORIZ REINF MATCH HORIZ REINF TYPICAL CORNER BARS: — CROSS WALL DOUBLE CURTAIN

CORNER BARS AT CONCRETE WALLS & FOOTINGS

ADDITIONAL -

CONTROL JOINT GRANULAR FILL PER PLAN — FIRST POUR SECOND POUR SLAB ON GRADE & - BURKE "KEYKOLD" JOINT. REINF PER PLAN -STOP REINF 1" CLEAR OF JOINT EACH SIDE - SUBGRADE PREP PER STRUCT GEN NOTES PLASTIC VAPOR BARRIER AND COMPACTED CONSTRUCTION JOINT PROVIDE CONTROL OR CONSTRUCTION JOINTS GRANULAR FILL PER PLAN — IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 200 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE

SLAB ON GRADE &

PLASTIC VAPOR BARRIER

AND COMPACTED

TYPICAL SLAB JOINTS

REINF PER PLAN —

 \sim CONT $\frac{1}{8}$ " x 1-1/2" PRE-MOLDED

CONTRACTOR'S OPTION)

SUBGRADE PREP PER

STRUCT GEN NOTES

MASTIC JOINT STRIP. (JOINT MAY

BE SAW CUT TO $\frac{1}{3}$ SLAB DEPTH AT

APPROVED BY THE ARCHITECT.

SUNDBERG

KENNEDY

LY-AU YOUNG

1501 E MADISON, SUITE 205

SEATTLE WA 98122-4465

P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

| Renovation

Eng Family Homestead

Ш

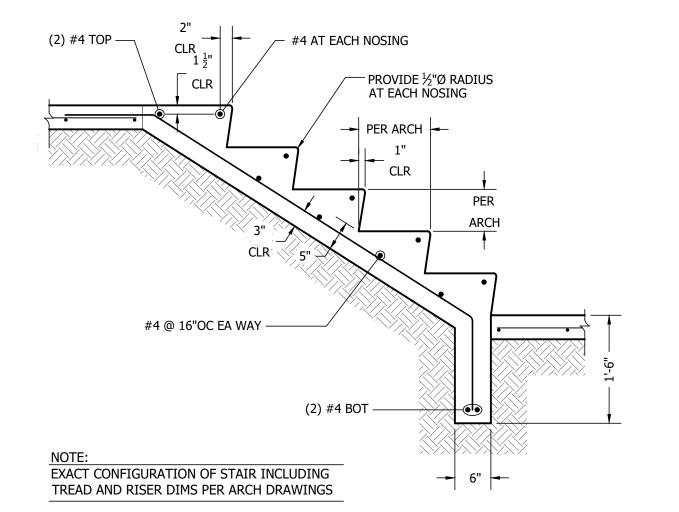
CONCRET

TYPICAL

206.322.1130

ARCHITECTS

REINFORCING BAR SCHEDULE



CONCRETE STAIRS ON GRADE

NOT TO SCALE

NEW WALL & FOOTING AT EXISTING

EPOXY DOWELS TO MATCH NEW

WALL & FTG REINF (5" EMBED),

ROUGHEN AND SANDBLAST (E)

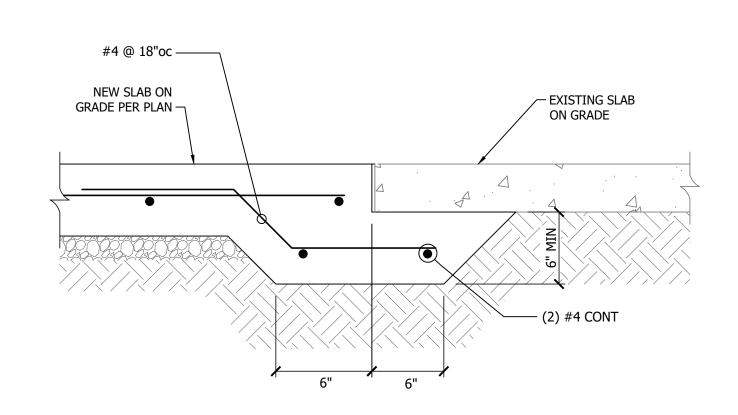
DEV LENGTH PER 2/S3.00

CONC WALL TO CSP 8 -

NEW REINF PER PLAN

NEW CONCRETE WALL & FOOTING PER PLAN —

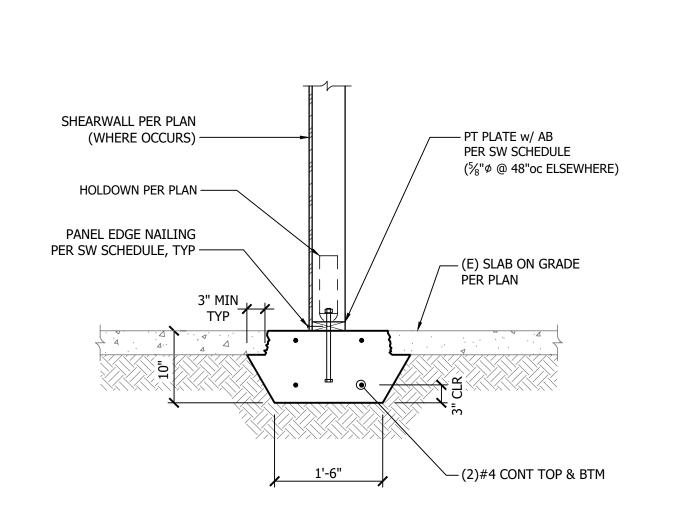
& WALL DETAIL ¬

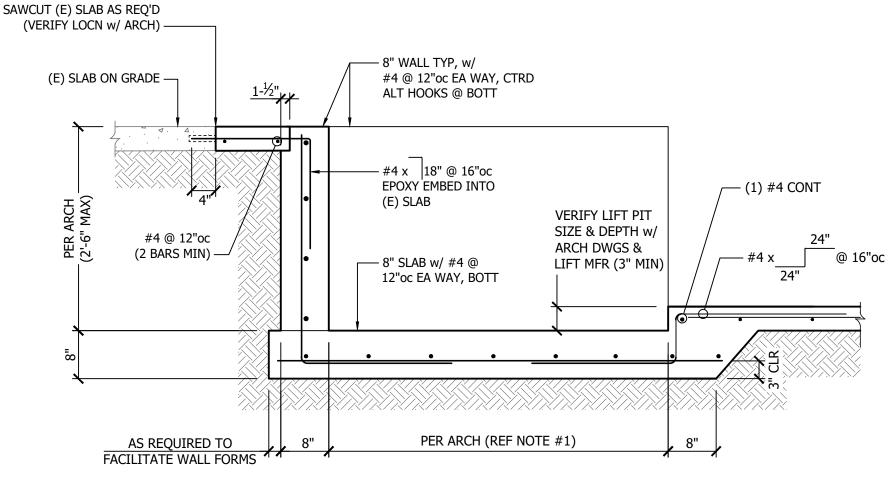


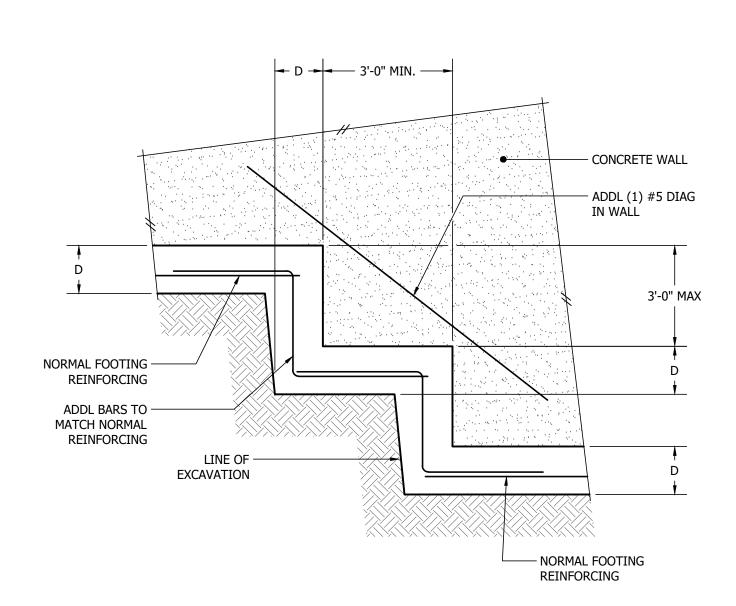
TYPICAL SLAB JOINT AT EXISTING SLAB

- (E) WALL & FOOTING

(FIELD VERIFY DIMS)





