



**SLIM GOODY**

Design Application

5411 Ballard Ave NW

Attn: Ballard Avenue

Landmark District

March 13, 2026

# TABLE OF CONTENTS

1. COVER LETTER
2. AREA OF PROPOSED ALTERATIONS
3. PROPOSED ELEVATION
4. PREVIOUS FACADE IMAGE
5. PROPOSED FACADE IMAGE
6. ADDITIONAL PROPOSED FACADE IMAGE
7. PROPOSED FACADE SIGN
8. PROPOSED DOOR SIGN
9. PROPOSED BLADE SIGN
10. PROPOSED EXTERIOR LIGHTING
11. PROPOSED PATIO FURNITURE LAYOUT
12. PROPOSED PATIO FURNITURE

APPENDIX A. PREVIOUSLY APPROVED BALLARD  
LANDMARK DISTRICT PLANS

APPENDIX B. SDOT PERMIT FOR SIGNS

APPENDIX C. LANDLORD CONSENT FROM

APPENDIX D. SLIM GOODY PERMITTED PLAN  
SET

**Esteemed Members of the Ballard Avenue Landmark District Board,**

I am writing to submit for your review and approval modest alterations made to the storefront of Slim Goody. These improvements included two replacement signs, one exterior light, new paint in a previously approved color, and the removal and substitution of window decals. In each case, the new elements match the previous installations in placement and general appearance.

At the time these changes were made, we did not realize that prior Board approval was required. The changes made were not thought to be, nor intended to be a, substantive alteration to the building's historic character. Nevertheless, I now fully understand that properties within the Ballard Avenue Landmark District require review before such work is undertaken, and I regret that we did not follow the proper process.

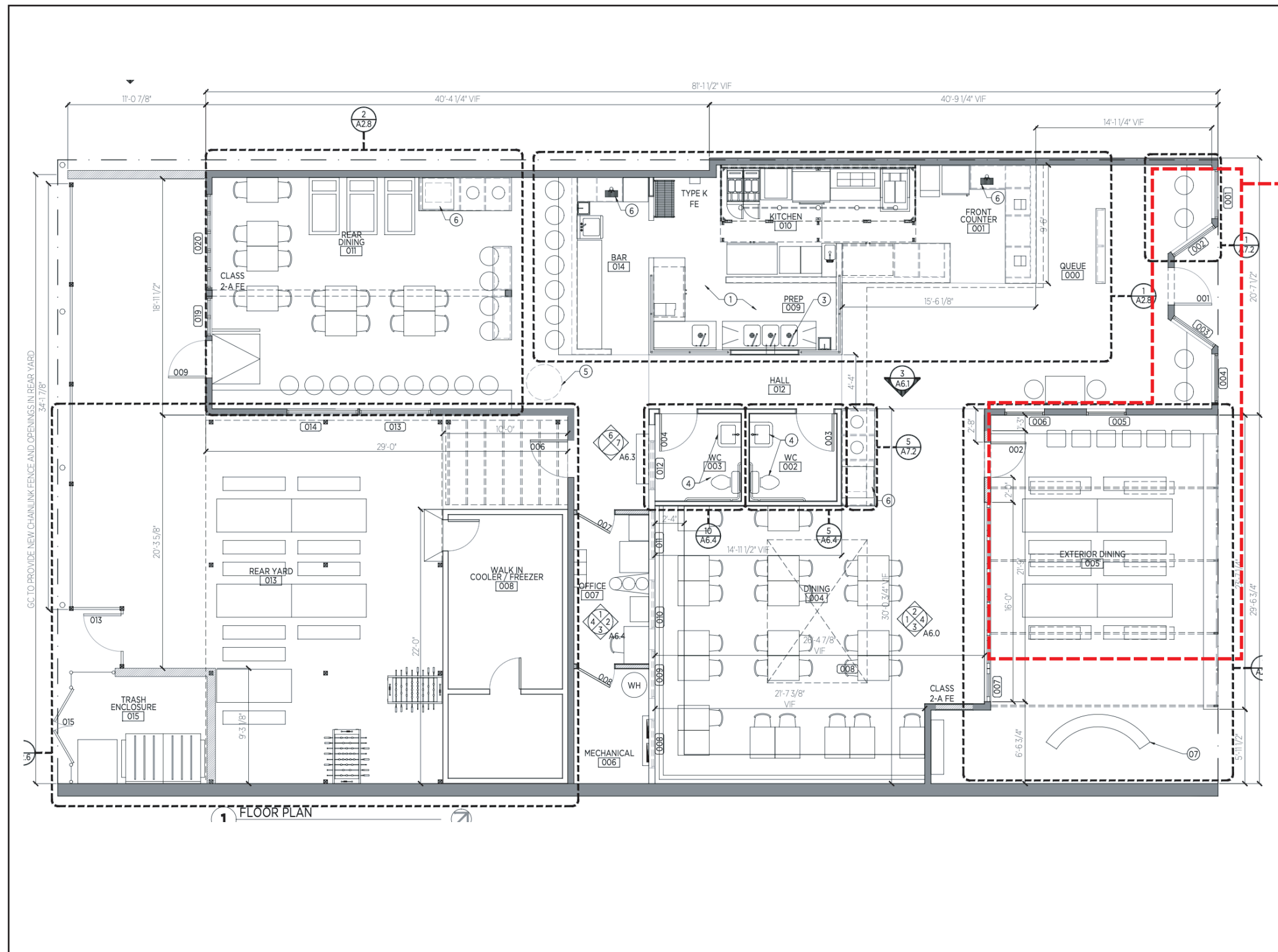
I take this matter seriously and am committed to resolving it properly. With this submission, I am requesting the Board's review of the completed storefront updates so that we may obtain approval and bring Slim Goody fully into compliance with the Ballard Avenue Landmark District requirements. I am also prepared to address any feedback the Board may have and to make adjustments if necessary to ensure the storefront aligns with district guidelines.

Slim Goody is proud to operate in Ballard, and we value the historic character that the Landmark District helps preserve. I appreciate the Board's time and consideration and welcome any guidance you may have as we work to correct this oversight.

Thank you for your consideration,  
Jeremy Price, Co-owner, Slim Goody, [jeremy@eatseacreatures.com](mailto:jeremy@eatseacreatures.com)

Note by DON staff: the proposal also includes the use of video monitors on the building's exterior. See page 44 of these plans for details.

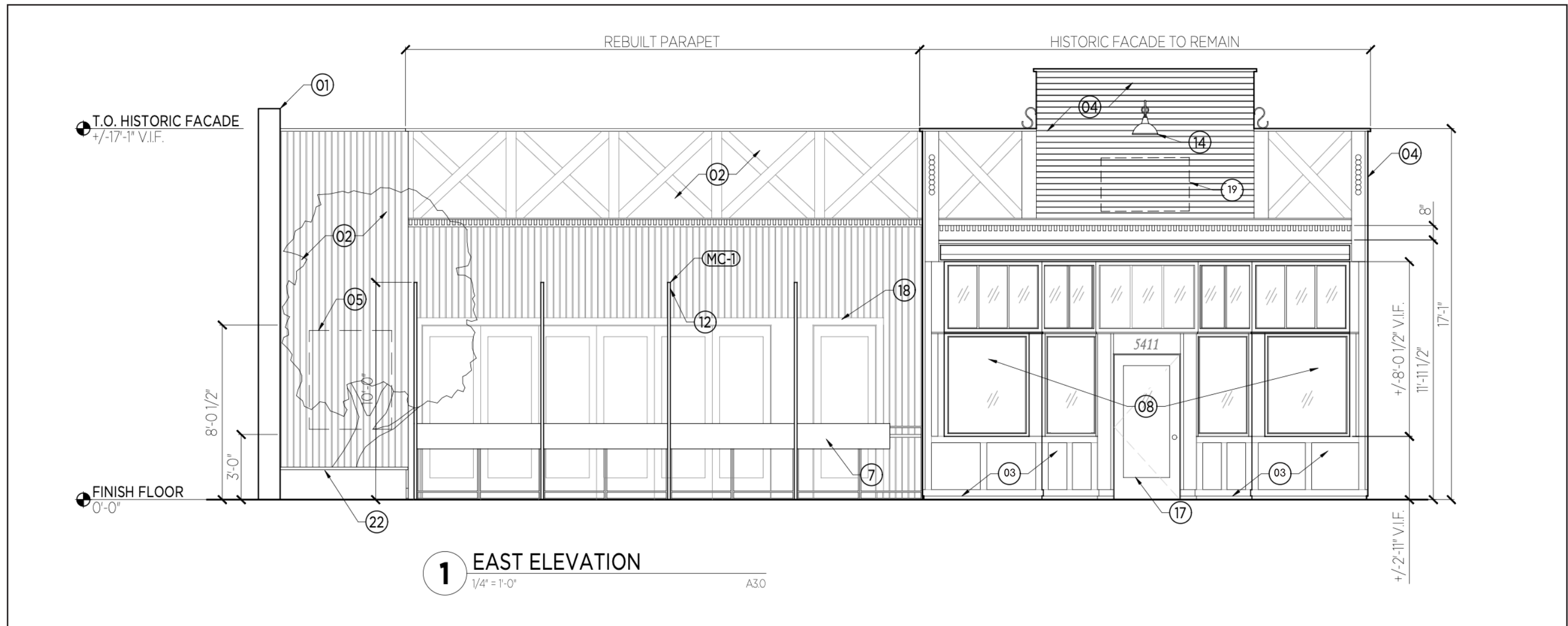
## 01. COVER LETTER



AREA OF PROPOSED ALTERATIONS

- Remove existing "Great State Burger" signs:
  - facade, above entry
  - blade sign, at corner of storefront
  - vinyl graphics on entry door and store front windows
- Replace with "Slim Goody" signs:
  - facade, above entry
  - blade sign, at corner of storefront
  - vinyl graphics on entry door only
- Paint storefront wainscot Sherwin Williams 9179
  - (SW 9179 previously approved for use patio facade, north facade, south facade)
- Remove existing picnic tables.
- Replace with durable metal tables and stools.
- Remove existing stools.

## 02. AREA OF PROPOSED ALTERATIONS



**1** EAST ELEVATION  
1/4" = 1'-0" A30

- (01) Existing brick wall of neighboring building to remain unchanged.
- (02) Existing painted wood facade, Sherwin Williams 9179, to remain unchanged.
- (03) Repaint storefront facade wainscot Sherwin Williams 9179.
- (04) Existing painted wood facade, Sherwin Williams 6379, to remain unchanged.
- (05) Existing electrical panel to remain unchanged.

- (07) Existing wood butcher block counter to remain unchanged.
- (08) Existing "Feel Good, Fast Food" vinyl window decals to be removed.
- (12) Existing trellis to remain unchanged.
- (14) Replace existing bright orange sign light with blue sign light in a similar style.
- (17) Repaint entry door Sherwin Williams 9179.
- (18) Existing bifold glass wall and door to remain

- unchanged.
- (19) Bright orange "Great State Burger" facade sign to be removed and replaced with blue "Slim Goody" sign.
- (22) Existing concrete planter and tree to remain unchanged.

Note: Sherwin Williams 9179 and Sherwin Williams 6379 previously approved by Ballard Landmark District on 1/16/20 (see appendix A).

### 03. PROPOSED ELEVATION



**04. PREVIOUS FACADE**



NOT PICTURED: STOREFRONT FACADE WAINSCOT REPAINTED SW9179 (SEE PAGE 06 FOR A PAINTED WAINSCOT IMAGE).

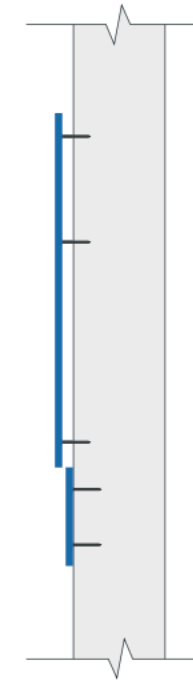
## 05. PROPOSED FACADE



#### PROPOSED ALTERATIONS

- Remove existing "Great State Burger" signs:
  - facade, above entry
  - blade sign, at corner of storefront
  - vinyl graphics on entry door and store front windows
- Replace with "Slim Goody" signs:
  - facade, above entry
  - blade sign, at corner of storefront
  - vinyl graphics on entry door only
- Paint storefront wainscot Sherwin Williams 9179
  - NOTE: SW 9179 previously approved for use at patio facade, north facade, and south facade by the Ballard Landmark District on 1/16/20 (see appendix A).

## 06. ADDITIONAL PROPOSED FACADE



FRONT VIEW  
SCALE 1" = 1'

RIGHT VIEW  
SCALE 1" = 1'

- ① "SLIM GOODY" IS 1/2" THK FLAT-CUT (ROUTED) ACRYLIC. PAINT BLUE WITH WHITE DISTRESS SPLATTERS. STUD MOUNT TO WALL ON 3/4" STANDOFFS. PAINT STANDOFFS TO MATCH WALL COLOR.
- ② "SPORTS BAR" IS 1/2" THK FLAT-CUT (ROUTED) ACRYLIC. PAINT BLUE WITH WHITE DISTRESS SPLATTERS. STUD MOUNT FLUSH TO WALL.



PANTONE: PMS 287 C

## 07. PROPOSED FACADE SIGN



FACE VIEW  
SCALE 3" = 1'

 PANTONE: PMS 287 C

 PANTONE: PMS 9081 C

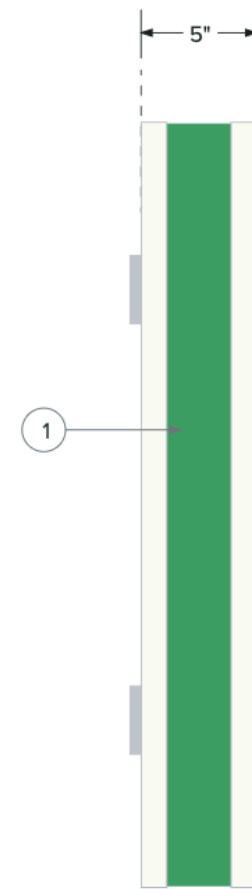
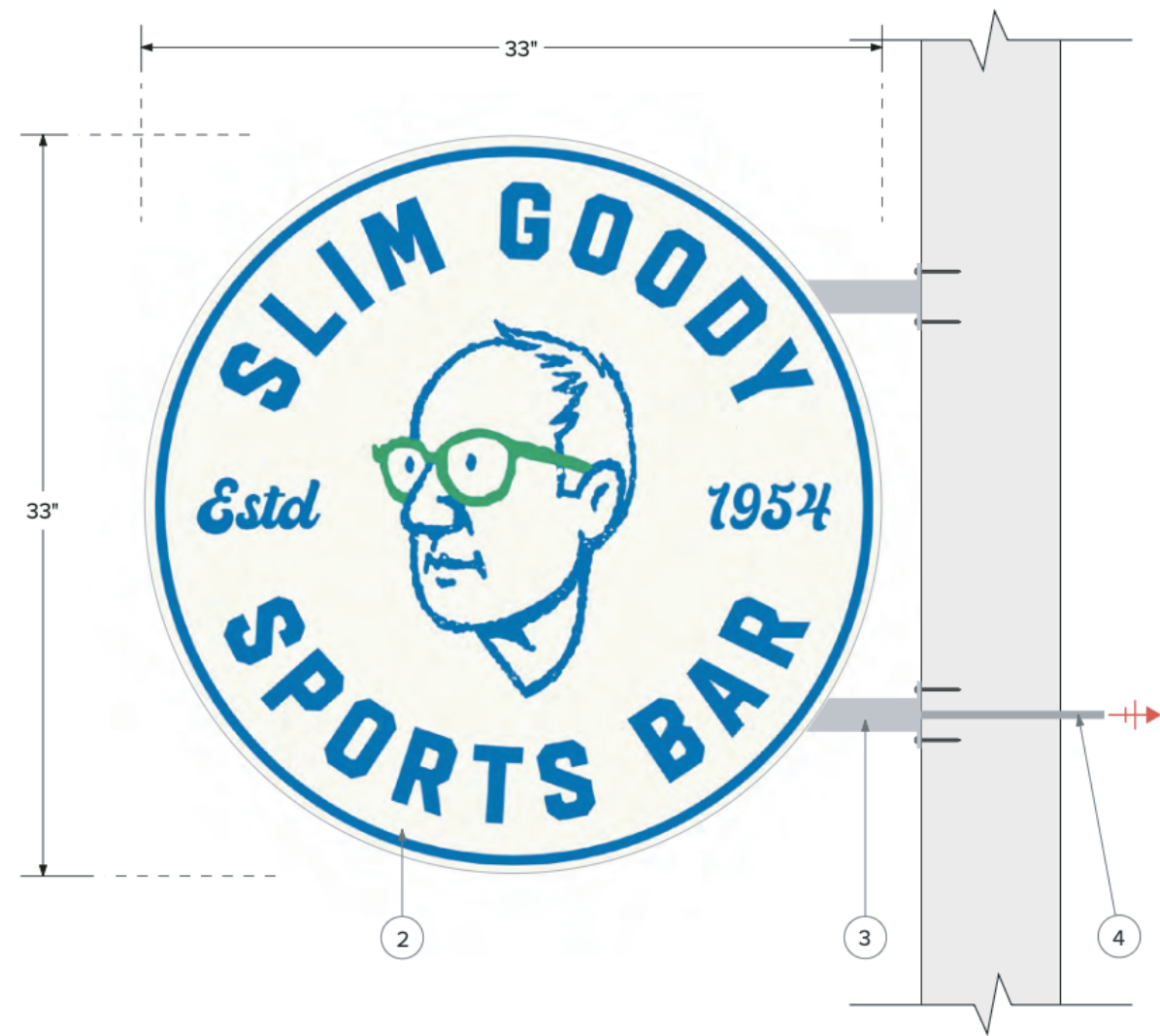
- ① EXISTING WINDOW.
- ② LOGO IS CUT BLUE VINYL APPLIED TO DOOR GLASS.
- ③ DAYS AND HOURS ARE CREAM VINYL APPLIED TO DOOR GLASS.