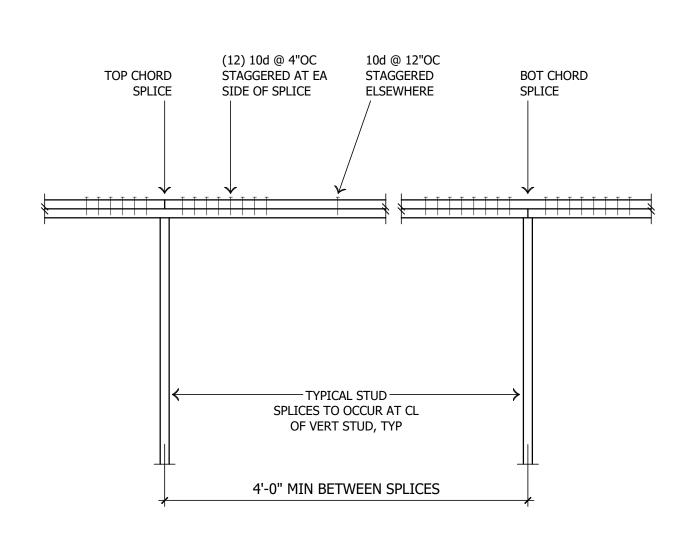


TYPICAL STEPPED FOOTING

1. REFERENCE ARCH DRAWINGS & LIFT MANUFACTURER SPECIFICATIONS FOR ALL DIMENSION, SOIL COMPACTION / PLACEMENT, AND LIFT INSTALLATION REQUIREMENTS.

NEW SHEARWALL AT EXISTING SLAB ON GRADE NOT TO SCALE

SECTION AT PLATFORM LIFT

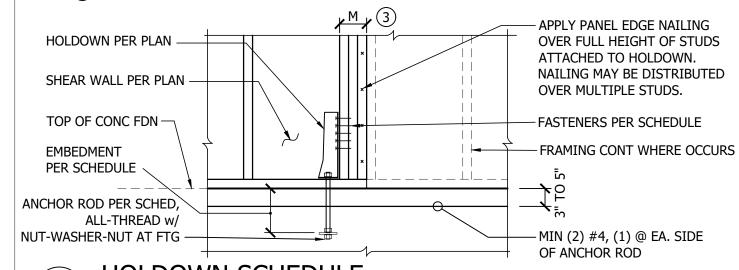


NOTE: WHERE BOTH TOP PLATES ARE DISCONTINUOUS, SPLICE w/ (1) CS16 x 3'-0" STRAP

TYPICAL TOP PLATE SPLICE

HOLDOWN SCHEDULE 1 2 4									
			WALL						
MARK	FASTENERS	M (3)	ANCHOR ROD	EMBEDMENT	EDGE DISTANCE				
HDU2	(6) SDS ¹ / ₄ "x2 ¹ / ₂ "	3"	5⁄8"Ø	12"	3"				
HDU4	(10) SDS ¹ / ₄ "x2 ¹ / ₂ "	3"	5⁄8"Ø	12"	3"				
HDU5	(14) SDS ¹ / ₄ "x2 ¹ / ₂ "	3"	5⁄8"Ø	12"	3"				
HDU8	(20) SDS ¹ / ₄ "x2 ¹ / ₂ "	3"	7∕ ₈ "ø	12"	3"				

- (1) PLACEMENT OF ANCHOR ROD IS BASED ON CAST-IN-PLACE INSTALLATION. PROVIDE SIMPSON SET-XP EPOXY AT EXISTING CONCRETE POST-INSTALLED ANCHOR LOCATIONS (12" MIN EMBED).
- (2) INSTALL ALL HOLDOWNS AND EPOXY PER MANUFACTURER'S INSTRUCTIONS.
- (3) DEPTH OF WOOD FRAMING MEMBER ATTACHED TO HOLDOWN. MEMBERS SHALL BE HEM-FIR UNLESS NOTED
- BASED ON MIN EDGE DISTANCE OF $1\frac{3}{4}$ ". MIN $4\frac{1}{4}$ " DISTANCE (MIN 5" FOR SB1x30) REQ'D FROM END OF WALL.

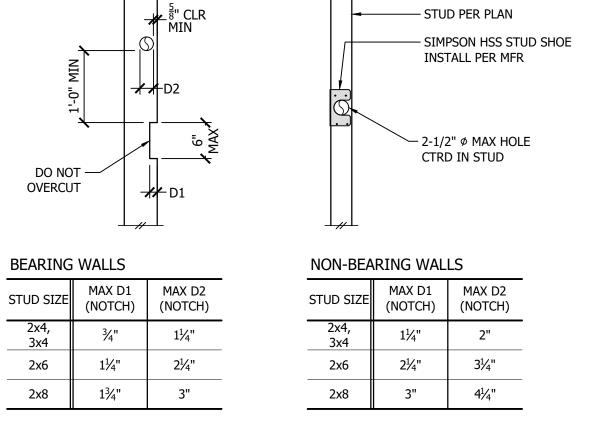


HOLDOWN SCHEDULE

SHEATHE AND NAIL

PARAPET PER SW6

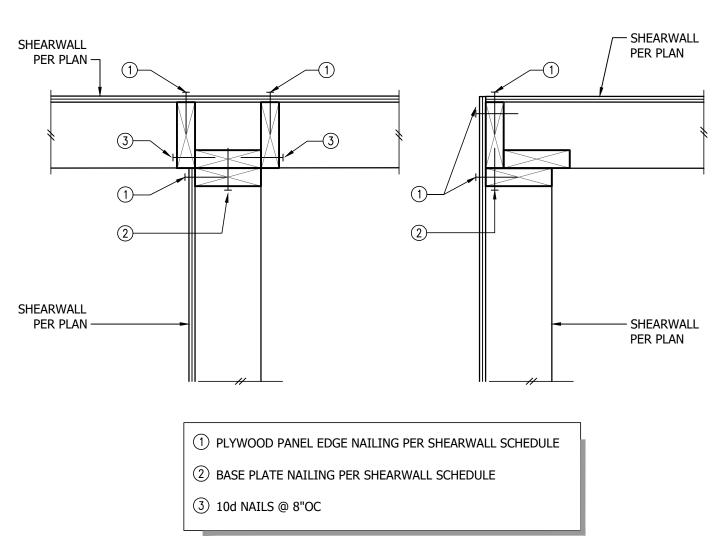
BOTH SIDES -



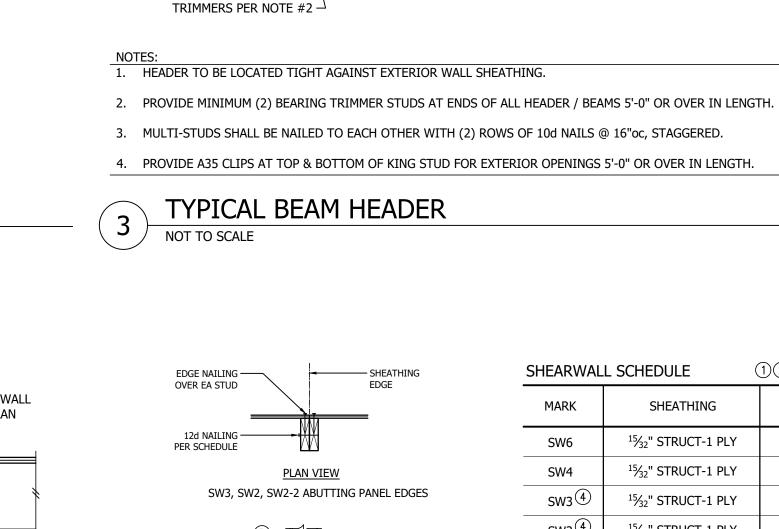
1. NOT MORE THAN TWO ADJACENT STUDS SHALL BE BORED.

- 2. HOLE AND NOTCH SIZE FOR NON-BEARING WALLS MAY BE USED FOR BEARING WALLS IF REQUIRED NUMBER OF STUDS ARE DOUBLED. THIS MAY ONLY BE USED AT TWO CONSECUTIVE STUDS IN ANY ONE WALL.
- 3. A $2\frac{1}{2}$ " ϕ HOLE MAY BE DRILLED THRU EITHER BEARING WALL OR NON-BEARING WALL STUDS IF A SIMPSON HSS STUD SHOE IS INSTALLED AS DETAILED. THIS MAY ONLY BE USED AT TWO CONSECUTIVE STUDS IN ANY ONE WALL.

TYPICAL HOLES AND NOTCHES IN STUDS



TYPICAL SHEARWALL INTERSECTIONS



TOP PLATE CONT

(6) 10d KING STUD TO

OVER OPENING -

HEADER EA END -

NAIL MULTI STUDS

A35 CLIP PER NOTE #4 —

PER NOTE #3 —

KING STUD —

WHERE TOP PLATE IS BROKEN

AT OPENING PROVIDE CS16 w/

(11) 8d EACH END BOTH SIDES

BEARING

OF HEADER -

FOUNDATION

SHEARWAL	L SCHEDULE (123567				
MARK	SHEATHING	PANEL EDGE NAILING (A)	TOP PLATE IF TJI	CONNECTION IF 2X OR LSL ©	BASE PLATE COI AT WOOD B	NNECTION AT CONCRETE
SW6	¹⁵ ⁄ ₃₂ " STRUCT-1 PLY	8d @ 6"OC	10d @ 6"OC	A35 @ 24"OC	12d @ 6"OC	%"¢ AB @ 48"O
SW4	¹⁵ ⁄ ₃₂ " STRUCT-1 PLY	8d @ 4"OC	10d @ 4"OC	A35 @ 16"OC	12d @ 4"OC	%"ø AB @ 32"O
SW3 ⁴	¹⁵ ⁄ ₃₂ " STRUCT-1 PLY	8d @ 3"OC	(2) ROWS 10d @ 6"OC	A35 @ 12"OC	(2) ROWS 12d @ 6"OC ⁹	%"¢ AB @ 16"O
SW2 ⁴	¹⁵ ⁄ ₃₂ " STRUCT-1 PLY	8d @ 2"OC	(2) ROWS 10d @ 4"OC	A35 @ 10"OC	(2) ROWS 12d @ 4"OC ⁹	%"¢ AB @ 12"O
SW3-24	¹⁵ ⁄ ₃₂ " STRUCT-1 PLY BOTH SIDES	8d @ 3"OC, EA SIDE	(2) ROWS 10d @ 3"OC	A35 @ 8"OC	(2) ROWS 12d @ 3"OC ⁹	%"ø AB @ 12"C

AT BEAM END

- Beam per plan

- EPCZ SERIES CAP AS

REQUIRED TO FIT BEAM

CONTINUOUS

1. AT VARIED BEAM SIZES, PROVIDE SOLID FULL DEPTH SHIM TO EXTEND MIN 3" BEYOND CAP. ALL SHIMS

SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

TYPICAL WOOD BEAM TO WOOD COLUMN

& POST, TYP UNLESS

NOTED OTHERWISE

— POST PER PLAN

- 1 BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d NAILS @ 12"OC.
- ② 8d NAILS SHALL BE 0.131"φ x 2-1/2", 10d NAILS SHALL BE 0.131"φ x 3", AND 12d NAILS SHALL BE 0.148"φ x 3-1/4".
- 3 EMBED ANCHOR BOLTS AT LEAST 7". ALL BOLTS SHALL HAVE 3"x3"x1/4" PLATE WASHERS, THAT SHALL EXTEND TO WITHIN 1/2" OF EDGE OF BOTTOM PLATE OR LESS THAN 4-1/2" FROM EACH END. PROVIDE SIMPSON SET-XP EPOXY ANCHORS AT EXISTING CONCRETE WITH 12" EMBEDMENT.
- (4) 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASEPLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF SW3, SW2, AND SW2-2. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES. ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL AT SWS2-2.
- 5 TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. 6 NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH
- WITH SHEATHING (NOT COUNTERSUNK). (7) ALL EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.

- A35 EA SIDE TYP

(3) STUDS @ 4X BM

(4) STUDS @ 6X BM (5) STUDS @ 7X BM

OR GIRDER TRUSS

PROVIDE:

TYP U.N.O.

- (8) LTP4'S INSTALLED OVER SHEATHING WITH 8d NAILS MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- (9) AT (2) ROWS OF NAILING/CLIPS: USE DOUBLE RIM, JOIST OR BLOCKING.