Note by DON staff: see page 43 of these plans for details on the location of this sign.



PROPOSED SIGNAGE RENDERING

## 08. PROPOSED DOOR SIGN



(01) SIGN FACE IS 3/16" THK CLEAR ACRYLIC. ATTACHES TO THE SIGN CABINET WITH 1" TRIMCAP. TRIMPCAP COLOR IS OFFWHITE.

(02) FABRICATED ALUMINUM SIGN CABINET. PAINT TO MATCH BUILDING, SHERWIN WILLIAMS 6379.

(03) ALUMINIUM BRACKET ARMS PAINT TO MATCH BUILDING, SHERWIN WILLIAMS 6379.

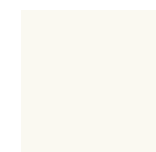
(04) NOTE: SIGN IS NON-ILLUMINATED. NO POWER CONNECTION REQUIRED.



PANTONE: PMS 349 C

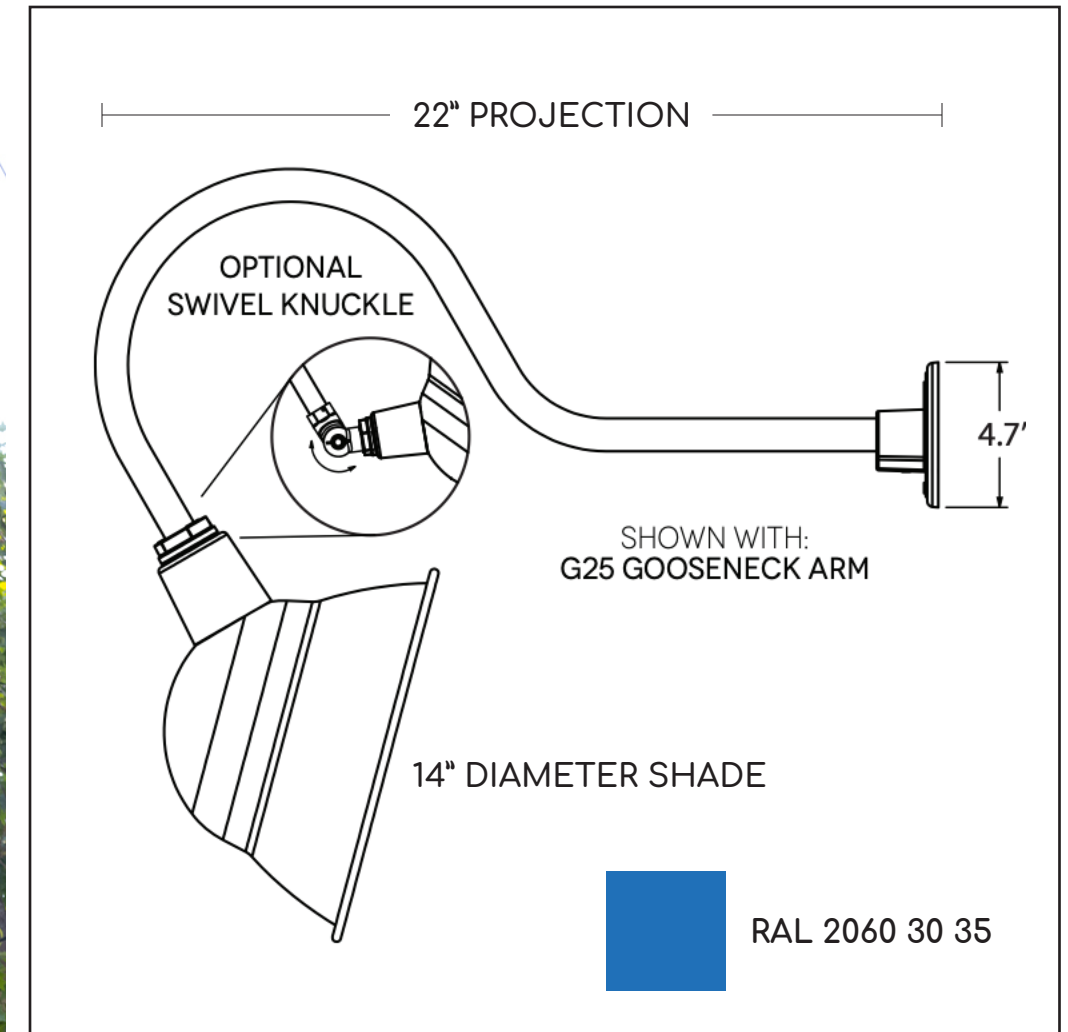


PANTONE: PMS 287 C



PANTONE: PMS 9081 C

## 09. PROPOSED BLADE SIGN



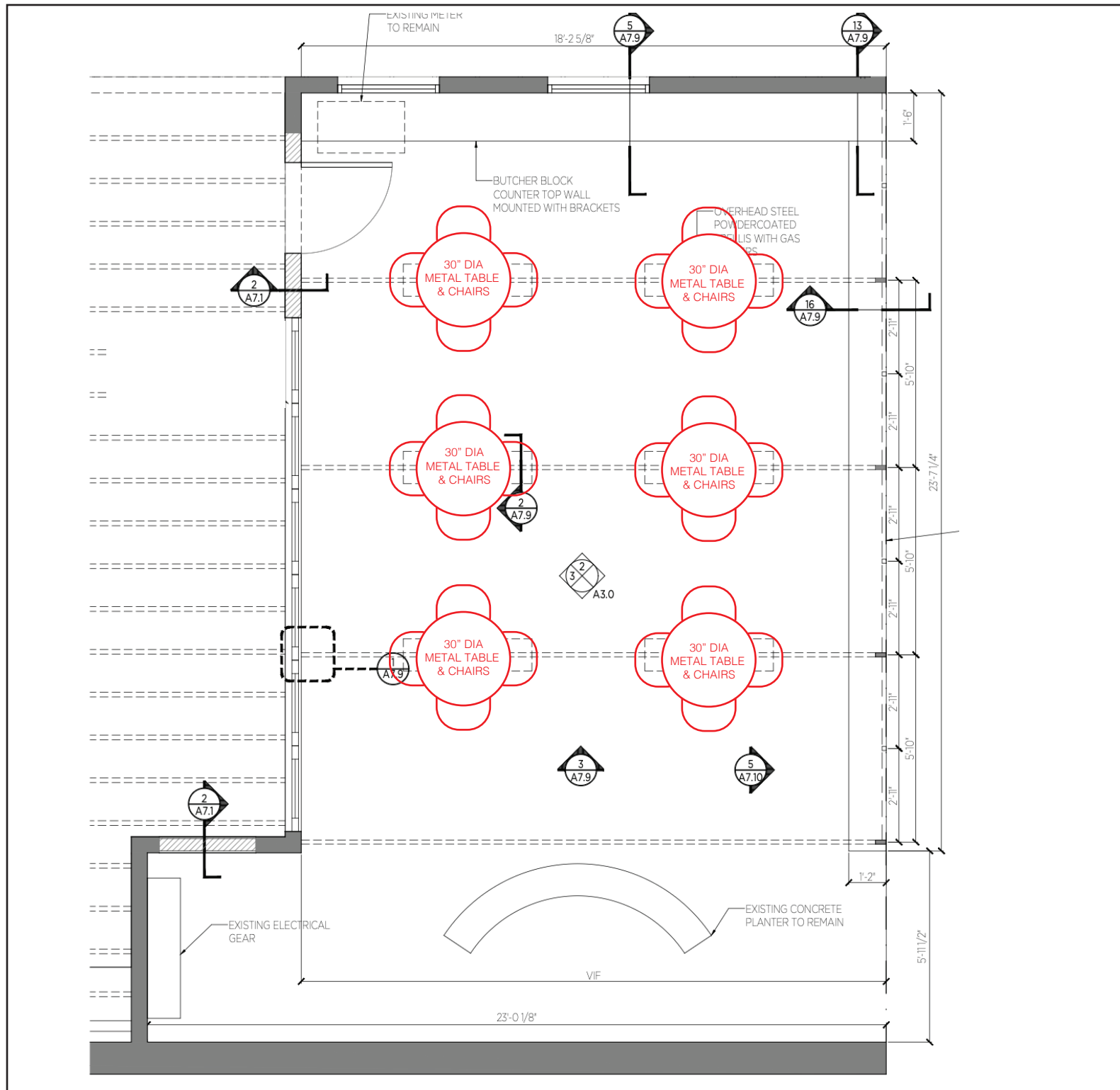
**EMBLEM LED SIGN LIGHT**

BLE-G-ASE14-700-G22-700-NA-NA-NA-LDCHX-LED16-3000K-DL

Shade Size: 14" Shade, Shade Finish: 700-Royal Blue, Gooseneck Arms: G22 Gooseneck Arm, Gooseneck Arm Finish: Same as Shade, Swivel Knuckle: None, Wire Cage: None, Mounting Accessory: Decorative BP & Hex Cover, Lumens: 1250 Lumens, Color Temperature: 3000K - Neutral White, LED Lens: Domed Lens

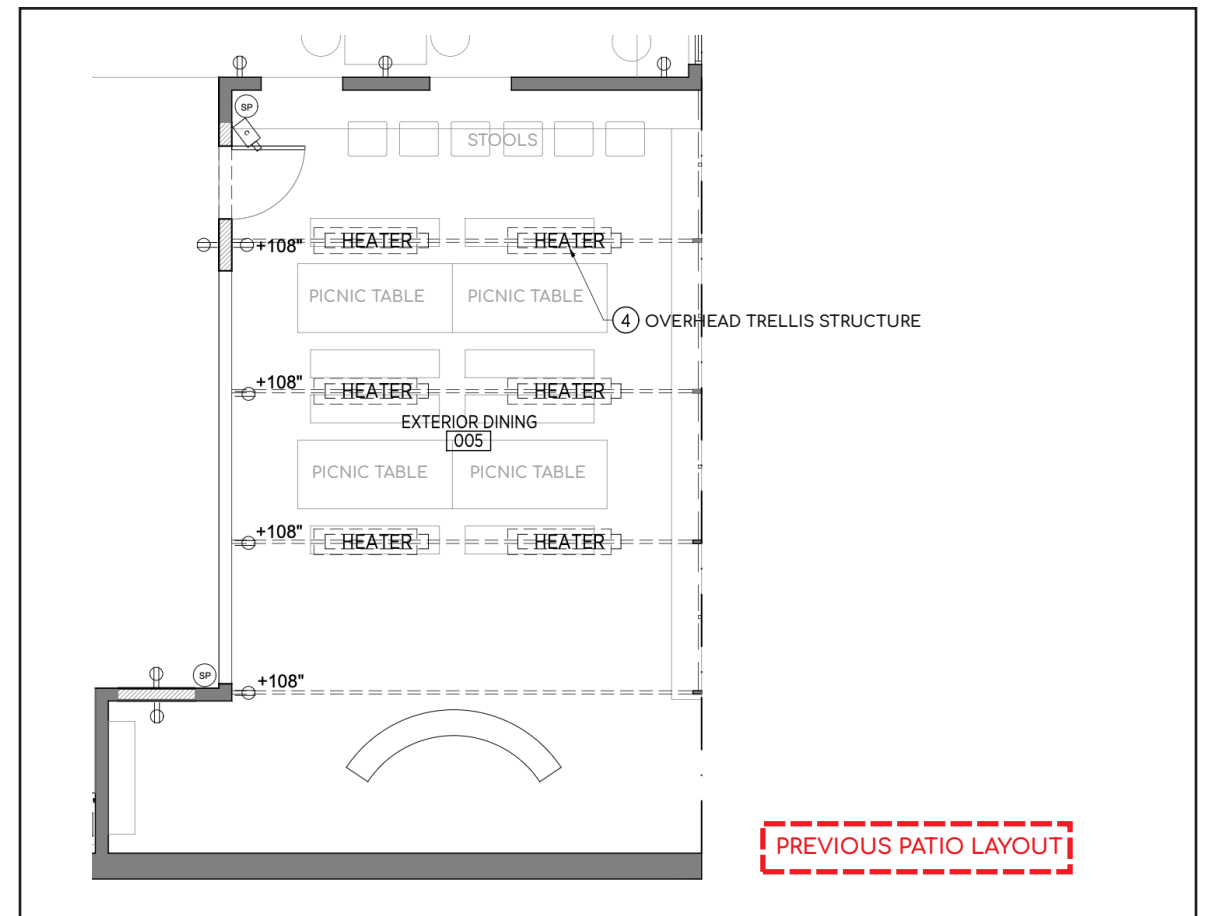
NOTE: ALL OTHER EXISTING EXTERIOR LIGHTING TO REMAIN UNCHANGED.

**10. PROPOSED EXTERIOR LIGHTING**



**PROPOSED ALTERATIONS**

- remove existing water damaged wood picnic tables.
- replace with durable metal tables and stools.
- remove existing stools.
- existing trellis to remain.
- existing heaters to remain.
- existing lighting to remain.
- existing butcher block counters to remain.
- existing concrete planter & tree to remain.
- Find furniture specifications on page 11.



**11. PROPOSED PATIO FLOORPLAN**

## Lancaster Table & Seating Alloy 30" Round Jade Green Bar Height Outdoor Table

#164RB30GRN

Item #: 164RB30GRN Qty: \_\_\_\_\_

Project: \_\_\_\_\_

Approval: \_\_\_\_\_ Date: \_\_\_\_\_



### Technical Data

Height	42 Inches
Diameter	29 1/2 Inches
Adjustable Height	Fixed
Height Style	Bar Height
Assembly Options	Assembly Required
Base Material	Steel
Color	Green
Features	Corrosion-Resistant
Finish	Powder-Coated
Installation Type	Freestanding

## Lancaster Table & Seating Alloy Sapphire Outdoor Backless Barstool

#164BMBKLSNVY

Item #: 164BMBKLSNVY Qty: \_\_\_\_\_

Project: \_\_\_\_\_

Approval: \_\_\_\_\_ Date: \_\_\_\_\_



### Technical Data

Width	16 1/2 Inches
Depth	16 1/2 Inches
Height	30 1/8 Inches
Seat Width	12 Inches
Seat Depth	12 Inches
Height Style	Bar Height
Seat Height	30 1/8 Inches
Arms	Without Arms
Assembly Options	Fully Assembled