STRAP WHERE

SPECIFIED -

SHEARWALL

WALL (BEYOND) -

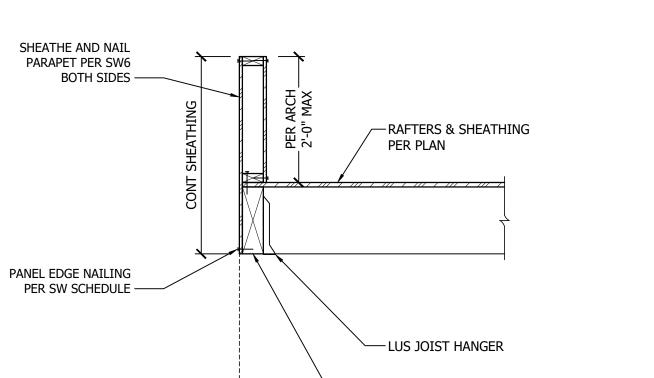
PER PLAN -

<u>PLAN VIEW</u>

SECTION AT EXTERIOR WALL

/- HOLDOWN WHERE

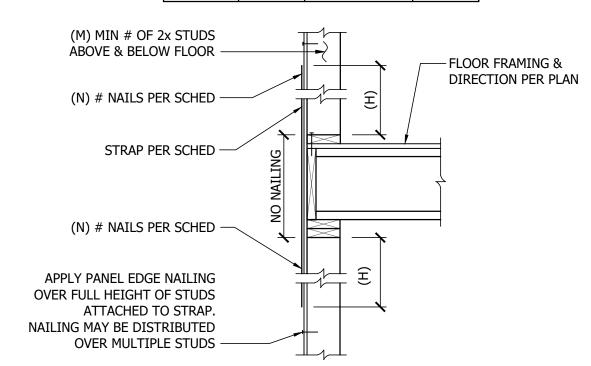
SPECIFIED



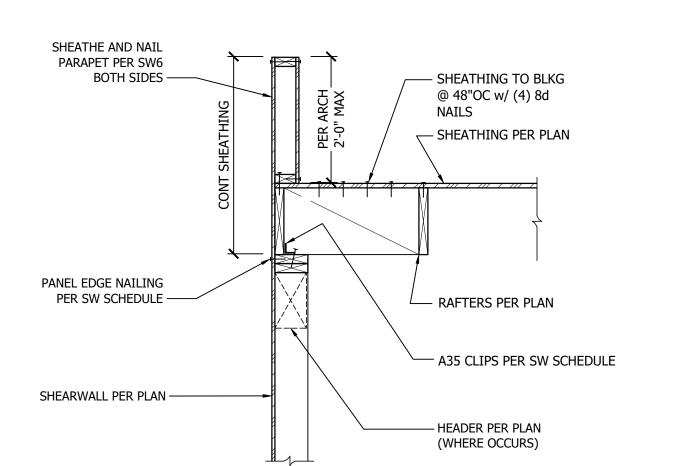
BEAM PER PLAN

(11)	2X RAFTERS PERPENDICULAR TO EDGE BEAM
\ _L _L _/	NOT TO COME

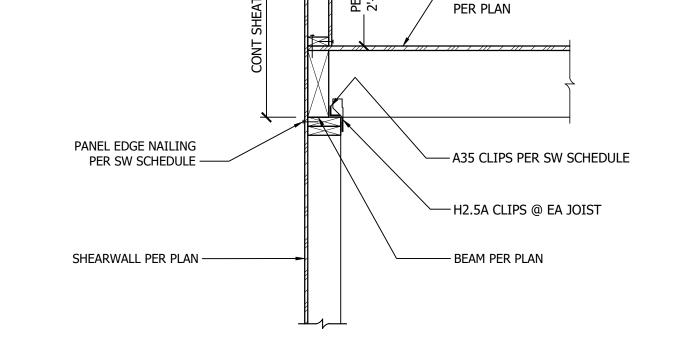




FLOOR-TO-FLOOR STRAP SCHEDULE



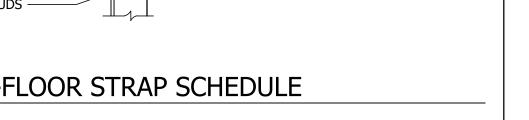
2X RAFTERS PARALLEL TO PARAPET WALL



- RAFTERS & SHEATHING

2X RAFTERS PERPENDICULAR TO PARAPET WALL





SUNDBERG

KENNEDY

- SPLICE WHERE

SHOWN ON PLAN

- MSTC28 CONTINUITY STRAP

EA FACE OF SPLICED BEAM

- PCZ SERIES CAP AS REQD

TO FIT BEAM & POST,

TYP UNLESS NOTED

OTHERWISE ON PLAN

- POST PER PLAN

LY-AU YOUNG

1501 E MADISON, SUITE 205

SEATTLE WA 98122-4465

P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official Stamps:

Renovation

' Homestead | uth, Seattle, WA 981

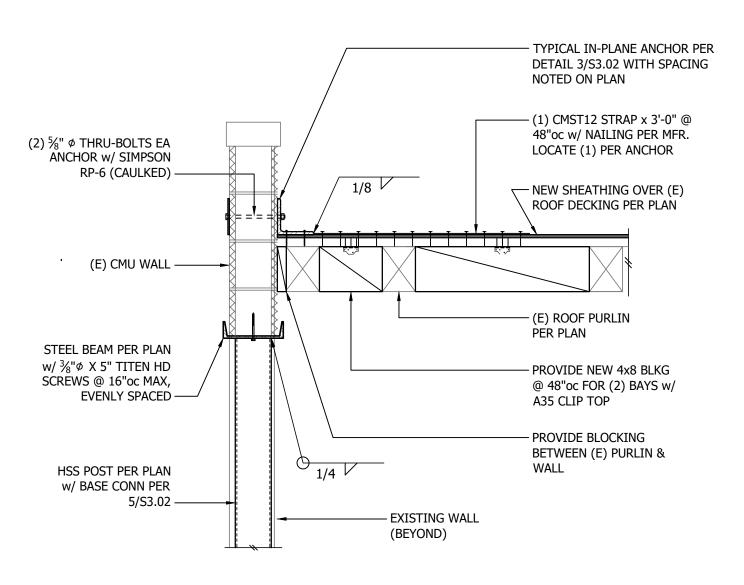
Eng Family 611 8th Ave Sout

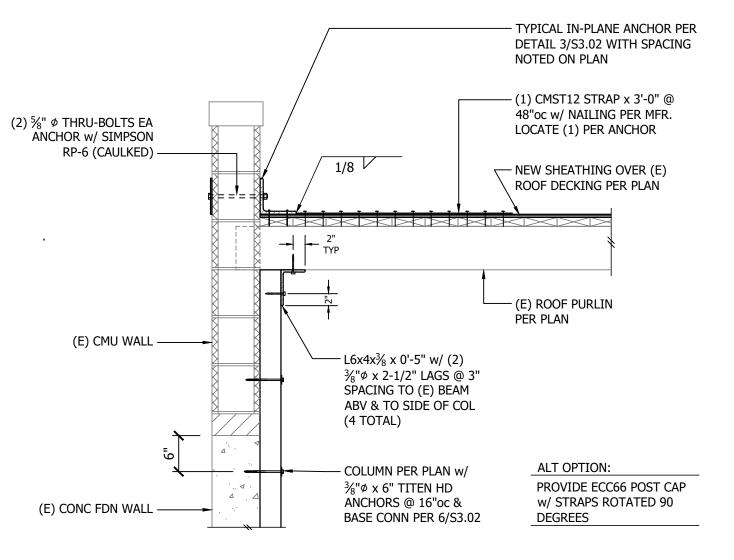
FRAMING

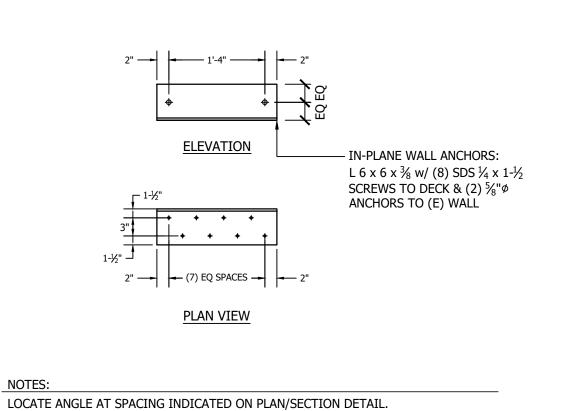
M

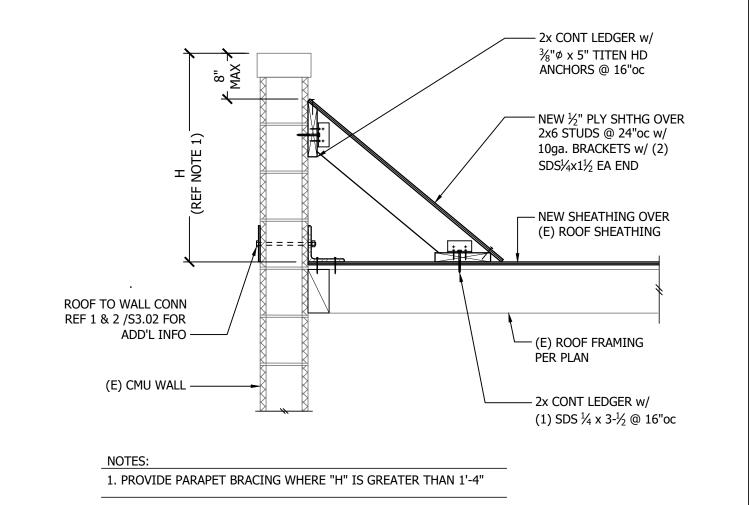
206.322.1130

ARCHITECTS









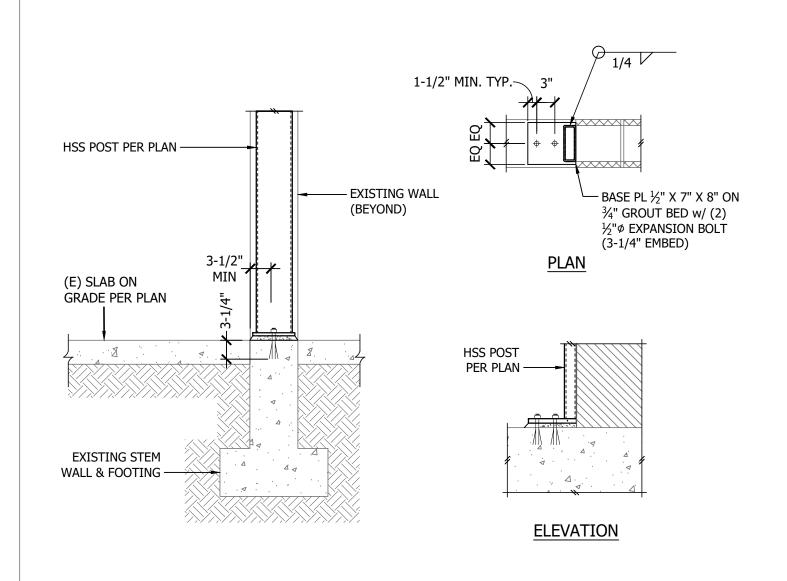


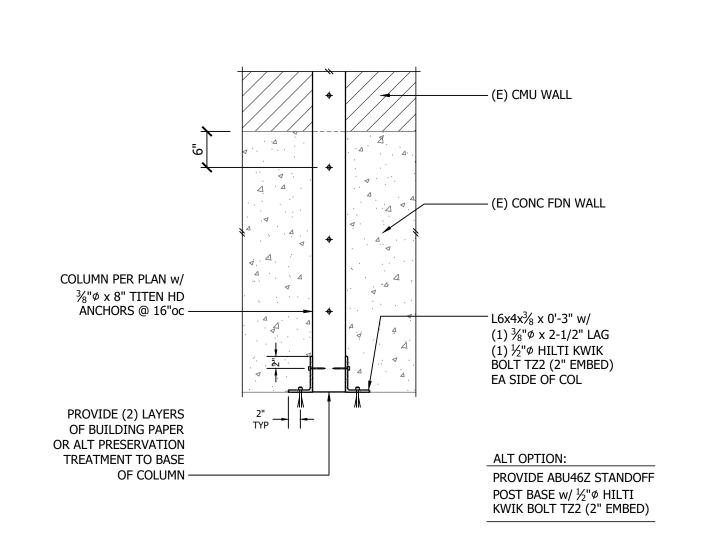
GARAGE ROOF AT NORTH & SOUTH WALLS

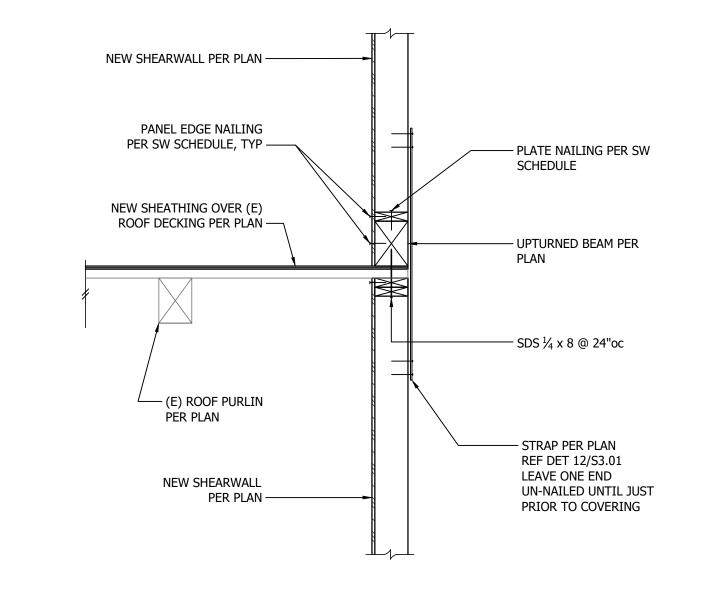
TYPICAL IN-PLANE WALL ANCHORAGE

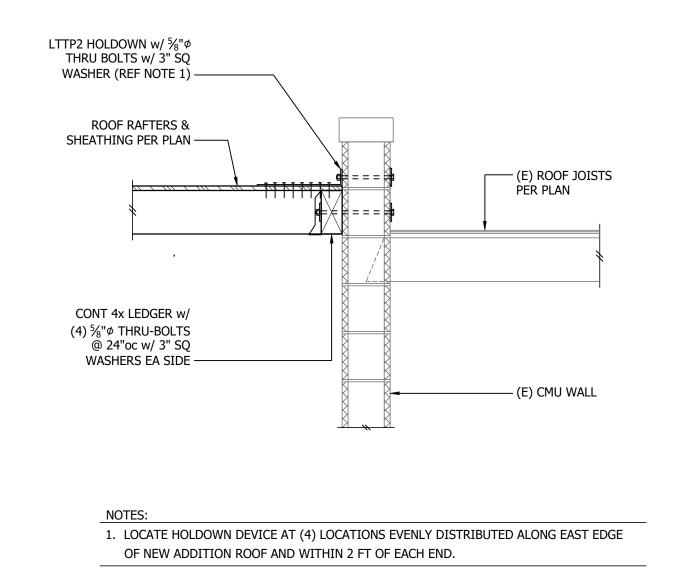
ADJUST AS REQUIRED TO AVOID LOCATING SCREWS AT (E) CMU BLOCK JOINTS.

TYPICAL PARAPET BRACING







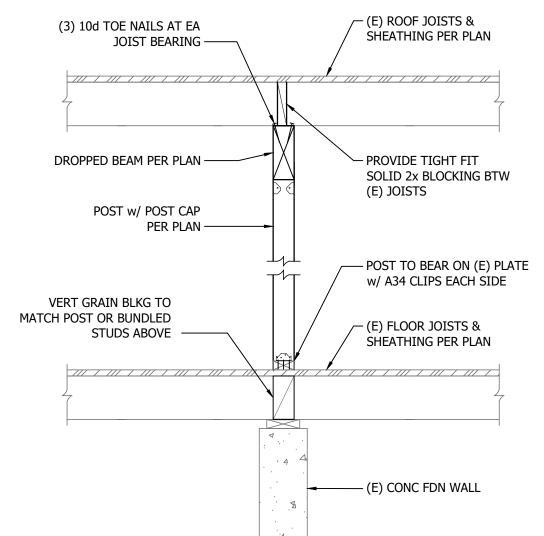


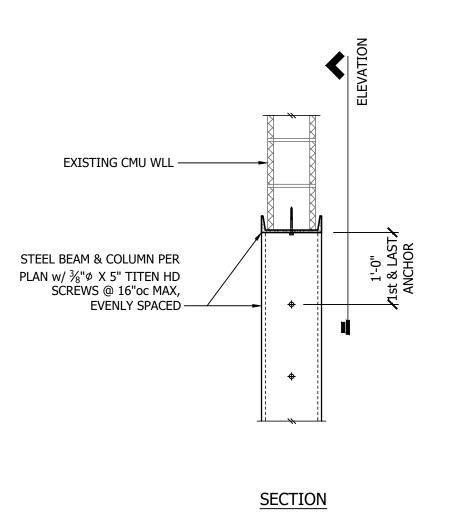
HSS POST AT WEST GARAGE ENTRY NOT TO SCALE

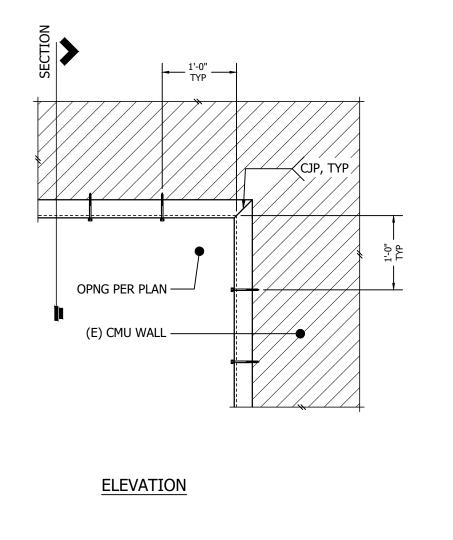
BASE CONNECTION AT NEW SECONDARY COLUMN

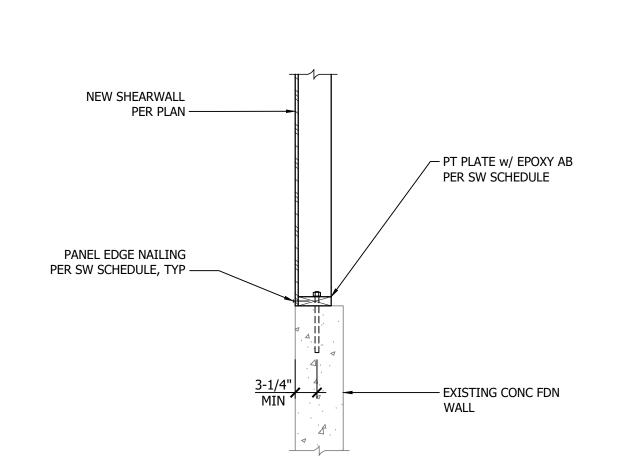
SECTION AT GARAGE NEW INTERIOR SHEARWALL

ADDITION ROOF FRAMING AT EXISTING WALL









SECTION AT WALL OPENING

NEW SHEARWALL AT EXISTING FOUNDATION WALL



Eng Family I **FRAMING** STRUCTURAL \mathcal{M}

SUNDBERG

LY-AU YOUNG

1501 E MADISON, SUITE 205

SEATTLE WA 98122-4465

P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967

Official

Stamps:

 \Box

Renovation

Homestead I uth, Seattle, WA 981

206.322.1130

ARCHITECTS

KENNEDY

NEW OPENING IN (E) INTERIOR WALL

LIGHTING FIXTURE SCHEDULE

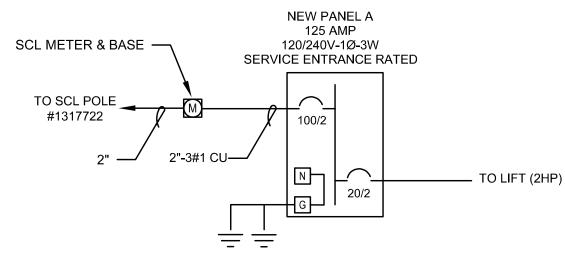
	LIGHTING FIXTURE SCHEDULE										
TYPE	LAMP	LUMEN OUTPUT	ССТ	MINIMUM CRI	MANUFACTURER	DESCRIPTION					
GL-1	LED 11W	650 LUMENS	3500K	80	HYDREL: ASPEN ASPEN-A-P1-80CRI-35K-120-40DEG- FLC-L3C3	ALUMINUM ACCENT LIGHT WITH HEAD NO LONGER THAN 9". PROVIDE WITH 40° BEAM SPREAD, AND CUT-OFF CAP. WET LOCATION. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED. FINISH PER ARCHITECT.					
PL-1	LED 6W/FT	625 LM/FT	3500K	80 CRI	FOCAL POINT: SEEM2 FSM2LS-FL-625LF-35 COOPER: DEFINE 3 S123DP-H-650D-8-35 ACUITY: SLOT 2 S2PD-LLP-80-35-650-80	2.5" WIDE LINEAR LED PENDANT DIRECT OPTICS AND FLUSH DIFFUSED LENS.					
TL-0					WAC: W TRACK	SURFACE MOUNTED ALUMINUM TRACK SYSTEM, DUAL CIRCUIT. PROVIDE ALL ACCESSORIES AND COMPONENTS FOR A COMPLETE SYSTEM. COLOR PER ARCHITECT.					
TL-1	LED 22W		3500K	80 CRI	WAC: PALOMA WTK-4023-830	LED CYLINDER TRACK HEAD WITH ADJUSTABLE MOUNT, ALLOWING FOR 300° HORIZONTAL AND 90° VERITCAL AIMING. FIXTURE TO ALLOW FOR ADJUSTABLE BEAM ANGLE 20° TO 45°.					
WL-1	LED 15W	1800 LUMENS	3500K	80 CRI	ACUITY: WEDGE1 WDGE1-P2-35-80-VF-PE	WET LOCATION LED WALL PACK WITH FORWARD THROW AND INTEGRAL PHOTOCELL. CIRCUIT WITH OCCUPANCY SENSOR.					
WL-2	LED		3500K		BARN LIGHTING: LED ORIGINAL BLE-G-WHS16-NA-LED27-35K	WALL MOUNTED EXTERIOR SCONCE WITH "GOOSENECK" ARM AND INTEGRAL LED. PROVIDE WITH 16" SHADE. MATERIAL, FINISH AND GOOSENECK OPTION PER ARCHITECT.					
WL-3	LED		3500K	80 CRI	ACUITY: WPX0 LED WPX0-ALO3-SWW2-PE	WET LOCATION LED WALL PACK WITH WIDE DISTRIBUTION AND INTEGRAL PHOTOCELL. CIRCUIT WITH OCCUPANCY SENSOR.					
SL-1	LED 20W	2000 LUMENS	3500K	80 CRI	GOTHAM: EVO EVO4SC-35-20-BR-LD-MD PRESCOLITE: LTC-4RDW	SURFACE MOUNTED 4" ROUND CYLINDER WITH DIFFUSED LENS.					
X	LED				DUAL LITE: SE-G-I						
					CHLORIDE: CE-11300-55L3G	SELF-DAIGNOSTIC CEILING/SIDE-MOUNT DIE CAST LED EXIT SIGN WITH BATTER BACKUP. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED. PROVIDE ARROWS AND FACES AS					
					LITHONIA: LE	SHOWN ON DRAWINGS. FINISH PER ARCHITECT.					

EQUALS ACCEPTABLE AS APROVED BY ARCHITECT & ENGINEER.

PROVIDE EMERGENCY BATTERY BACK UP FOR FIXTURES WITH "E" DESIGNATION; SEE PLANS.

ALL COLORS, FINISHES, ETC ARE BY ARCHITECT.

MOUNTING HEIGHTS PER ARCHITECTURAL ELEVATIONS.



1 POWER ONE-LINE DIAGRAM
SCALE: NTS

LEGEND

— CONDUIT CONCEALED IN CEILING OR WALLS

— — — CONDUIT CONCEALED UNDERGROUND, UNDER FLOOR, OR IN WALL

HOME RUN TO DESTINATION INDICATED. 1" MINIMUM UNLESS NOTED OTHERWISE.

RECESSED LIGHT FIXTURE, LETTERS DENOTE SWITCHING, PROVIDE BALLASTS ACCORDINGLY.