RAL 6037



RAL 5005



CLEAR COAT OVER ALUMINUM



RAL 9016

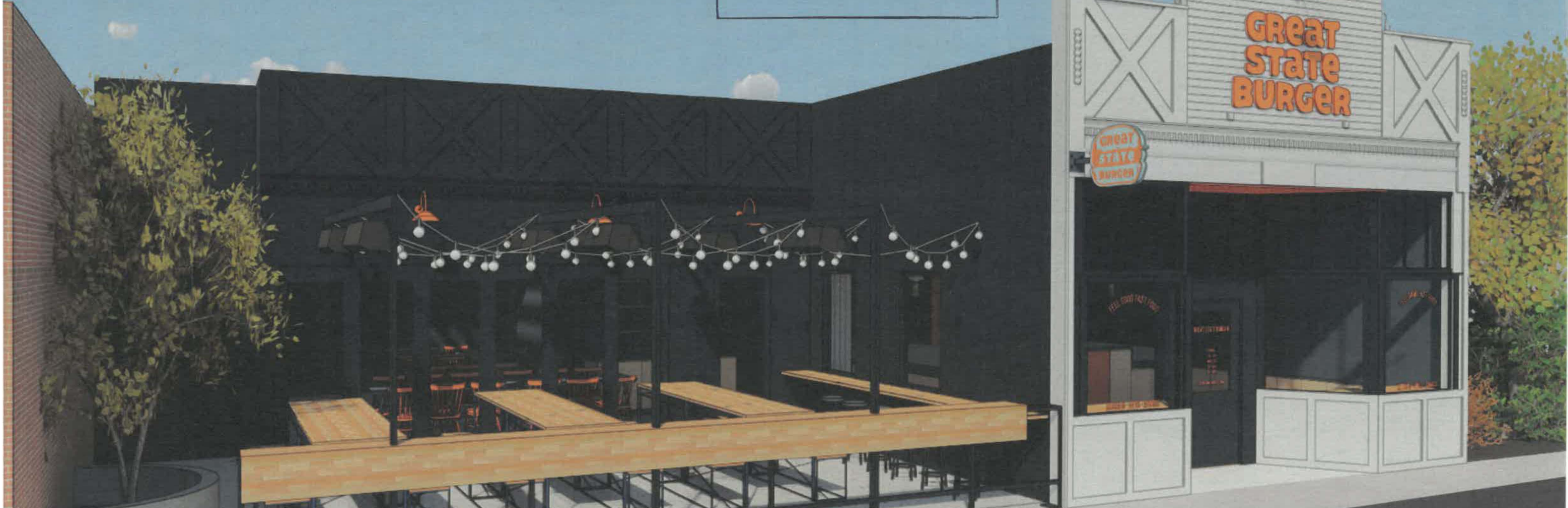
## 12. PROPOSED PATIO FURNITURE

# APPENDIX A

Best Practice  
Architecture

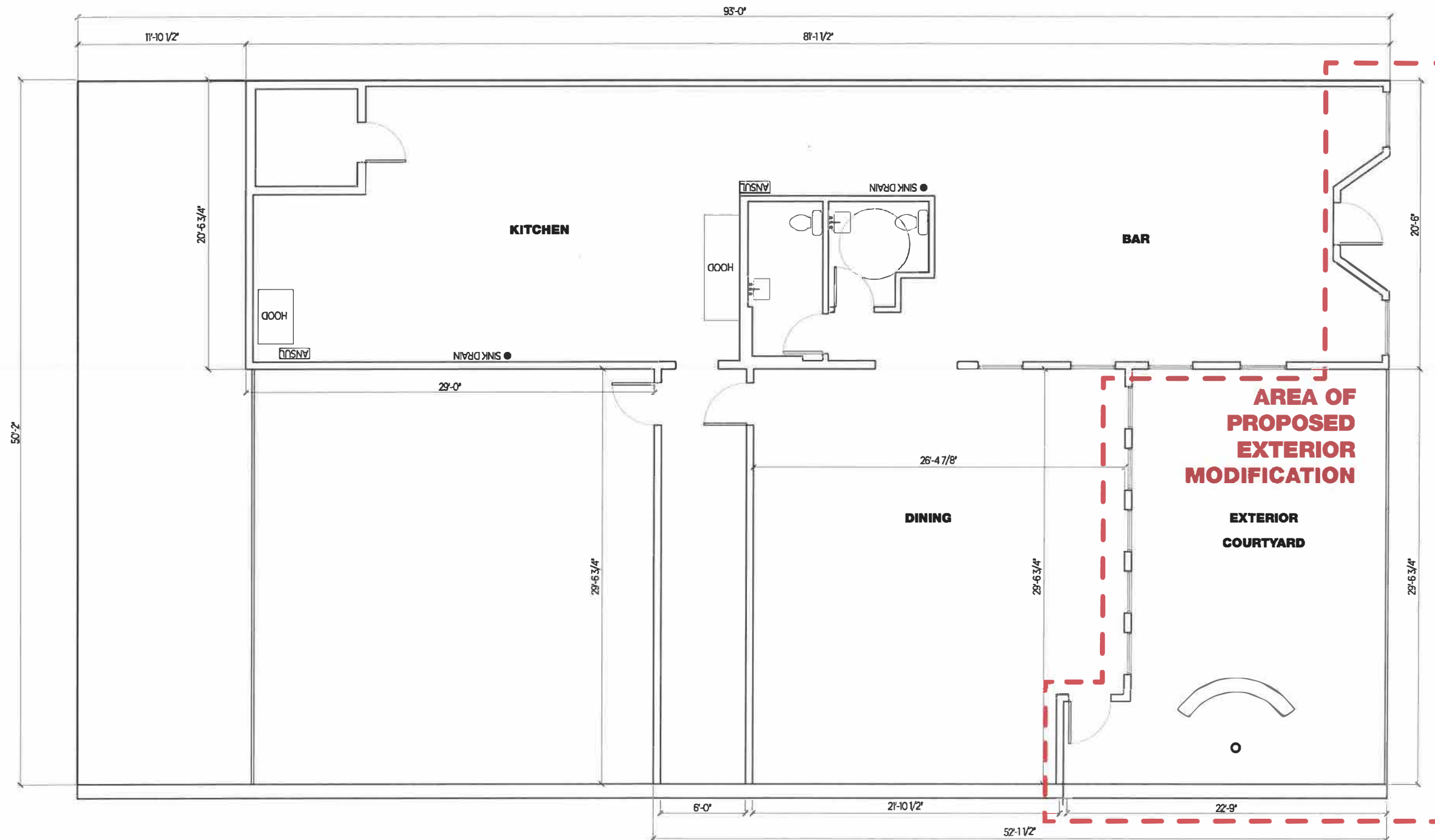
SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	APPROVED		
1/8	APPROVED W/CONDITIONS	✓	
INITIALS	NOT APPLICABLE	DATE	
MS		1/16/20	

SPECIAL DISTRICT AND LANDMARK REVIEW			
PROPERTY OR DISTRICT	BLD		
CHANGE OF USE	LOG #	3/20	
ST USE	DATE	1/16/20	
<input checked="" type="checkbox"/> EXT. DESIGN	STAFF	M. Le	
INT. DESIGN	PHONE	684-0229	
COMMENTS ON PAGES:			



**Great State Burger**  
**Design Application**  
5411 BALLARD AVE NW  
for: Ballard Avenue Landmark District  
2019-11-18

# APPENDIX A



**1** EXISTING FLOOR PLAN  
1/8" = 1'-0" N

## Existing Floor Plan

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
2/18	APPROVED W/CONDITIONS ✓
INITIALS m	NOT APPLICABLE
DATE	1/16/20

# APPENDIX A

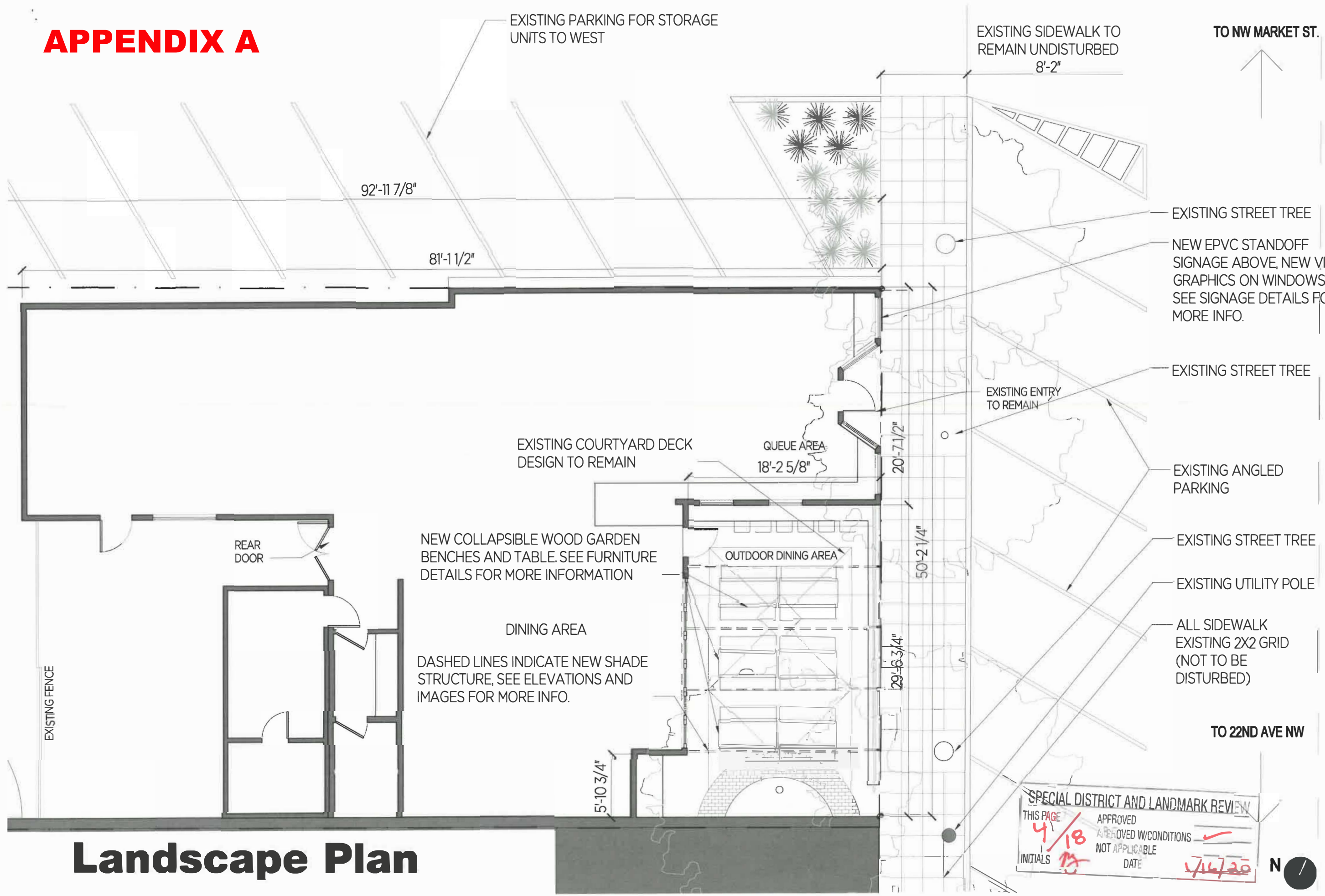


**1** PROPOSED FLOOR PLAN  
 1/8" = 1'-0" N

## Proposed Floor Plan

SPECIAL DISTRICT AND LANDMARK REVIEW  
 THIS PAGE 3/18  
 INITIALS *ms* DATE 1/16/20  
 APPROVED APPROVED W/CONDITIONS   
 NOT APPLICABLE

# APPENDIX A



BALLARD AVENUE NW

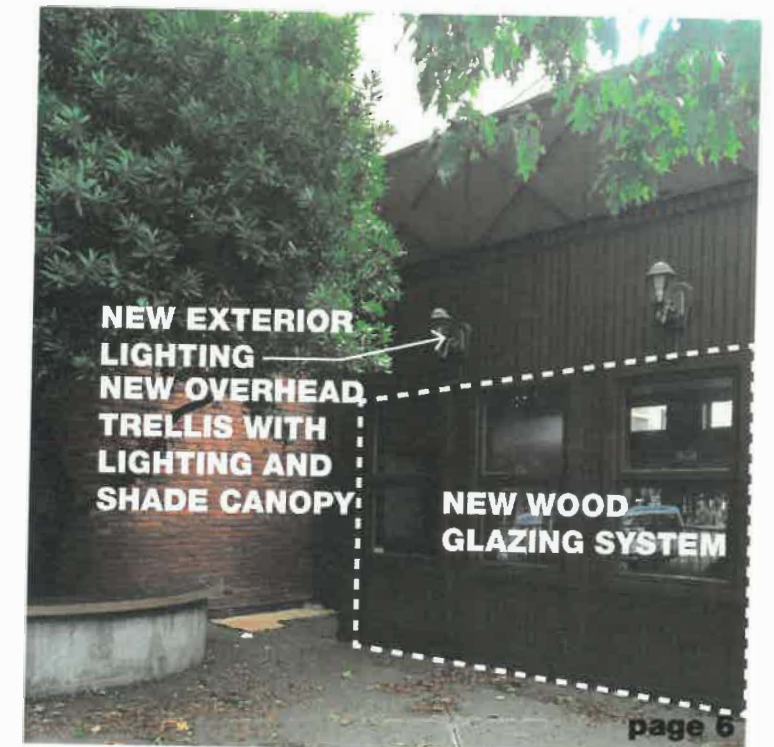
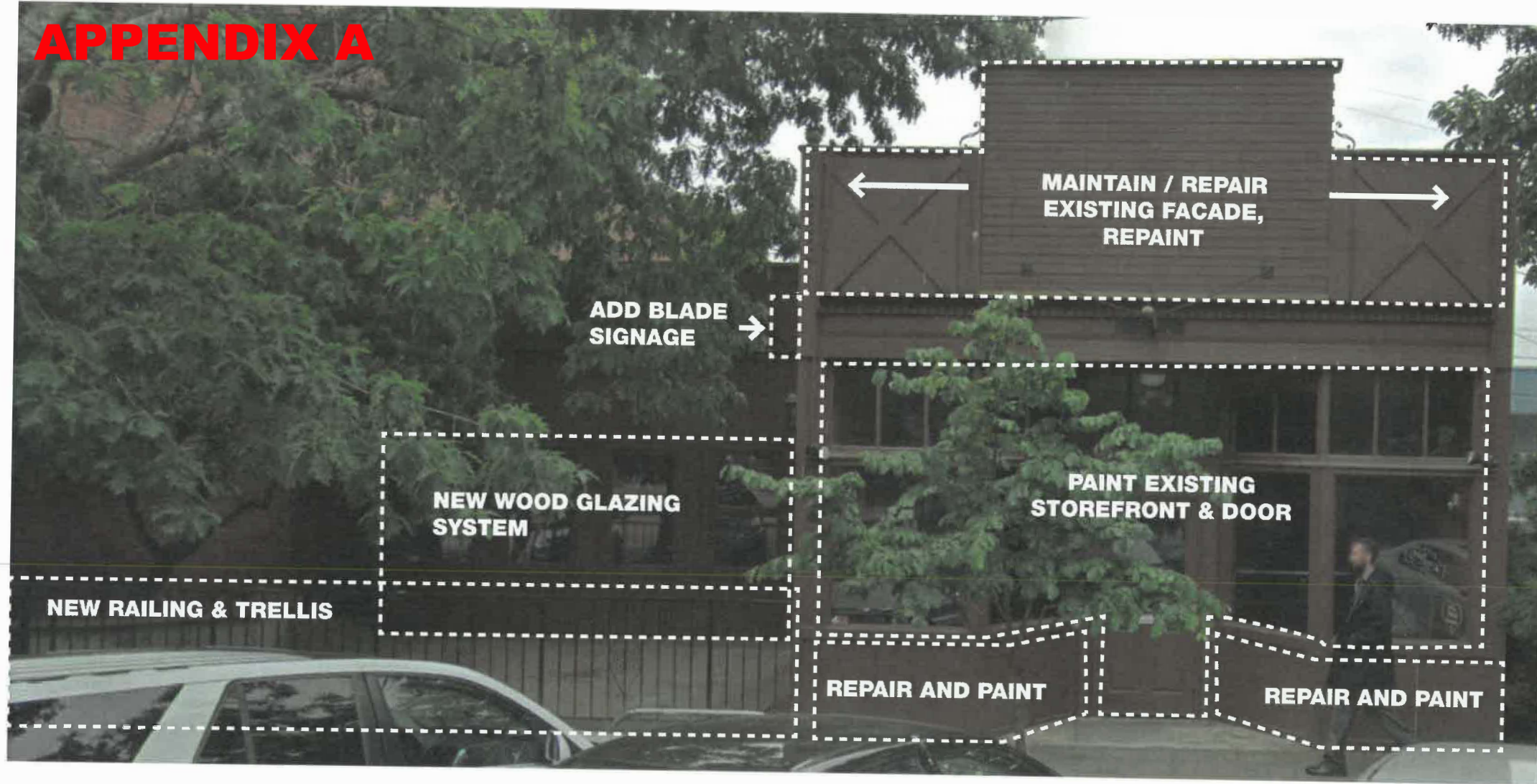
SPECIAL DISTRICT AND LANDMARK REVIEW

THIS PAGE	APPROVED
4/18	APPROVED W/CONDITIONS ✓
INITIALS	NOT APPLICABLE
DATE	7/16/20

## Landscape Plan



# APPENDIX A



## Proposed Alterations

SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	APPROVED		
5/18	APPROVED W/CONDITIONS	✓	
INITIALS	NOT APPLICABLE		
ms	DATE		1/16/20

# APPENDIX A

Exterior Paint Colors: Sherwin Williams



SW-6224

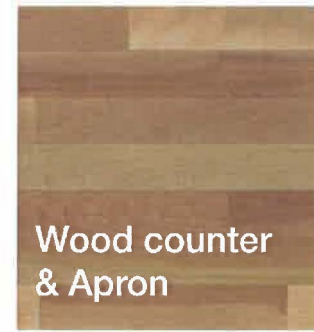


SW-6245



SW-6886

Exterior Materials



Maple Butcher Block



Powdercoated Metal RAL 5011



Powdercoated Metal RAL 2008



NEW ELECTRICAL METER AND STRIKE (ALREADY APPROVED BY BALLARD HISTORICAL BOARD)

NEW WOOD RAILING FACE

NEW POWDER COATED POSTS

NEW LIGHTING  
NEW SIGNAGE

NEW SIGNAGE

**1** NEW EAST ELEVATION  
1/4" = 1'-0"

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
6/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
INITIALS <i>ms</i>	NOT APPLICABLE
DATE	1/16/20

## Proposed Elevation

# APPENDIX A

## Exterior Paint Colors: Sherwin Williams



SW-6224

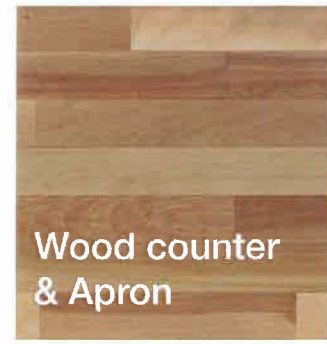


SW-6245



SW-6886

## Exterior Materials



Maple Butcher Block



Powdercoated Metal RAL 5011



Powdercoated Metal RAL 2008



**1** NEW EAST ELEVATION (Courtyard Only)  
1/4" = 1'-0"

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
7/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
INITIA LS	NOT APPLICABLE
DATE	1/16/20