SURFACE OR PENDANT MOUNTED LIGHT FIXTURE

SURFACE OR PENDANT MOUNTED FLUORESCENT FIXTURE

⟨◎ ○ ◎ RECESSED LIGHT FIXTURE

 □ SURFACE OR PENDANT LIGHT FIXTURE

SURFACE OR PENDANT LIGHT FIXTURE

WALL MOUNTED FIXTURE

LIGHT TRACK

WALL MOUTED SPOT/FLOOD LIGHT

₩ WALL SCONCE FIXTURE

\$a WALL SWITCH, 1-POLE (SWITCH LEG INDICATED WHERE REQUIRED), +48"

S DIGITAL SWITCH, +48"

S WALL SWITCH WITH INTEGRAL OCCUPANCY SENSOR, +48"

OS OCCUPANCY SENSOR

OCCUPANCY SENSOR WALL MOUNT

PC PHOTO CELL

PP PHOTO CELL WALL MOUNT

CTL LIGHTING CONTROLLER

XXX XXXX LIGHTING FIXTURE TYPE DESIGNATOR, SEE LIGHT FIXTURE SCHEDULE

➡ DUPLEX RECEPTACLE, +18"

DUPLEX RECEPTACLE ABOVE COUNTER

DOUBLE DUPLEX RECEPTACLE, +18"

DOUBLE DUPLEX RECEPTACLE ABOVE COUNTER

WP WEATHERPROOF DUPLEX RECEPTACLE (TYPE WR, GFI TYPE), +18"

1Ø SPECIAL RECEPTACLE AS NOTED, +18"

3Ø SPECIAL RECEPTACLE AS NOTED, +18"

RANGE OUTLET, NEMA 14-50R, +18"

MOTOR CONNECTION

DISCONNECT SWITCH, +66"

r☑ FUSED DISCONNECT SWITCH, +66"

JUNCTION BOX

LEGEND

- DATA OUTLET (NUMBER = NUMBER OF RJ45 JACKS, NO NUMBER = 1) WITH 1", +18" CONDUIT TO ABOVE CEILING
- DATA OUTLET WITH 1" CONDUIT TO ABOVE CEILING (NUMBER = NUMBER OF RJ45, +18" JACKS, NO NUMBER = 1)
- WAP WIRELESS ACCESS POINT DATA OUTLET, +108" WHEN WALL MOUNTED
- V VIDEO SURVEILLANCE DATA OUTLET AT CAMERA
- ACCESS CONTROL OUTLET AT DOOR CONTROLLER
- REX REQUEST TO EXIT
- REQUEST TO EXIT IN HARDWARE
- CR CARD READER
- DS DOOR SWITCH

 MS MOTION SENSOR
- MSH MOTION SENSOR WALL MOUNT
- CCTV CAMERA, SEE SCHEDULE
 - K SECURITY KEYPAD, +48"
 - N SECURITY KEYPAD, +48
 - EL ELECTRIC LOCK
 - S SMOKE DETECTOR/SENSOR
 - CO DETECTOR

 CIRCUIT BREAKER



FUSE

GROUNDING PER CODES

BUS TAP

208V OR 240V PANEL

☐ LVR

FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR
FOID FURNISHED BY OWNER INSTALLED BY OWNER

GFI GROUND FAULT CIRCUIT INTERRUPTER

IG ISOLATED GROUND

WP WEATHERPROOF
TR TAMPER RESISTANT

DETAIL INDICATOR WITH SHEET WHERE DRAWN INDICATED

SECTION INDICATOR

AVAILABLE FAULT CURRENT AS INDICATED

1 FLAG NOT

15.06 72.40

MOUNTING REFERENCE ONLY. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING.

PANEL A LOCATION MOUNTING EXIST AIC FED FROM	BASEMEN SURFACE 42,000 UTILITY		VOLTS AMPS MCB GROUND B UL SERVI)	I PHASE, 4 WIRE, WYE	
CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
 3 5 7 9 1 13 15 17 19 2 23 25 27 29 31 33 35 *PROVIDE 1	20/I 20/I 20/I 20/I 20/I 20/I 20/I 20/I	RECEPT - EXTERIOR RECEPTS - GARAGE RECEPTS - GARAGE RECEPT - RACK POWER RECEPT - RACK POWER RECEPTS - SERVICE RECEPTS - BASEMENT RECEPTS - BASEMENT RECEPTS - KITCHEN RECEPTS - KITCHEN RECEPTS - KITCHEN RECEPTS - ENTRY RANGE SPARE SPARE SPARE SPARE SPARE	0.18 0.36 0.18 0.36 0.36 0.54 0.54 0.54 0.54 0.00 0.00	2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36	20/I 20/I 20/I 40/2 20/I 20/I 20/I 20/I 20/I 20/I 20/I	LIFT SPARE LIFT (EXTERIOR) SPARE SPARE RECEPT - BATH RECEPTS - BEDROOM RECEPTS - BEDROOM SPARE SPARE LIGHTS MAIN LEVEL LIGHTS BSMNT/GARAGE LIGHTS EXTERIOR SPACE SPACE SPACE SPACE SPACE SPACE	1.44 0.00 1.44 0.00 0.00 0.18 0.54 0.54 0.00 0.00 0.00
CONNECTED	WITH GFCI BREAKER D LOAD KVA		DEMAND FACTOR			DEMAND LOAI KV/	
LIGHTS RECEPTACLI HEATING LARGEST MO OTHER MOTO MISCELLANI KITCH. API	OTOR ORS EOUS	0.00 5.22 0.00 1.44 1.44 0.00 6.60	: 	125 100 100 125 100 100	% % % % %	0.00 5.22 0.00 1.80 1.44 0.00 6.60	25.10 0.00 8.65

14.70

SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Travis Fitzmaurice Wartelle Balangue Engineers Inc. 1200 Westlake Ave. N., #509 Seattle, WA 98109 p: 206-285-7228 | info@tf-wb.com

Official Stamps:

NOT FOR CONSTRUCTION
ISRD CERTIFICATE OF
APPROVAL SET

Eng Family Homestead Renovatio
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE
NOT FOR CON

22013 NO. DESC 01/22/2024 MF PM/KH

Date
Project Manager

Drawn by
"=1'-0" Checked by

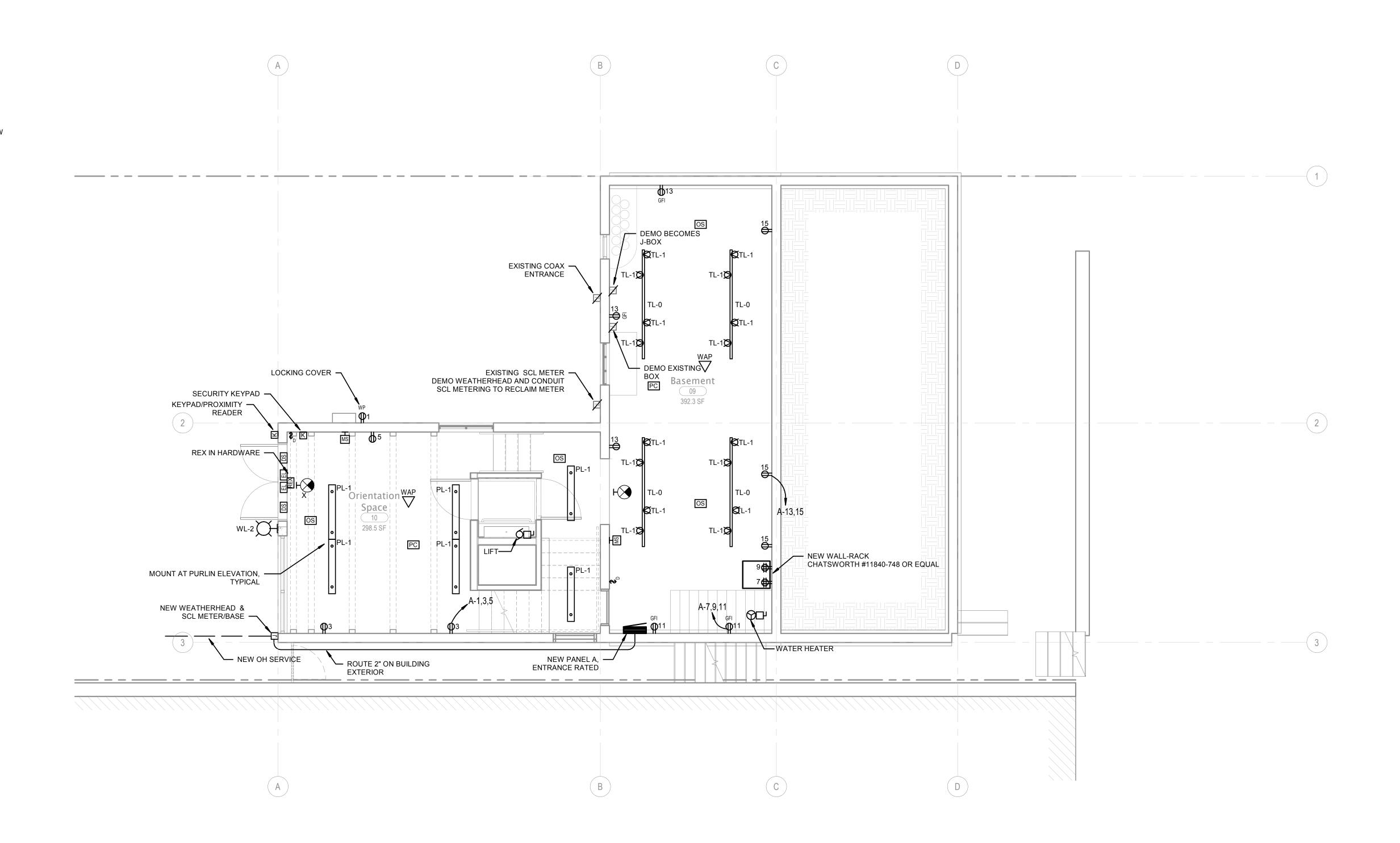
00.

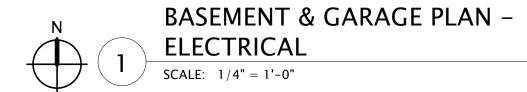
E1.

O:ICADIWing Luke Museum Eng Homestead Home 22-093/E1. 3/2/2023 7:39 PM

SHEET NOTES:

- DEMOLISH ALL ELECTRICAL IN EXISTING BASEMENT.
- ALL NEW WIRING AND LOW-VOLT CABLING IN BASEMENT & GARAGE IS TO BE ROUTED IN EMT.
- 3. LIGHTING FIXTURES TO BE LED. PROVIDE LIGHTING CONTROLS IN COMPLIANCE WITH CURRENT SEATTLE ENERGY CODE AND AS SHOWN ON PLAN.
- 4. FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.





SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Travis Fitzmaurice Wartelle Balangue Engineers Inc. 1200 Westlake Ave. N., #509 Seattle, WA 98109

p: 206-285-7228 | info@tf-wb.com

Official Stamps:

NOT FOR CONSTRUCTION
ISRD CERTIFICATE OF
APPROVAL SET

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE
NOT FOR CONST

22013

Project number

Date

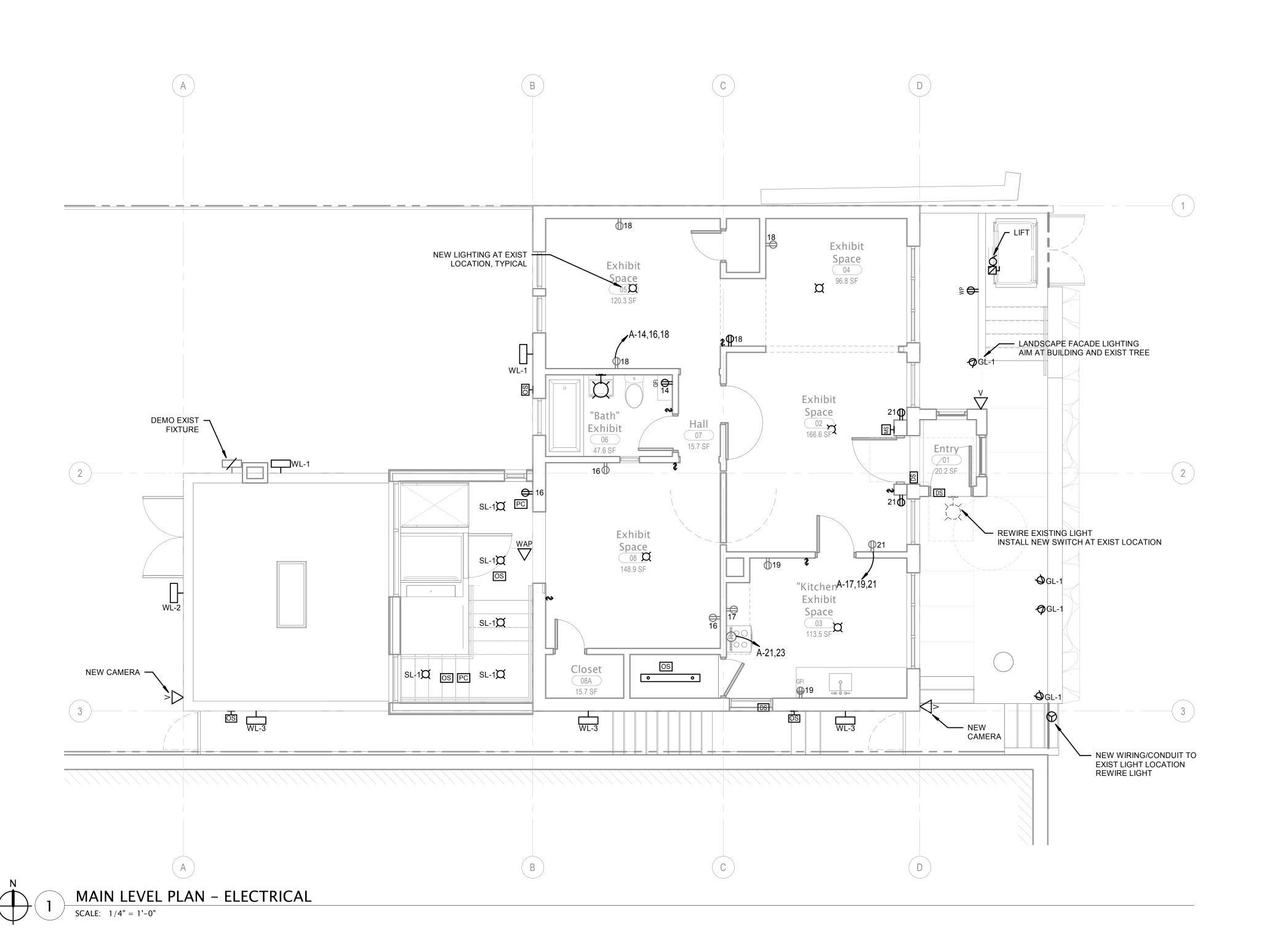
Project Manager

Drawn by

<u>= 2.00</u>

SHEET NOTES:

- INTENT IS TO REPLACE EXISTING ELECTRICAL IN-PLACE WITH NEW WIRING, DEVICES AND FIXTURES. NEW ELECTRICAL DEVICES WHERE
- 2. NEW RECEPTACLES TO BE TYPE TR.
- 3. ALL WIRING AND CABLING IS TO BE CONCEALED IN WALLS OR CEILINGS.ACCEPTABLE TO FISH CABLING AND FLEX CONDUIT AS NEEDED; RESTORE WALLS AND CEILINGS WHERE DEMO IS NECESSARY.
- LIGHTING FIXTURES TO BE LED. PROVIDE NEW WIRING AND CONTROLS AND SHOWN.
- 5. FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.



SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Travis Fitzmaurice Wartelle Balangue Engineers Inc. Seattle, WA 98109 p: 206-285-7228 | info@tf-wb.com

Official Stamps:

Eng Family Homestead Renovatio
611 8th Ave South, Seattle, WA 98104
REVISIONS
NO. DESCRIPTION
DATE