# Proposed Elevation

# APPENDIX A

## Exterior Paint Colors: Sherwin Williams



Main Color  
SW-6224

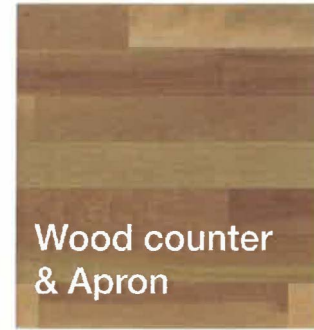


Main Color  
SW-6245



Accent Color  
SW-6886

## Exterior Materials



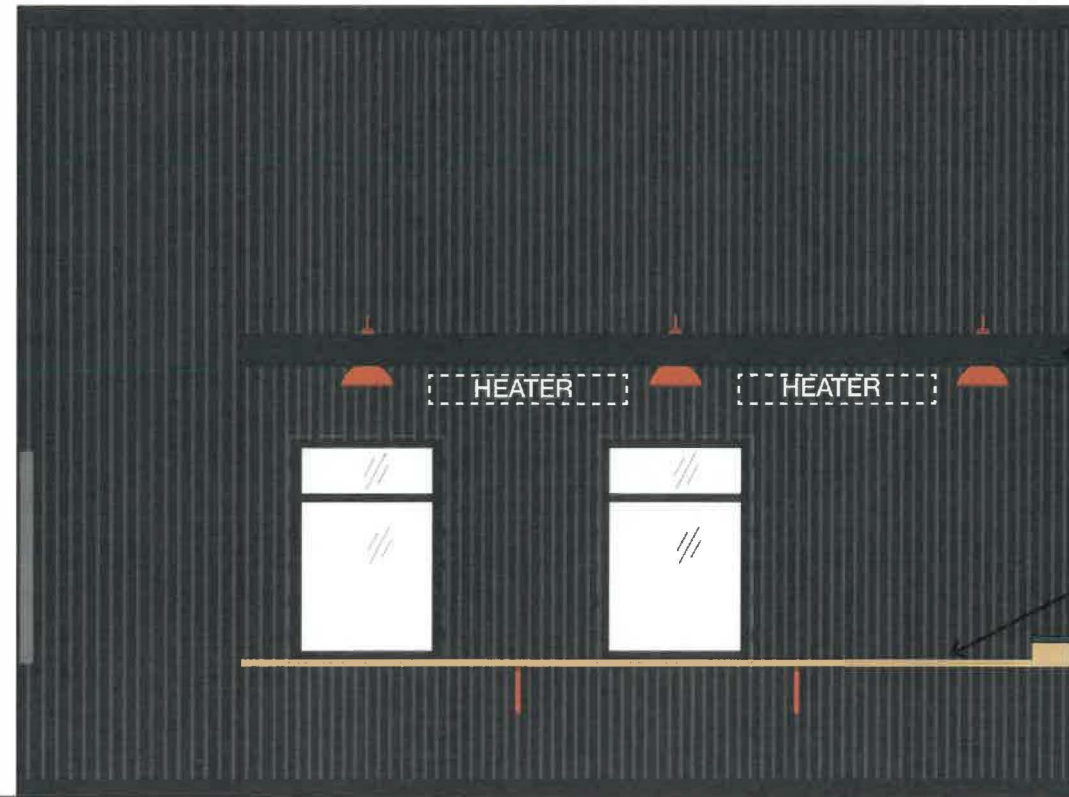
Wood counter  
& Apron  
Maple Butcher  
Block



Powdercoated  
Metal RAL 5011



Powdercoated  
Metal RAL 3022



NEW POWDERCOATED STEEL TRELLIS  
BUTCHER BLOCK COUNTER BEYOND

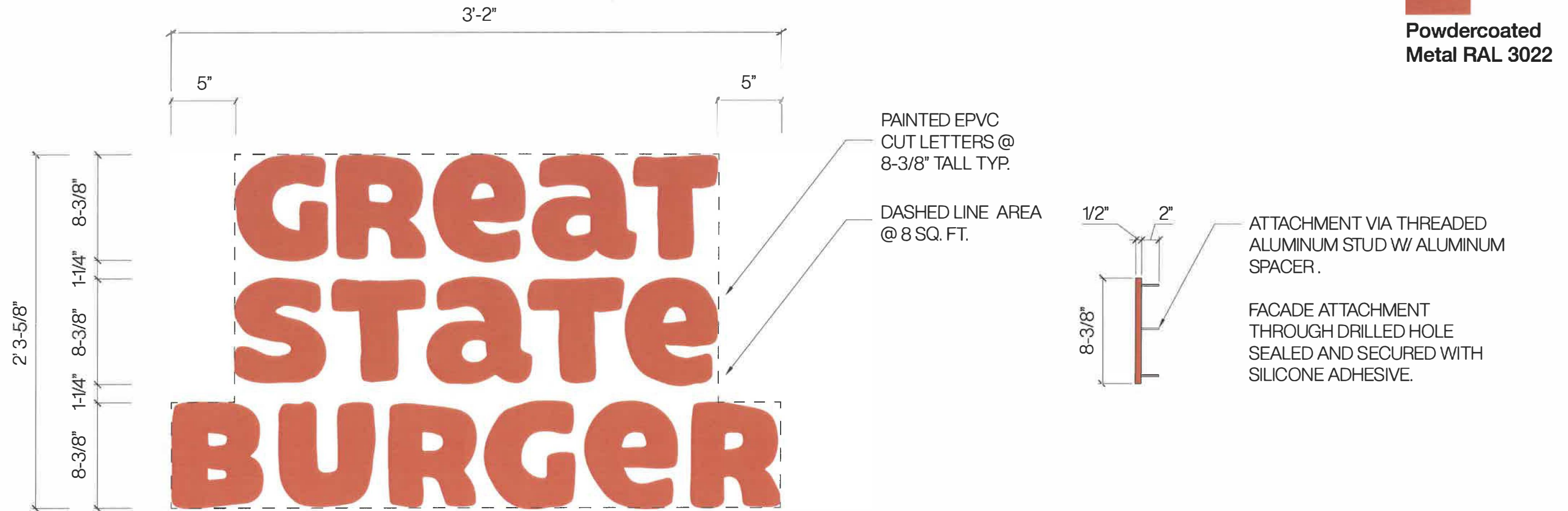
NEW POWDERCOATED STEEL RAILING  
WITH BUTCHER BLOCK TOP AND APRON

**1** NEW SOUTH ELEVATION  
1/4" = 1'-0"

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
8/18	APPROVED W/CONDITIONS ✓
INITIALS	NOT APPLICABLE
DATE	4/16/20

# Proposed Elevation Preferred Option

# APPENDIX A

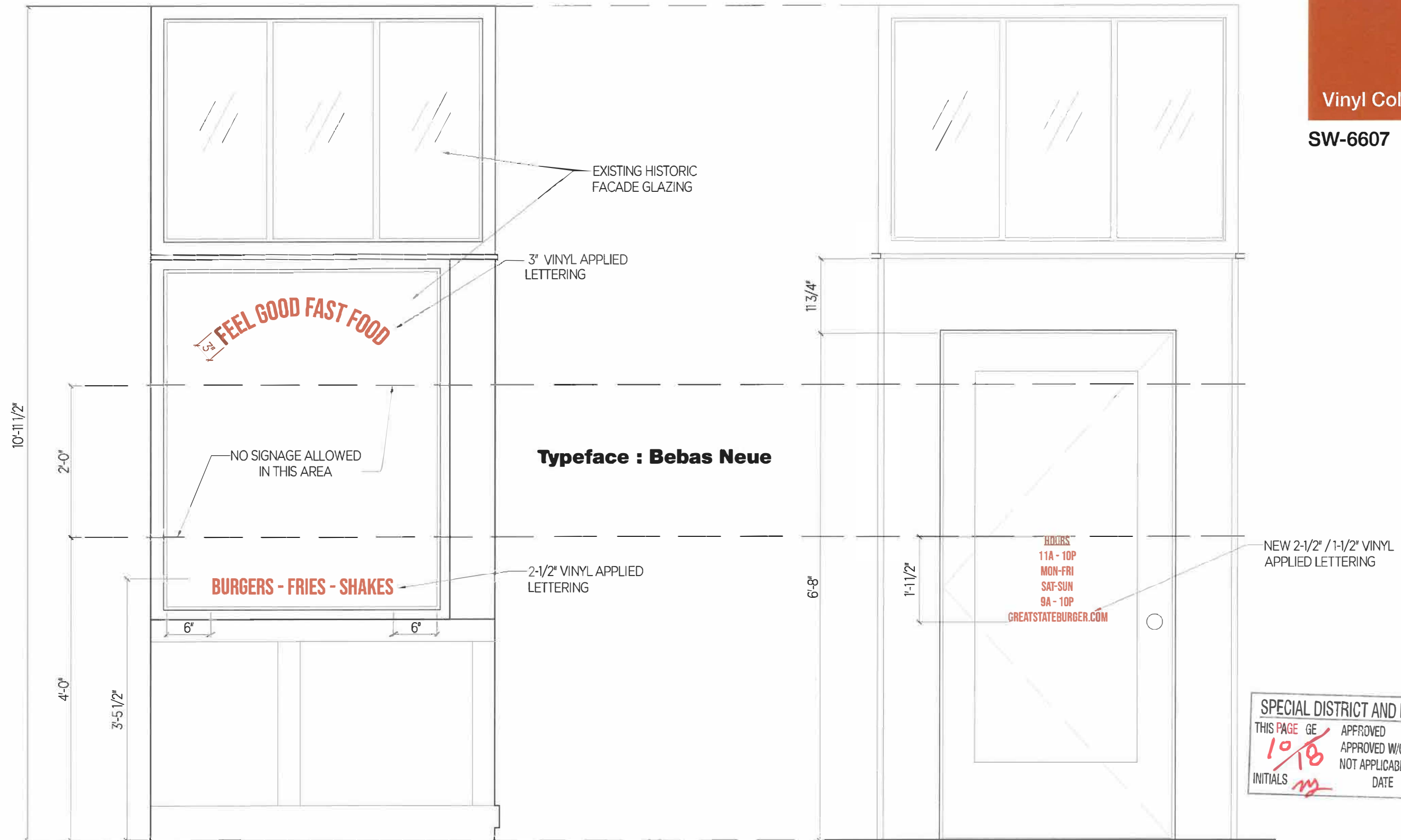


**Typeface : CUSTOM**

## Overhead Facade Signage

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE E	APPROVED
9/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
	NOT APPLICABLE
INITIALS <i>ms</i>	DATE 1/16/20

# APPENDIX A

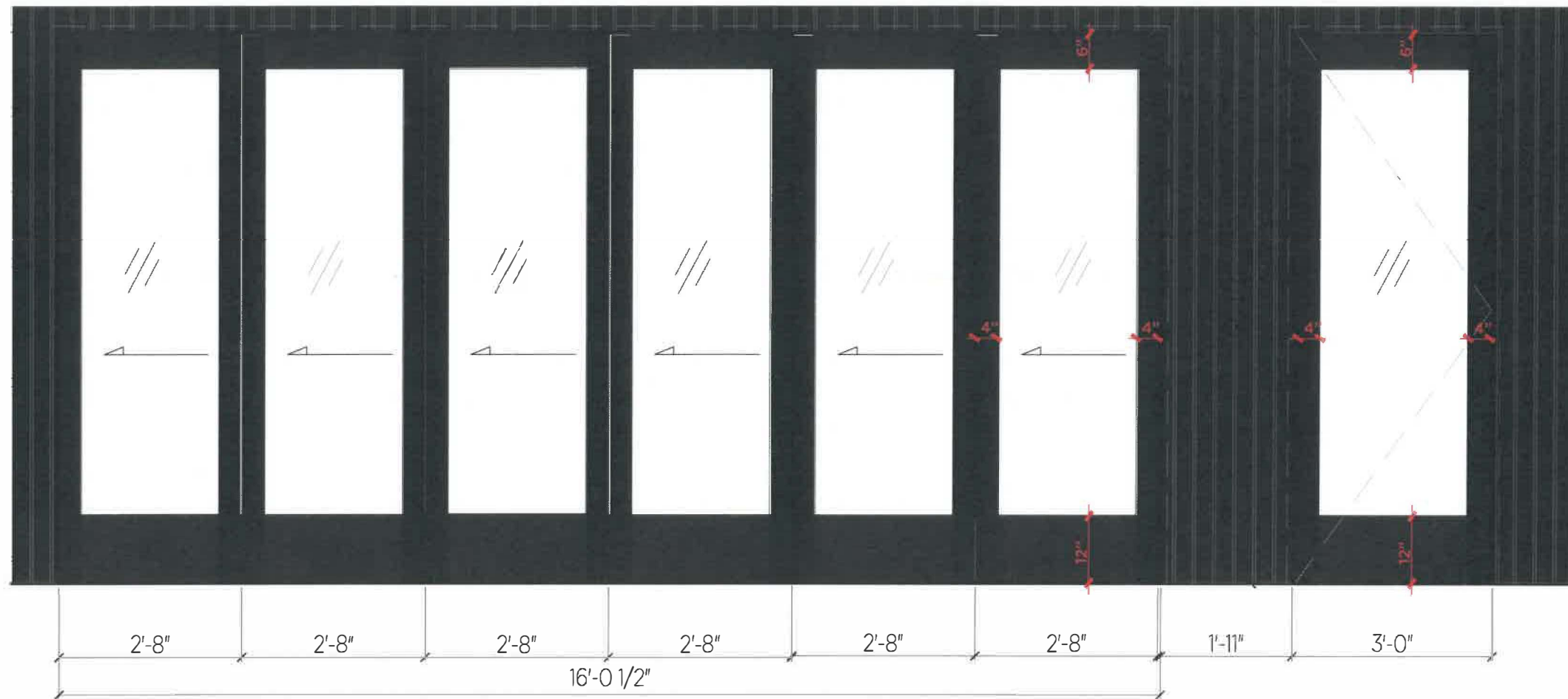


SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	GE	APPROVED	
10/18		APPROVED W/CONDITIONS	✓
INITIALS	my	NOT APPLICABLE	
		DATE	1/16/20

## Door And Window Signage

# APPENDIX A

Exterior Paint Colors: Sherwin Williams

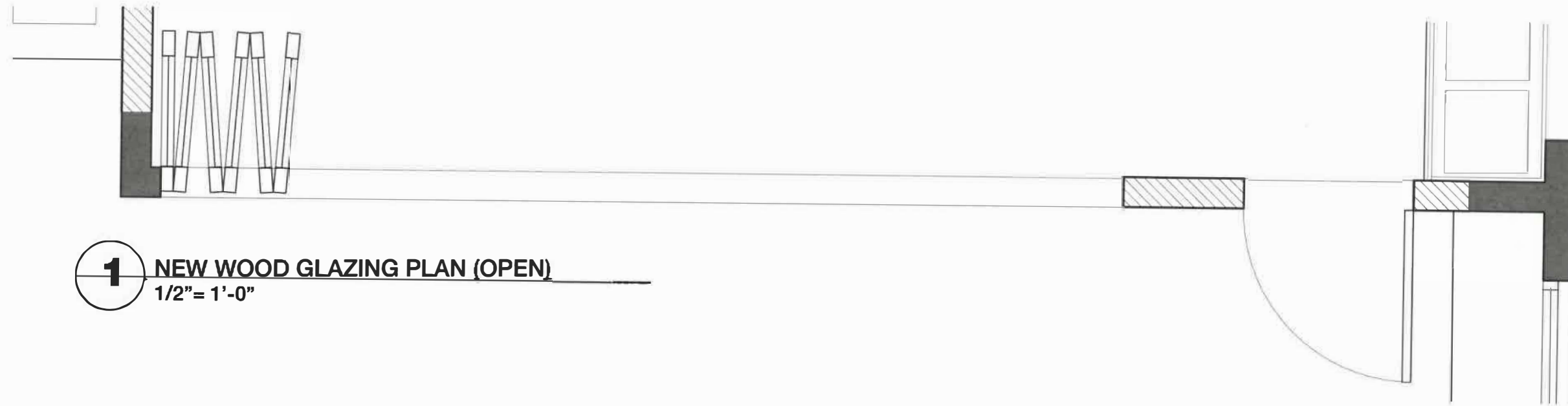


**1** NEW WOOD STOREFRONT ELEVATION  
1/2" = 1'-0"

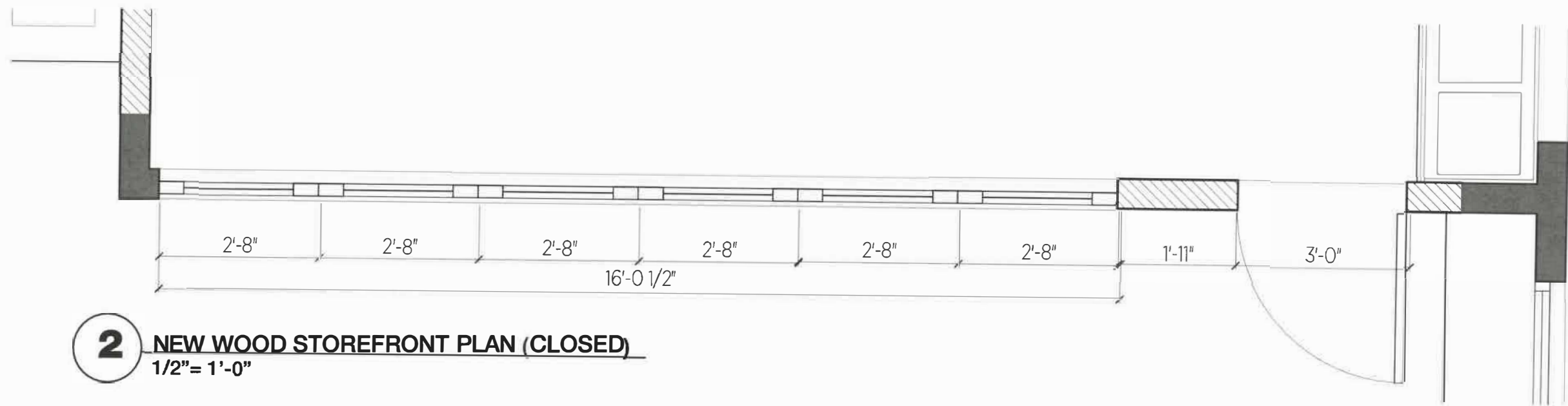
SPECIAL DISTRICT AND LANDMARK REVIEW  
THIS PAGE E  
11/18  
APPROVED  
APPROVED W/CONDITIONS  
NOT APPLICABLE  
INITIALS *ms* DATE 1/16/20

## Wood Glazing System Accordion Style Full Height Doors

# APPENDIX A



**1** NEW WOOD GLAZING PLAN (OPEN)  
1/2" = 1'-0"

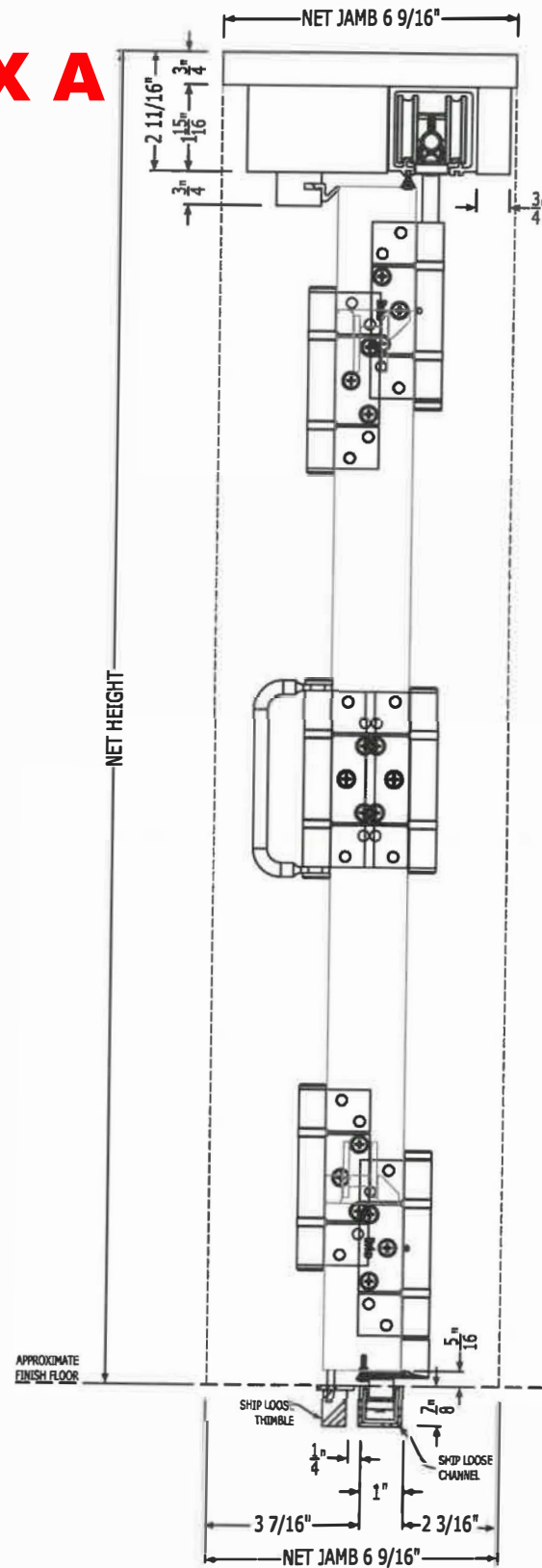


**2** NEW WOOD STOREFRONT PLAN (CLOSED)  
1/2" = 1'-0"

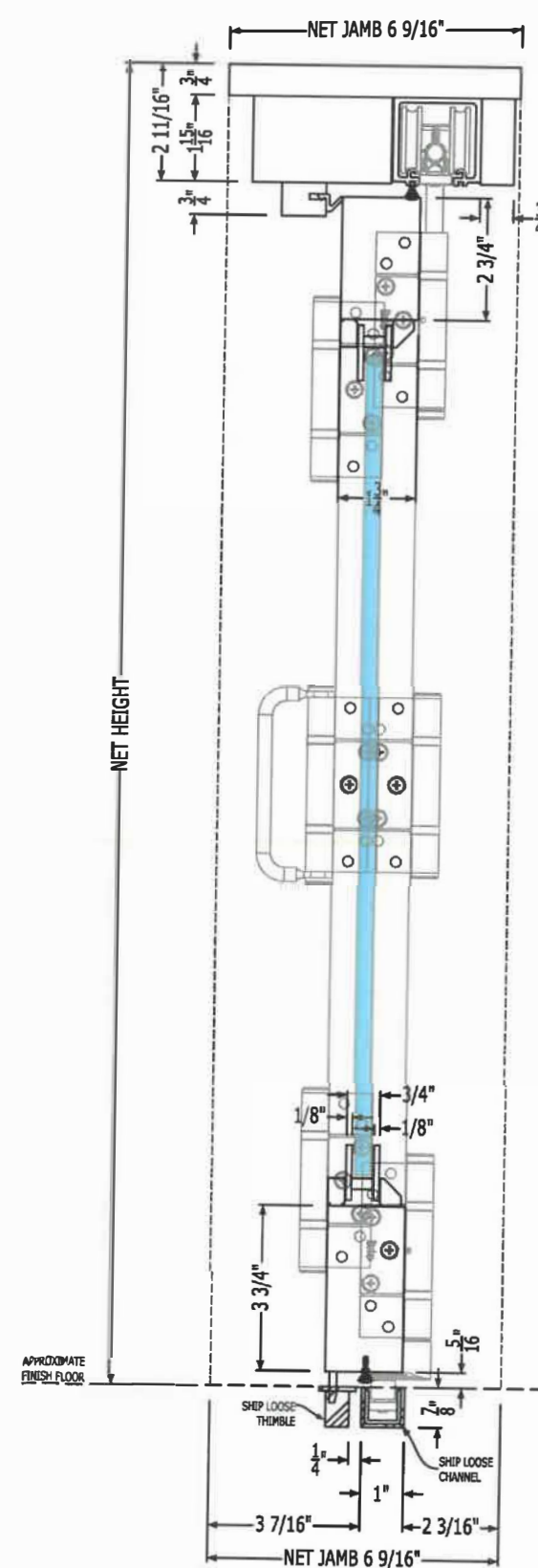
SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	GE	APPROVED	<input type="checkbox"/>
12/18		APPROVED W/CONDITIONS	<input checked="" type="checkbox"/>
		NOT APPLICABLE	<input type="checkbox"/>
INITIALS	ms	DATE	1/16/20

## Wood Glazing System Accordion Style Full Height Doors

# APPENDIX A



**1** SECTION @ WOOD STOREFRONT DOOR FOR HARDWARE  
3" = 1'-0"

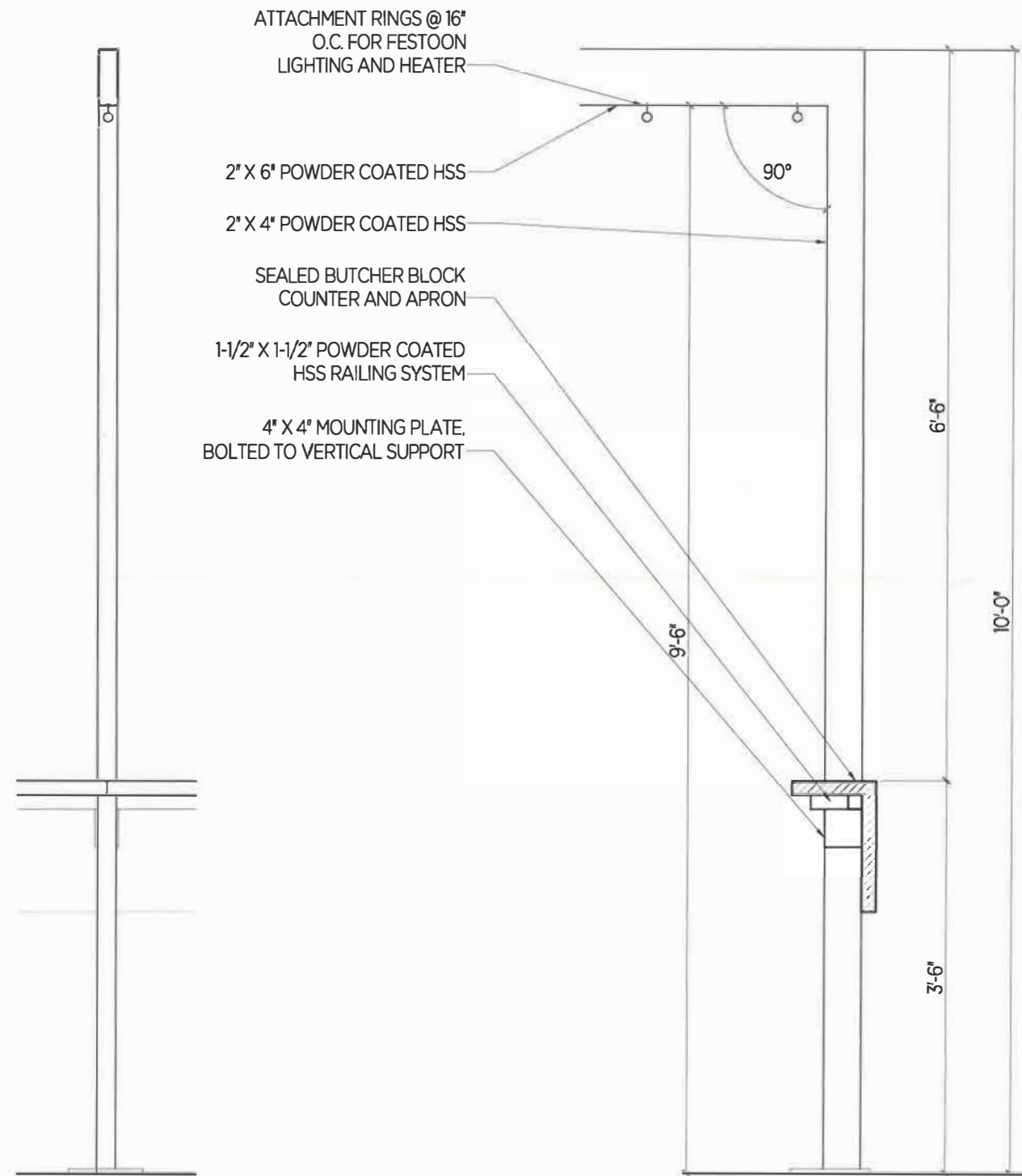


**2** SECTION @ WOOD STOREFRONT THROUGH GLAZING  
3" = 1'-0"

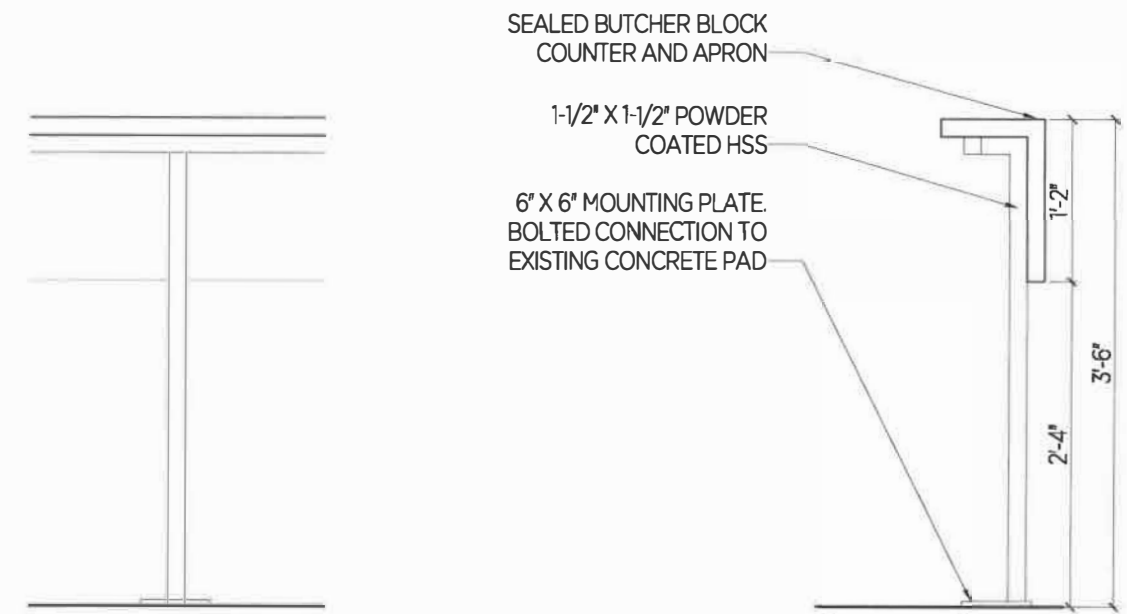
SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	GE	APPROVED	
13/19		APPROVED W/CONDITIONS	✓
INITIALS		NOT APPLICABLE	
		DATE	1/16/20

## Wood Glazing System Accordion Style Full Height Doors

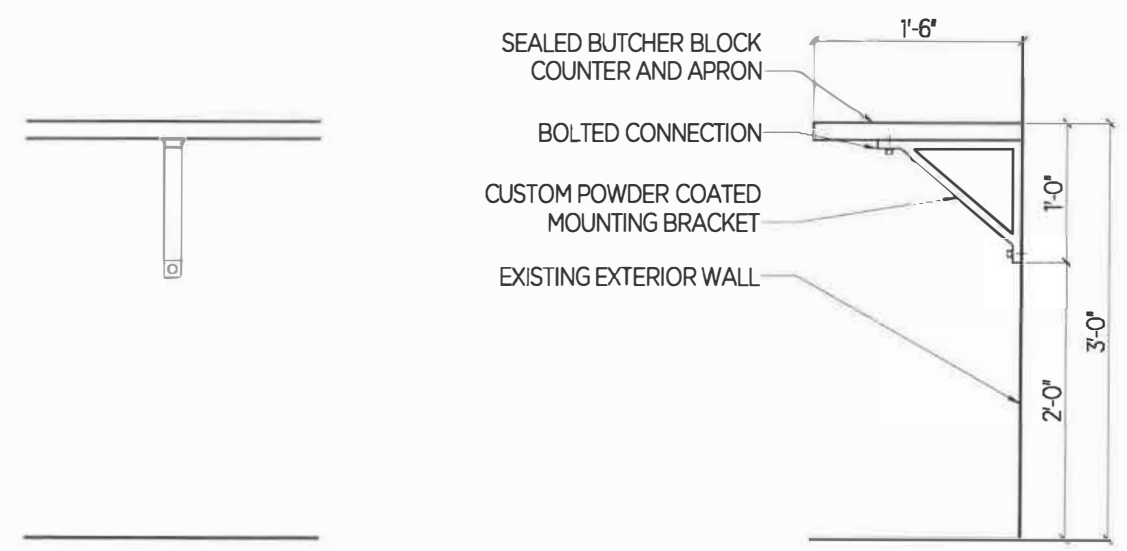
# APPENDIX A



**1** NEW METAL TRELLIS FRONT / SIDE  
3/4" = 1'-0"



**2** NEW WOOD AND METAL RAILING FRONT / SIDE  
3/4" = 1'-0"

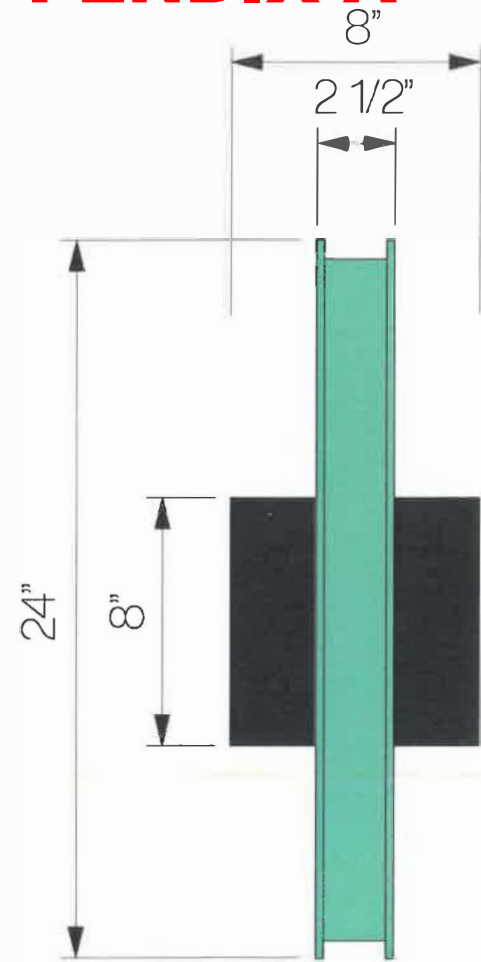


**3** NEW WOOD AND METAL COUNTER FRONT / SIDE  
3/4" = 1'-0"

## Trellis And Railing Details

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
14/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
INITIALS <i>nm</i>	NOT APPLICABLE
DATE	1/16/20

# APPENDIX A



END VIEW



SIDE VIEW

## New Double Face Blade Sign

Scale: 1/2" = 1'-0"

### Sign Cabinet

- Aluminum cabinet shall have oversized faces and be painted teal. Area of both sides is equal to 8 SF
- Faces of cabinet shall have orange opaque vinyl graphics copy and graphics as shown

### Support Arm

- 2"x2" square tube support arm with 8"x8"x1/4" mounting plate shall be welded to cabinet and be painted navy blue to match exterior paint

### Installation

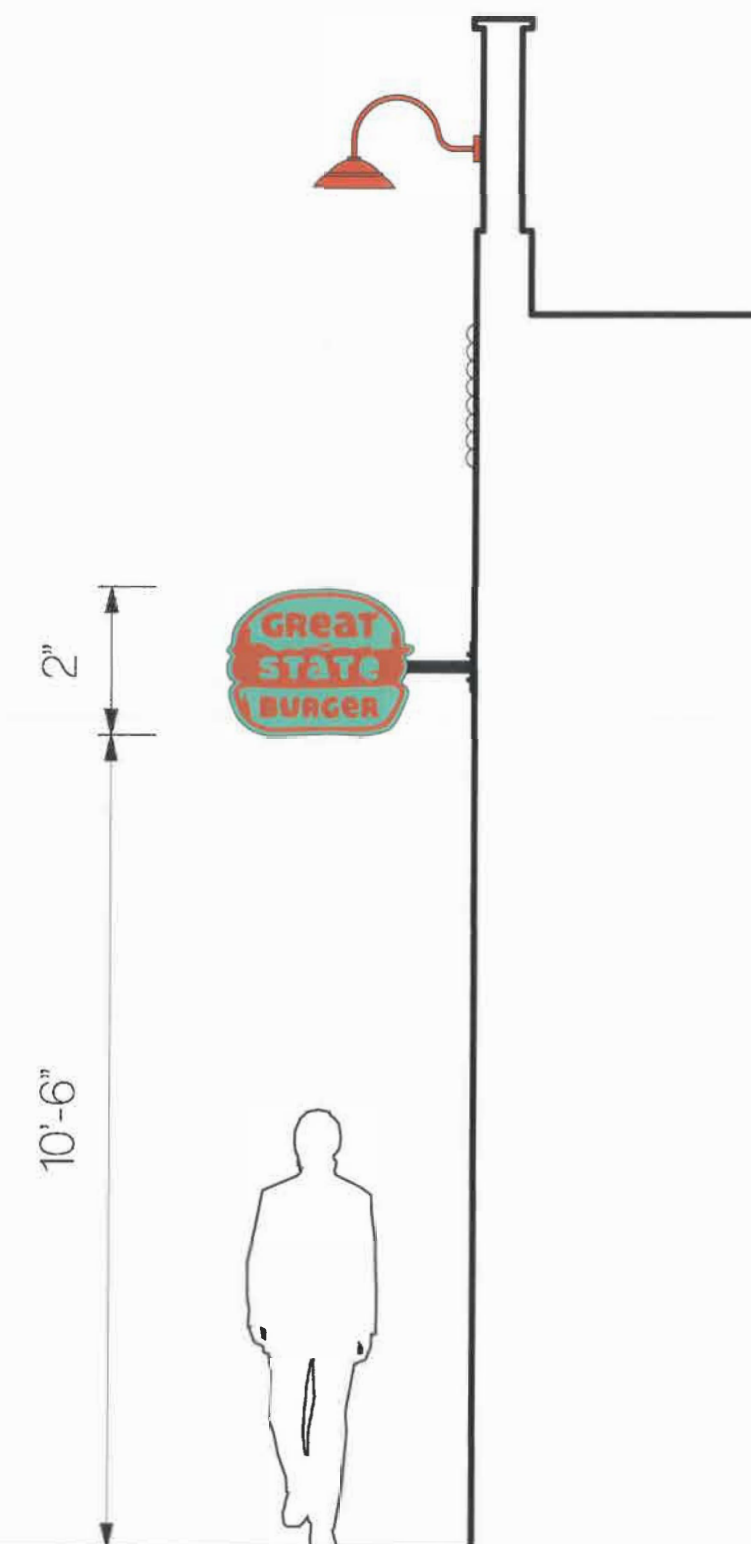
- New blade sign will be thru bolted to existing facade using 3/8" bolts



Powdercoated Metal RAL 3022



Powdercoated Metal RAL 6027



EAST-WEST SECTION

SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	GE	APPROVED	<input type="checkbox"/>
15/18		APPROVED W/CONDITIONS	<input checked="" type="checkbox"/>
		NOT APPLICABLE	<input type="checkbox"/>
INITIALS	MY	DATE	1/16/20

# APPENDIX A



## EXTERIOR LED STRING LIGHTING

- 100ft Black Commercial Medium String black
- 50 bulbs per string
- 514 VINTAGE "WARM WHITE" BULBS 2800k



## BARNLIGHT ELECTRIC UNION GOOSENECK LAMP

- New Color (RAL 2008)
- G26 Size + Mounting Arm
- LED 27 Bulb 2700k

# Proposed Exterior Lighting

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	GE APPROVED
16/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
INITIALS	NOT APPLICABLE
DATE	1/16/20

# APPENDIX A

## Lynx Eave-Mounted 48" Patio Heater - NG

Item#: 4140177

Overview	Specs	Warranty	Q&A
<ul style="list-style-type: none"><li>• <b>Material:</b> Stainless Steel</li><li>• <b>Type:</b> Wall/Ceiling Mounted</li><li>• <b>Color:</b> Stainless Steel</li><li>• <b>Length:</b> 6.5"</li><li>• <b>Width:</b> 49.09375"</li><li>• <b>Height:</b> 12"</li><li>• <b>Fuel Type:</b> Natural Gas</li><li>• <b>Heat Output:</b> 35,000 BTUs</li><li>• <b>Assembly Required:</b> Minimal</li><li>• <b>Item Weight:</b> 110 lbs.</li><li>• <b>Grade:</b> Residential</li><li>• <b>Heat Method:</b> Infrared</li></ul>			



SPECIAL DISTRICT AND LANDMARK REVIEW			
THIS PAGE	GE	APPROVED	
17	18	APPROVED W/CONDITIONS	<input checked="" type="checkbox"/>
INITIALS	DATE	NOT APPLICABLE	
my	1/16/20		

# Proposed Exterior Gas Heater

# APPENDIX A



Picnic Table: Natural Maple Top + Navy Legs  
Beer Garden Set "Standard" 86.5"x 20"  
Beer Garden Set Benches 86.5" x 9.5"



Industry West "Prouve" Counter height Stool  
-White Powder Coated Steel Frame  
-Scuff Resistant Navy Veneer

## Proposed Exterior Furniture

SPECIAL DISTRICT AND LANDMARK REVIEW	
THIS PAGE	APPROVED
18/18	APPROVED W/CONDITIONS <input checked="" type="checkbox"/>
INITIALS <i>ms</i>	NOT APPLICABLE
	DATE 1/16/20

# APPENDIX B



SITE PLAN  
SCALE NTS



## SITE ADDRESS

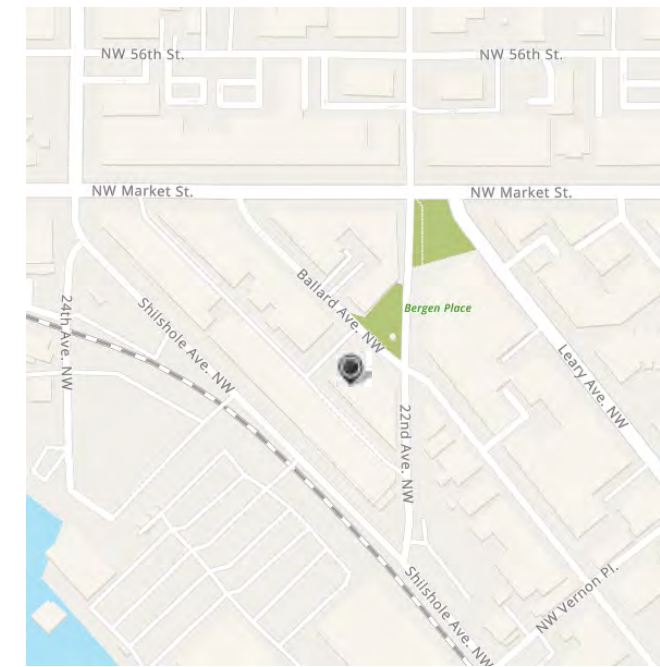
SLIM GOODY SPORTS BAR  
5411 BALLARD AVE NW  
SEATTLE WA 98107

## PROJECT SCOPE

**SIGN 1**  
S/F NON-ILLUMINATED WALL SIGN

**SIGN 2**  
D/F NON-ILLUMINATED BLADE SIGN

**CITY OF SEATTLE**  
**DEPT. OF CONSTRUCTION AND INSPECTIONS**  
Mar 13, 2024  
**SIGNS**  
**APPROVED Subject to Errors and Omissions**  
By: Steve Sampson  
**PERMIT #: 7013234-SB**



VICINITY MAP  
SCALE NTS



## SLIM GOODY SPORTS BAR – SIGN PACKAGE

The design depicted herein is the sole property of Western Neon Inc., and may not be reproduced in whole or in part without prior written consent. Actual color, letter sizes and graphic layout may vary slightly due to the properties of materials. Colors may vary depending on media substrate. This sign is intended to be installed in accordance with Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with Article 600.6 (A) (1) of the National Electric Code.



DRAWN: BLAZEK F	DATE 02.20.24	JOB NO. 16740 Slim Goody Sports Bar
CHECKED: XXXXXXXXXX	DATE 00.00.00	DRAWING TITLE PROJECT SITE SCOPE
DRAWING NO. SITE-01		VER. 1

# APPENDIX B



**CITY OF SEATTLE**  
**DEPT. OF CONSTRUCTION AND INSPECTIONS**  
 Mar 13, 2024  
**SIGNS**  
 APPROVED Subject to Errors and Omissions  
 By: Steve Sampson  
 PERMIT #: 7013234-SB

50' 5 3/4"  
 STREET FRONTAGE

10' 6"

ELEVATION SHOWING PROPOSED SIGNAGE - SIMULATED DAY VIEW



2902 4TH AVE SOUTH  
 SEATTLE WA 98134  
 206.682.7738  
 WESTERNNEON.COM

## SLIM GOODY SPORTS BAR – SIGN PACKAGE

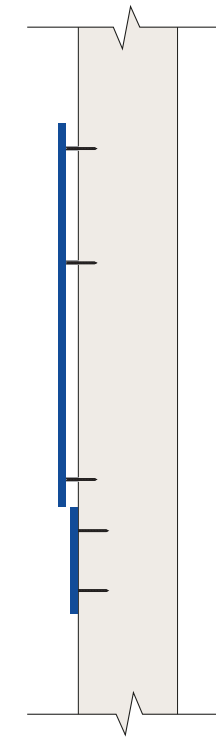
The design depicted herein is the sole property of Western Neon Inc., and may not be reproduced in whole or in part without prior written consent. Actual color, letter sizes and graphic layout may vary slightly due to the properties of materials. Colors may vary depending on media substrate. This sign is intended to be installed in accordance with Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with Article 600.6 (A) (1) of the National Electric Code.



DRAWN: MARC L	DATE 02.20.24	JOB NO. 16740 Slim Goody Sports Bar
CHECKED: XXXXXXXXXX	DATE 00.00.00	DRAWING TITLE ELEVATION
DRAWING NO. ELEV-01		VER. 1



# APPENDIX B



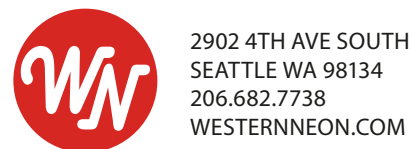
FRONT VIEW  
SCALE 1" = 1'

RIGHT VIEW  
SCALE 1" = 1'

- ① "SLIM GOODY" IS 1/2" THK FLAT-CUT (ROUTED) ACRYLIC. PAINT BLUE WITH WHITE DISTRESS SPLATTERS. MOUNT TO WALL ON 10-24 STUDS THRU 3/4" STANDOFFS. QTY (3-5 STUDS PER LETTER). PAINT STANDOFFS TO MATCH WALL COLOR.
- ② "SPORTS BAR" IS 1/2" THK FLAT-CUT (ROUTED) ACRYLIC. PAINT BLUE WITH WHITE DISTRESS SPLATTERS. MOUNT FLUSH TO WALL WITH 10-24 STUDS. QTY (3 STUDS PER LETTER).

**CITY OF SEATTLE**  
**DEPT. OF CONSTRUCTION AND INSPECTIONS**  
 Mar 13, 2024  
**SIGNS**  
**APPROVED Subject to Errors and Omissions**  
 By: Steve Sampson  
**PERMIT #: h7013234-SB**

**SIGN 1: S/F NON ILLUM WALL SIGN**  
 MANUFACTURE AND INSTALL ONE (1) S/F NON-ILLUM WALL SIGN



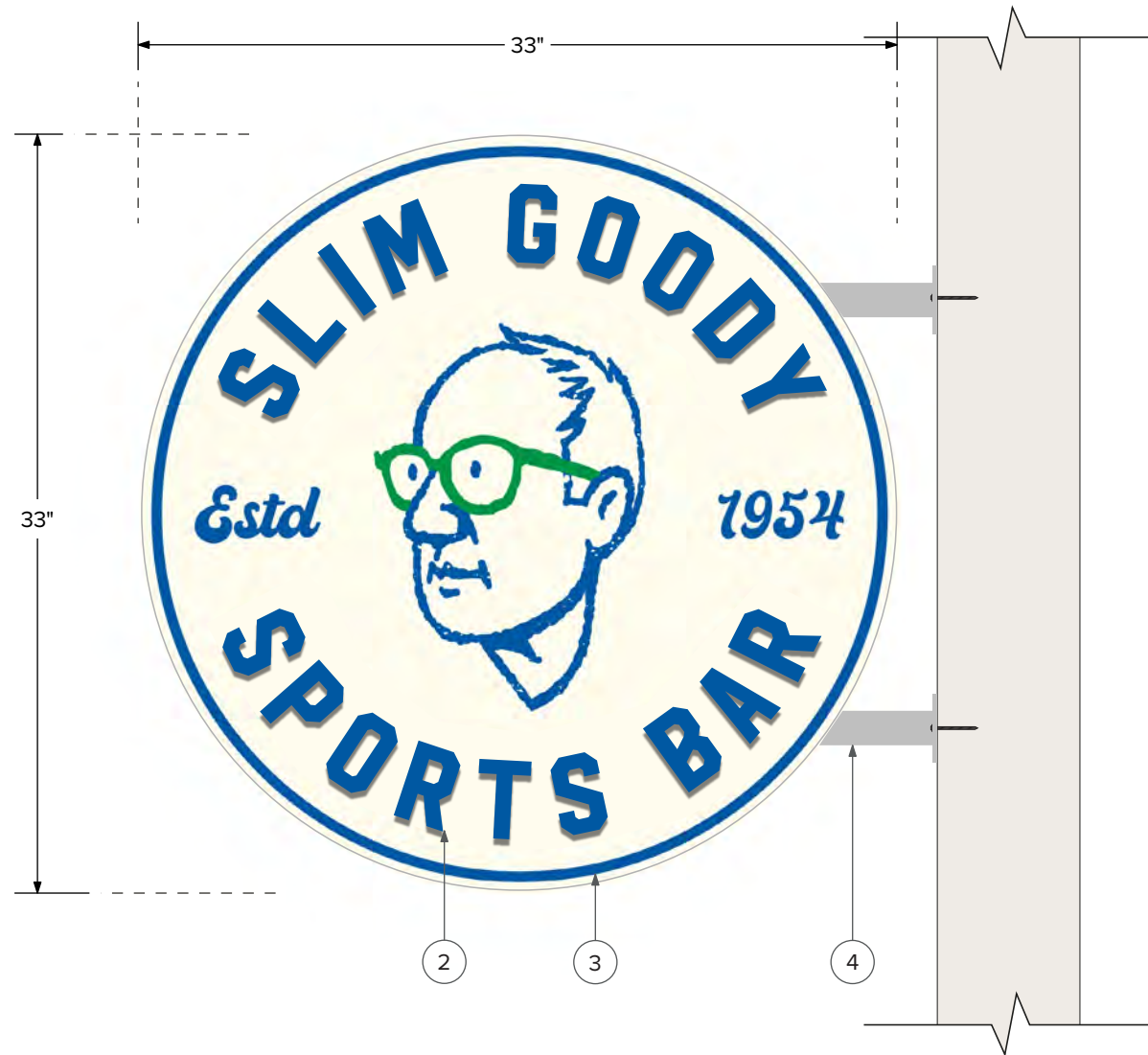
## SLIM GOODY SPORTS BAR – SIGN PACKAGE

The design depicted herein is the sole property of Western Neon Inc., and may not be reproduced in whole or in part without prior written consent. Actual color, letter sizes and graphic layout may vary slightly due to the properties of materials. Colors may vary depending on media substrate. This sign is intended to be installed in accordance with Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with Article 600.6 (A) (1) of the National Electrical Code.

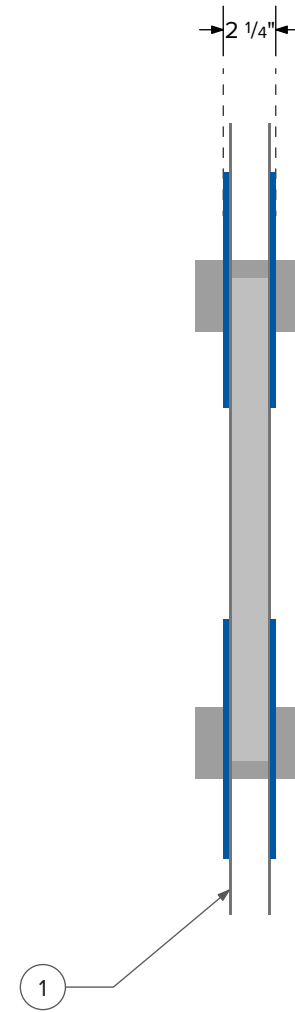


DRAWN: MARC L	DATE 02.20.24	JOB NO. 16740 Slim Goody Sports Bar
CHECKED: XXXXXXXXXX	DATE 00.00.00	DRAWING TITLE S/F WALL SIGN
DRAWING NO. SIGN-01		VER. 1

# APPENDIX B



FACE VIEW  
SCALE 1 1/2" = 1'



END VIEW  
SCALE 1 1/2" = 1'

- ① ROUTED 0.090 ALUMINIUM SIGN FACES. WELDED TO BRACKET ARMS.
- ② "SLIM GOODY SPORTS BAR" ARE 1/4" FLAT CUT ACRYLIC. PAINT BLUE TO MATCH BRAND COLORS. MOUNTS FLUSH TO SIGN FACES WITH VHB TAPE.
- ③ "ESTD 1954", LOGO AND BORDER CIRCLE ARE BLUE AND GREEN CUT VINYL APPLIED DIRECTLY TO SIGN FACES.
- ④ 1 1/2" SQUARE TUBE ALUMINUM BRACKET ARMS ATTACHED TO 1/4" THK ALUMINUM MOUNTING PLATES. PAINT TO MATCH BUILDING COLOR, SATIN FINISH. ATTACHES TO WALL WITH QTY (4) 3/8" LAG BOLTS.

NEED CLIENT TO SUPPLY FONT USED FOR "SLIM GOODY SPORTS BAR" LETTERING OR VECTOR GRAPHIC OF OUTLINED FONT.

**CITY OF SEATTLE**  
**DEPT. OF CONSTRUCTION AND INSPECTIONS**  
 Mar 13, 2024  
**SIGNS**  
**APPROVED Subject to Errors and Omissions**  
 By: Steve Sampson  
**PERMIT #: 7013234-SB**

SIGN 2: D/F NON-ILUM BLADE SIGN  
 MANUFACTURE AND INSTALL ONE (1) D/F NON-ILUM BLADE SIGN



2902 4TH AVE SOUTH  
 SEATTLE WA 98134  
 206.682.7738  
 WESTERNNEON.COM

## SLIM GOODY SPORTS BAR – SIGN PACKAGE

The design depicted herein is the sole property of Western Neon Inc., and may not be reproduced in whole or in part without prior written consent. Actual color, letter sizes and graphic layout may vary slightly due to the properties of materials. Colors may vary depending on media substrate. This sign is intended to be installed in accordance with Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with Article 600.6 (A) (1) of the National Electrical Code.



DRAWN: MARC L	DATE 02.20.24	JOB NO. 16740 Slim Goody Sports Bar
CHECKED: XXXXXXXXXX	DATE 00.00.00	DRAWING TITLE D/F NON-ILUM BLADE SIGN
SIGN-02		VER. 3

# APPENDIX C



Seattle  
Neighborhoods

I hereby affirm that I am the owner of the building/property located  
at:

Building/Property Street Address: 5411 Ballard Ave NW, Seattle WA  
City, State: Seattle, WA  
Zip Code: 98107

By signing below, I (the building/property owner) verify that I have reviewed the proposed project/activities and authorize the individual identified in the following section to act as my authorized agent with regard to the Certificate of Approval Application (including requests for early guidance/project briefings) made to City of Seattle's Historic Preservation Program for the project/activities described below.

Project/Activity for which Application (or early guidance/briefing request) is being made:

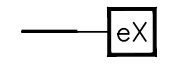
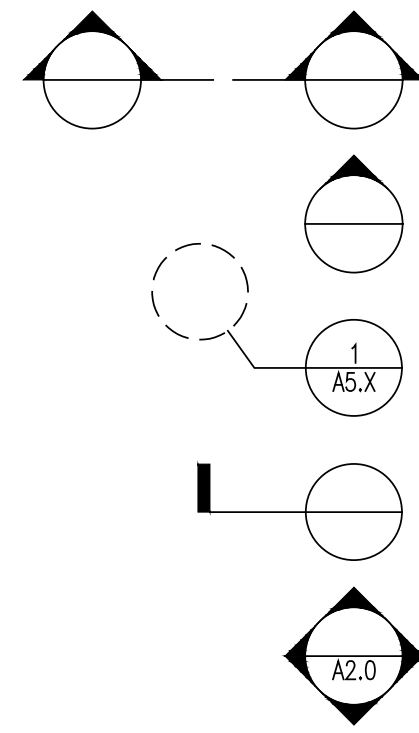
Installation of new sign (in the same size and location as the previous sign), repainting the exterior (using the same existing colors on the exterior), replacing exterior lighting (using the same model of light and placement), adding window decals (the same size and locations as the prior installation), and replacing old patio furniture with new ones.

Building/Property Owner Printed Name: 5411 B Ave LLC  
Building/Property Owner Mailing Address: PO Box 3008  
City, State: Edmonds, WA  
Zip Code: 98020  
Building/Property Owner Email Address: KFLT@MSN.COM  
Signature of Building/Property Owner: Yev Kaldstedt, Member  
Date: 3/10/26

Permit Applicant/Owner's Authorized Agent Printed Name:

Bryant Peng  
Applicant/Agent Mailing Address: 6701 Greenwood Ave N  
City, State: Seattle, WA  
Zip Code: 98103  
Applicant/Agent Email Address: bpeng@eatseacreatures.com  
Signature of Applicant/Agent: [Signature]  
Date: 3/14/26

SYMBOLS



BUILDING SECTION

BUILDING ELEVATION

ENLARGED PLAN / PLAN DETAIL TAG

WALL SECTION TAG

INTERIOR ELEVATION TAG

WALL TYPE TAG  
"eX" FOR EXTERIOR  
"iX" FOR INTERIOR

GRID LABEL

REVISION TAG, PERMIT CORRECTIONS/REVISIONS, ASI'S

WINDOW TAG

ABBREVIATIONS

A	ABOVE	DET	DETAIL	FOIC	FURNISHED BY OWNER;	K		PC	PERMIT CORRECTION	SG	SAFETY GLAZING
ABV	ADJUSTABLE	DIAM	DIAMETER	FOIO	FURNISHED BY OWNER;	L	LAWATORY	PERF	PERFORATED	SI	SQUARE INCH
ADJ	ADJUSTABLE	DN	DOWN		INSTALLED BY OWNER	LV	LAWYER	PERIM	PERIMETER	SIM	SIMILAR
ADDL	ADDITIONAL	DS	DOWN SPOUT	FR	FRAMING	LL	LANDLORD	PERP	PERPENDICULAR	SPEC	SPECIFICATION
AFF	ABOVE FINISH FLOOR	DTL	DETAIL	FRH	FIRE YARD HYDRANT	LOC	LOCATION	PLAM	PLASTIC LAMINATE	ST	STREET, STONE
ALT	ALTERNATE	DWG	DRAWING	FURN	FURNITURE, FURNISHED	LT	LIGHT	PLWD	PLYWOOD	SW	SHEAR WALL
ARCH	ARCHITECT (URAL)	DWR	DRAWER	G	GENERAL CONTRACTOR	LTG	LIGHTING	POS	POINT OF SALE	T	THROUGH
AVE	AVENUE	E	EAST	GC	GENERAL CONTRACTOR	M	MOUNTED	PREFAB	PREFABRICATED	THRU	THROUGH
B	BASE	(E)	EXISTING	GEN	GENERAL	MTD	MATERIAL	PROJ	PROJECT	T.O.C.	TOP OF CONCRETE
BA	BUILT IN	EA	EACH	GL	GLASS	MTL	MATERIAL	PROP	PROPERTY	T.O.S.	TOP OF SLAB
BLDG	BUILDING	ELEV	ELEVATION	GYP	GYP'SUM	MAX	MAXIMUM	PSI	POUNDS PER SQUARE INCH	T.O.W.	TOP OF WALL
BLW	BELOW	ELEC	ELECTRIC (AL)	OWB	GYP'SUM WALL BOARD	MECH	MECHANICAL	PT	PAINT, PRESSURE TREATED	TS	TUBE STEEL
BYD	BEYOND	EQ	EQUAL	H	HOSEBIB	MET	METAL	Q	QUANTITY	TYP	TYPICAL
C	CENTERLINE, CLOSET	EQUIP	EQUIPMENT	HW	HARDWARE	MIN	MINIMUM, MINUTE	R	RADIUS	TEMP	TEMPORARY
CAB	CABINET	EST	ESTIMATE (D)	HM	HOLLOW METAL	MISC	MISCELLANEOUS	RAD	RECEPTACLE	UNFIN	UNFINISHED
CL	COLUMN	EXT	EXTERIOR	HO	HOMEOOWNER	N	NORTH	REC	REFER (ENCE)	UNO	UNLESS NOTED OTHERWISE
CLG	CEILING	F	FURNISHED BY	HORIZ	HORIZONTAL	(N)	NEW	REF	REQUIRED	V	VERIFY IN FIELD
CLR	CLEAR	FB	FINISHED FLOOR	HTR	HEATER	NA	NOT APPLICABLE	REQD	REVISION (S), REVISED	W	WEST
COL	COLUMN	FF&E	FURNITURE FIXTURE(S) AND EQUIPMENT	HVAC	HEATING, VENTILATION, AND A/C	NIC	NOT IN CONTRACT	REV	ROUGH OPENING	W	WOOD
CONC	CONCRETE	FIN	FINISH (ED)	I	INSTALLED BY	NOM	NOMINAL	RM	ROOM	WDW	WINDOW
COORD	COORDINATE	FL	FLOUORESCENT	IB	INTERNATIONAL BUILDING CODE	NTS	NOT TO SCALE	RO	ROUGH OPENING	WFL	WIDE FLOOD
CPT	CARPET (ED)	FLR	FLOOR	IBC	INCLUDING	O	ON CENTER	S	SOUTH	WM	WALK OFF MAT
D	DEMOLISH, DEMOLITION	F.O.	FACE OF	INCL	INSULATION	OC	OPPOSITE	SCHED	SCHEDULE		
DEF	DEFLECTION	FOF	FACE OF FINISH	INT	INTERIOR	OPP		SF	SQUARE FOOT, STORE FRONT		

LAND USE NOTES

**ZONING**  
 ZONE: Nc2P-65  
 CITY OF SEATTLE LAND USE MAP: 54  
 ECA: NONE  
 OVERLAYS: BALLARD AVENUE LANDMARK DISTRICT SMC 25.16  
 PEDESTRIAN SMC 23.34.086

**LAND USE**  
 EXISTING/PROPOSED USE: RESTAURANT - NO CHANGE

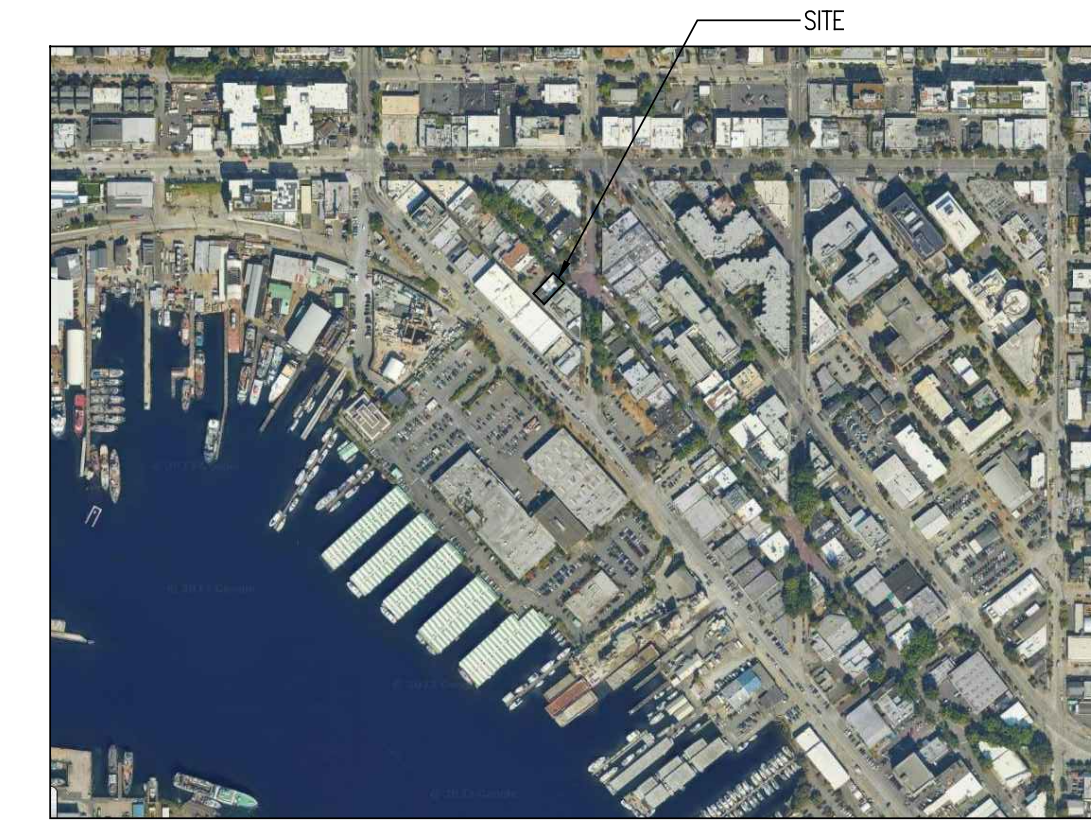
**PARCEL AREA**  
 PARCEL AREA: ±4650 SF  
 BUILDING FOOTPRINT: ±2,791 SF  
 EXISTING/PROPOSED BUILDING AREA: ±2,791 SF - NO CHANGE

**STORIES**  
 EXISTING BUILDING STORIES: (1) STORY  
 PROPOSED BUILDING STORIES: (1) STORY - NO CHANGE

**FAR**  
 FLOOR AREA RATIO (FAR): 2  
 EXISTING/PROPOSED FAR: 0.6 - NO CHANGE

**HEIGHT LIMIT**  
 (E) BLDG HEIGHT: ±19'-10"  
 65' ALLOWED: NO CHANGE

VICINITY MAP



PROJECT INFORMATION

**DESCRIPTION**  
 AN INTERIOR RENOVATION OF EXISTING RESTAURANT SPACE, INCLUDING A NEW BAR & CASEWORK, A NEW SINGLE OCCUPANCY BATHROOM, AND UPDATED INTERIOR FINISHES.

**SDCI PROJECT NUMBER**  
 #6981250-CN

**OWNER:**  
 NEIL NELSON  
 406 35TH AVE S  
 SEATTLE, WA 98144

**LEGAL DESCRIPTION**  
 GILMAN PARK ADD LESS ALLEY  
 PLAT BLOCK: 72  
 PLAT LOT: 10

**PARCEL #**  
 276770-2730

**ZONING MAP BOOK**  
 54

PROJECT DIRECTORY

**ARCHITECT**  
 ROBERT HUTCHISON ARCHITECTURE LLC  
 4010 WHITMAN AVENUE N  
 SEATTLE, WA 98103  
 CONTACT: ROBERT HUTCHISON  
 P (206)414.7226  
 E rob@robhutcharch.com

**MECHANICAL**  
 DESIGN-BUILD

**PLUMBING**  
 DESIGN-BUILD

**ELECTRICAL**  
 DESIGN-BUILD

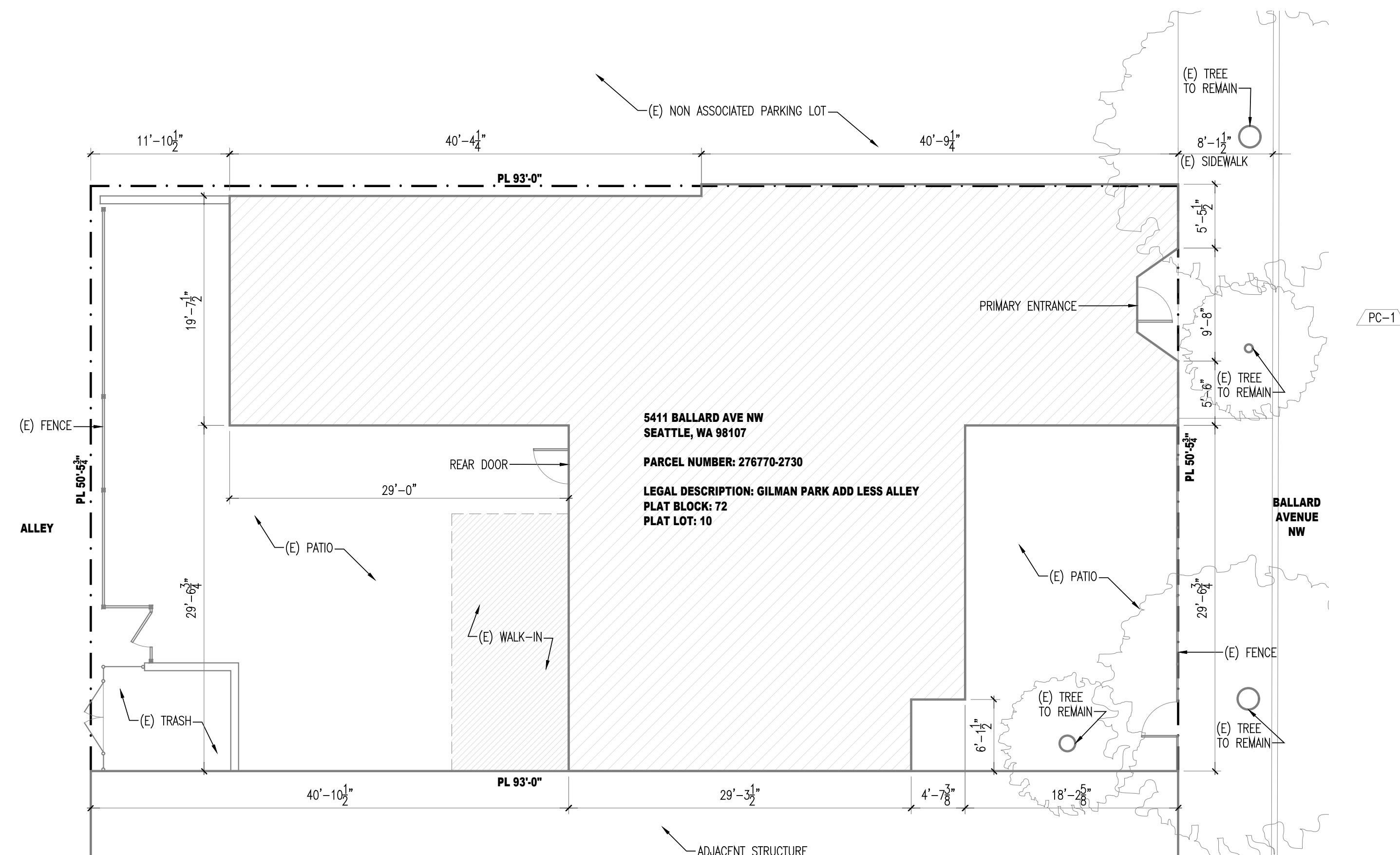
APPLICABLE CODES

BUILDING: 2018 SEATTLE BUILDING CODE (SBC)  
 2018 SEATTLE EXISTING BUILDING CODE (SEBC)  
 ELECTRICAL: 2018 SEATTLE ELECTRICAL CODE  
 MECHANICAL: 2018 SEATTLE MECHANICAL CODE  
 LAND USE/ZONING: SEATTLE MUNICIPAL CODE (SMC)  
 ACCESSIBILITY: ICC A117.1-2009

DRAWING INDEX

T0.0 SITE PLAN  
 A0.0 SCHEDULES  
 A0.1 BUILDING CODE  
 A1.0 DEMOLITION PLAN  
 A1.1 FLOOR PLAN

PC-1



**LOCATION PLAN**  
 SCALE: 1/8" = 1'-0"

PC-1

Slim Goody's  
 5411 Ballard Ave NW  
 Seattle, WA 98107

**Architect:**  
 Robert Hutchison Architecture  
 4010 Whitman Avenue N  
 Seattle WA 98103  
 Contact: Robert Hutchison  
 P: 206.414.7226



08.09.2023 STFI PERMIT INTAKE  
 12.19.2023 PC-1  
 01.23.2024 PC-2

THE CITY OF SEATTLE  
 DEPARTMENT OF CONSTRUCTION &  
 INSPECTIONS  
**APPROVED**  
 Subject to Errors and Omissions  
 01/31/2024

SITE PLAN

T0.0

Slim Goody's  
5411 Ballard Ave NW  
Seattle, WA 98107

**Architect:**  
**Robert Hutchison Architecture**  
4010 Whitman Avenue N  
Seattle WA 98103  
Contact: Robert Hutchison  
P: 206.414.7226



08.09.2023 STFI PERMIT INTAKE  
12.19.2023 /PC-1  
01.23.2024 /PC-2

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION &  
INSPECTIONS  
**APPROVED**  
Subject to Errors and Omissions  
01/31/2024

SCHEDULES

**A0.0**

INTERIOR DOOR								
KEY	ROOM	OPERATION	DOOR PANEL SIZE W/H	R.O. WX/H/TYPE	MFR. / SUPPLIER	MATERIAL/FINISH	HARDWARE	NOTES
ID100	BATHROOM	SWINGING	2'-10" X 7'-0"	3'-0" X 7'-2"	TBD	TBD	TBD	
ID101	OFFICE	SWINGING	(E)	(E)	(E)	(E)	(E)	REUSE (E)

/PC-1

PLUMBING					
KEY	QTY	ITEM	MANUFACTURER	DESCRIPTION	NOTES
P01	1	TOILET	TBD		
P02	1	FAUCET	TBD		
P03	1	SINK BASIN	TBD		

FINISH KEY				
KEY	DESCRIPTION	MANUFACTURER	MODEL/FINISH	NOTE
PT-1	BLUE PAINT	SHERWIN WILLIAMS	SW-6244 NAVAL	MATCH (E)
PT-2	WHITE PAINT	SHERWIN WILLIAMS	SW-7577 HIGH REFLECTIVE WHITE	MATCH (E)
CRD-1	FEATURE WALL			
CTR-1	WD COUNTERTOP	CUSTOM	WHITE OAK	
BSE-1	1X4 WD BASE		PT-2 FINISH	
TL-1	WHITE HORIZONTAL WALL TILE	DAL TILE	LINEAR COLOR WHEEL 3X6 0190 "ARTIC WHITE"	MATCH (E) WHITE TILE AND STACK BOND LAYOUT IN OTHER BATHROOMS
TL-2	BLUE SQUARE FLOOR TILE	DAL TILE	KEYSTONE 2X2 D189 "NAVY" MATTE	MATCH (E) BLUE SQUARE TILE AND LAYOUT
TL-3	WHITE RECTANGLE WALL TILE	DAL TILE	KEYSTONE 2X4 D617 "ARTIC WHITE" MATTE	MATCH (E) WHITE TILE AND VERTICAL STACK BOND LAYOUT
TL-4	BLUE RECTANGLE WALL TILE	DAL TILE	KEYSTONE 2X4 D189 "NAVY" MATTE	MATCH (E) BLUE TILE AND VERTICAL STACK BOND LAYOUT
WD-1	SEALED PLYWOOD	CUSTOM	WD SEALED EDGES	
WD-2	BOOTH WD	CUSTOM	WD, PT-1 FINISH	
WD-3	TABLE WD	CUSTOM	WHITE OAK, CLEAR FINISH	
WD-4	BOTTLE DISPLAY SHELIVING	CUSTOM		
MIL-1	POWDER COATED METAL	TIGER DRYLAC	RAL 2009	MATCH (E)
GL-1	LAMINATED GLASS		CLEAR, 1/4" THICK	MATCH (E)
FLR-1	PROTECTIVE COATING	URETHANE SEALANT	TBD	
NFC-1	NO FINISH CHANGE			LEAVE AS-BUILT FINISH, PATCH AS NEEDED

EQUIPMENT					
KEY	QTY	DESCRIPTION	MANUFACTURER	MODEL/FINISH	NOTE
1	2	COCKTAIL STATION	KROWNE	KR24 W48R 10	NO CLEARANCES REQUIRED
2	1	HAND SINK	KROWNE	KR24 12ST	NO CLEARANCES REQUIRED
3	2	POS STATION	KROWNE	KR24 PC18	NO CLEARANCES REQUIRED
4	4	DRIP TROUGH W/ RINSER	MICRO MATIC	DP 820D 306GR	NO CLEARANCES REQUIRED
5	1	BEER TAP TOWER	MICRO MATIC	PT4A 12PSSKR	NO CLEARANCES REQUIRED
6	1	DRAIN TRAY	MICRO MATIC	DP 820D 51GR	NO CLEARANCES REQUIRED
7	1	FROSTER/CHILLER	BEVERAGE AIR	GF48HC B	2" REAR CLEARANCE
8	2	COOLER	BEVERAGE AIR	BB48HC 1 GS B 27	NO CLEARANCES REQUIRED
9	1	DRAINBOARD	ADVANCE TABCO	CRD-2BM	NO CLEARANCES REQUIRED
10	1	CHEMICAL DISHWASHER	AUTO-CHLOR	A5	VFY CLEARANCES
11	2	(E) BAR TAPS	MICRO MATIC	METRO-T-6PSSKR	REUSE & MOVE BOTH SETS TO LOUNGE BAR PER PLAN
12	2	(E) DRAIN TRAY	MICRO MATIC	(E)	REUSE & MOVE BOTH SETS TO LOUNGE BAR PER PLAN
13	5	(E) TV	(E) TCL	(E) 55" B07V5WY147	REUSE & MOVE (4) TO LOUNGE BAR & (1) TO BATHROOM PER PLAN
14	5	(N) TV	LG	86" 86UN8570AUD.AUS	
15	3	(N) TV	TCL	55" B07V5WY147	
16	3	(N) TV	TCL	65" B0C1J5228L	
17	1	(E) WIRE SHELIVING	(E)	(E)	SWAP LOCATIONS WITH EQUIPMENT (18) PER PLAN
18	1	MOBILE REFRIGERATOR/COOLER	(E)	(E)	SWAP LOCATIONS WITH EQUIPMENT (17) PER PLAN
19	1	MOP SINK	(E)	(E)	REUSE & MOVE PER PLAN
20	1	3-COMP SINK	(E)	(E)	EXISTING TO REMAIN IN PLACE
21	1	HAND SINK	(E)	(E)	EXISTING TO REMAIN IN PLACE
22	1	HAND SINK	(E)	(E)	EXISTING TO REMAIN IN PLACE
23	1	PREP SINK	(E)	(E)	REUSE & MOVE PER PLAN
24	1	WORK SINK	(E)	(E)	EXISTING TO REMAIN IN PLACE
25	2	36" COOKTOP	(E)	(E)	EXISTING TO REMAIN IN PLACE
26	2	REFRIGERATED CHEF BASE	(E)	(E)	EXISTING TO REMAIN IN PLACE BLW COOKTOP
27	1	SANDWICH PREP REFRIGERATOR	(E)	(E)	EXISTING TO REMAIN
28	2	FRYER	(E)	(E)	EXISTING TO REMAIN
29	1	FRY WARMER	(E)	(E)	EXISTING TO REMAIN

# APPENDIX D

## BUILDING CODE NOTES

**ORIGINAL CONSTRUCTION**  
DATE OF CONSTRUCTION: 1945

**BUILDING STORIES**  
EXISTING/PROPOSED: 1 STORY - NO CHANGE

**CONSTRUCTION TYPE**  
EXISTING/PROPOSED CONSTRUCTION TYPE: VB, NONSPRINKLERED - NO CHANGE

**OCCUPANCY:**  
EXISTING/PROPOSED: A-2 - NO CHANGE  
EXISTING OCCUPANT LOAD: 83  
PROPOSED INTERIOR OCCUPANT LOAD: 140

**HEIGHT, AREA AND SEPARATED OCCUPANCY NOTES**

ALLOWABLE BUILDING HEIGHT:  
EXISTING BUILDING HEIGHT: 40'  
NOTE: NO CHANGE TO BUILDING HEIGHT

ALLOWABLE NUMBER OF STORIES:  
EXISTING NUMBER OF STORIES: 1 STORY - COMPLES

ALLOWABLE BUILDING AREA FACTOR:  
EXISTING/PROPOSED BUILDING AREA: 6,000 SF  
NOTE: NO CHANGE IN TOTAL BUILDING AREA

## OCCUPANCY & OCCUPANT LOADS CALCULATIONS

### AREAS

INTERIOR	AREA	SF	TOTAL
A-2 FRONT DINING	191	15 NET	12.7
A-2 LOUNGE	389	15 NET	25.9
A-2 MAIN BAR	207	15 NET	13.6
A-2 CIRCULATION	328	15 NET	21.9
A-2 KITCHEN/BOH	459	200 GROSS	2.3
A-2 BACK BAR	87	200 GROSS	0.4
A-2 BATHROOMS	136	** EXEMPT	
A-2 MECH	55	300 GROSS	0.2
A-2 OFFICE	58	150 GROSS	0.4
A-2 WALK-IN	193	** EXEMPT	
A-2 FIXED SEATS	118	2 LF	59.0
<b>TOTAL INTERIOR**</b>			<b>138.6</b>

REQUIRED EXITS: 2  
PROVIDED EXITS: 2

EXTERIOR, OUTDOOR SEASONAL  
A-2 FRONT PATIO 375 15 NET

A-2 BACK PATIO 650 15 NET  
A-2 CIRCULATION 227 15 NET  
A-2 STORAGE 138 300 NET

REQUIRED EXITS: 1  
PROVIDED EXITS: 1

TOTAL 205

PER SEC TABLE 1004.6 & 1004.8  
A-2 ASSEMBLY UNCONCENTRATED TABLES  
100 GROSS SEATING PER 15 NET  
200 GROSS - KITCHEN, COMMERCIAL,  
300 GROSS - STORAGE  
2 LF - ASSEMBLY, FIXED SEATING

\* NON-SIMULTANEOUS USE - NO OCCUPANCY LOAD  
\*\* PER SFC FIRE AREA DEFINITION 202  
AND BOUND BY EXTERIOR WALLS OF A BUILDING.  
PER SEC 302.8 EXCEPTION  
FIRE SPRINKLERS ARE NOT REQUIRED.

### (N) OCCUPANT LOAD

INTERIOR	AREA	SF	TOTAL
A-2 FRONT DINING	191	15 NET	12.7
A-2 LOUNGE	389	15 NET	25.9
A-2 MAIN BAR	207	15 NET	13.6
A-2 CIRCULATION	328	15 NET	21.9
A-2 KITCHEN/BOH	459	200 GROSS	2.3
A-2 BACK BAR	87	200 GROSS	0.4
A-2 BATHROOMS	136	** EXEMPT	
A-2 MECH	55	300 GROSS	0.2
A-2 OFFICE	58	150 GROSS	0.4
A-2 WALK-IN	193	** EXEMPT	
A-2 FIXED SEATS	118	2 LF	59.0
<b>TOTAL INTERIOR**</b>			<b>138.6</b>

REQUIRED EXITS: 2  
PROVIDED EXITS: 2

EXTERIOR, OUTDOOR SEASONAL  
A-2 FRONT PATIO 375 15 NET

A-2 BACK PATIO 650 15 NET  
A-2 CIRCULATION 227 15 NET  
A-2 STORAGE 138 300 NET

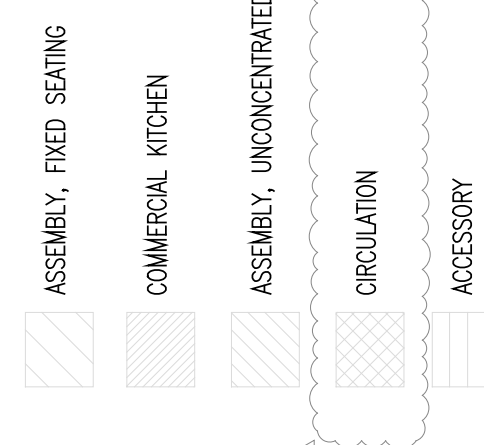
REQUIRED EXITS: 1  
PROVIDED EXITS: 1

TOTAL 205

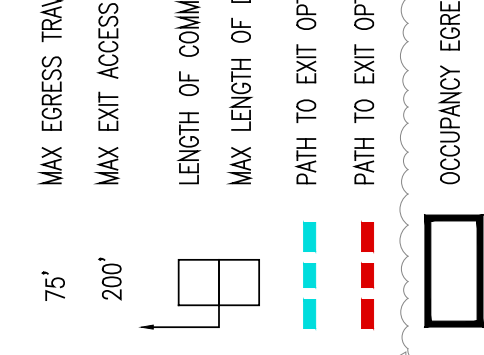
PER SEC TABLE 1004.6 & 1004.8  
A-2 ASSEMBLY UNCONCENTRATED TABLES  
100 GROSS SEATING PER 15 NET  
200 GROSS - KITCHEN, COMMERCIAL,  
300 GROSS - STORAGE  
2 LF - ASSEMBLY, FIXED SEATING

\* NON-SIMULTANEOUS USE - NO OCCUPANCY LOAD  
\*\* PER SFC FIRE AREA DEFINITION 202  
AND BOUND BY EXTERIOR WALLS OF A BUILDING.  
PER SEC 302.8 EXCEPTION  
FIRE SPRINKLERS ARE NOT REQUIRED.

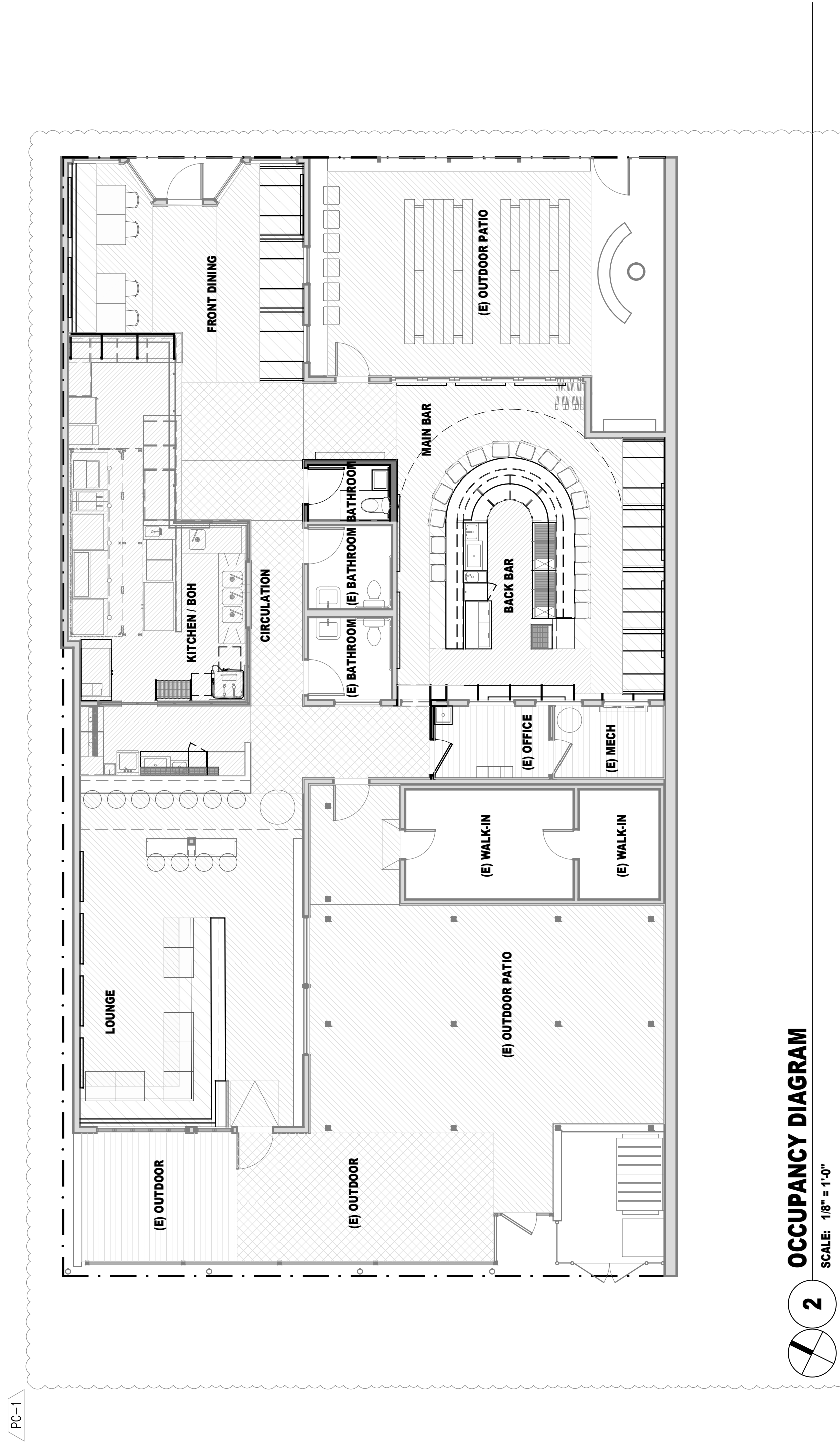
## OCCUPANCY LEGEND



## EGRESS LEGEND

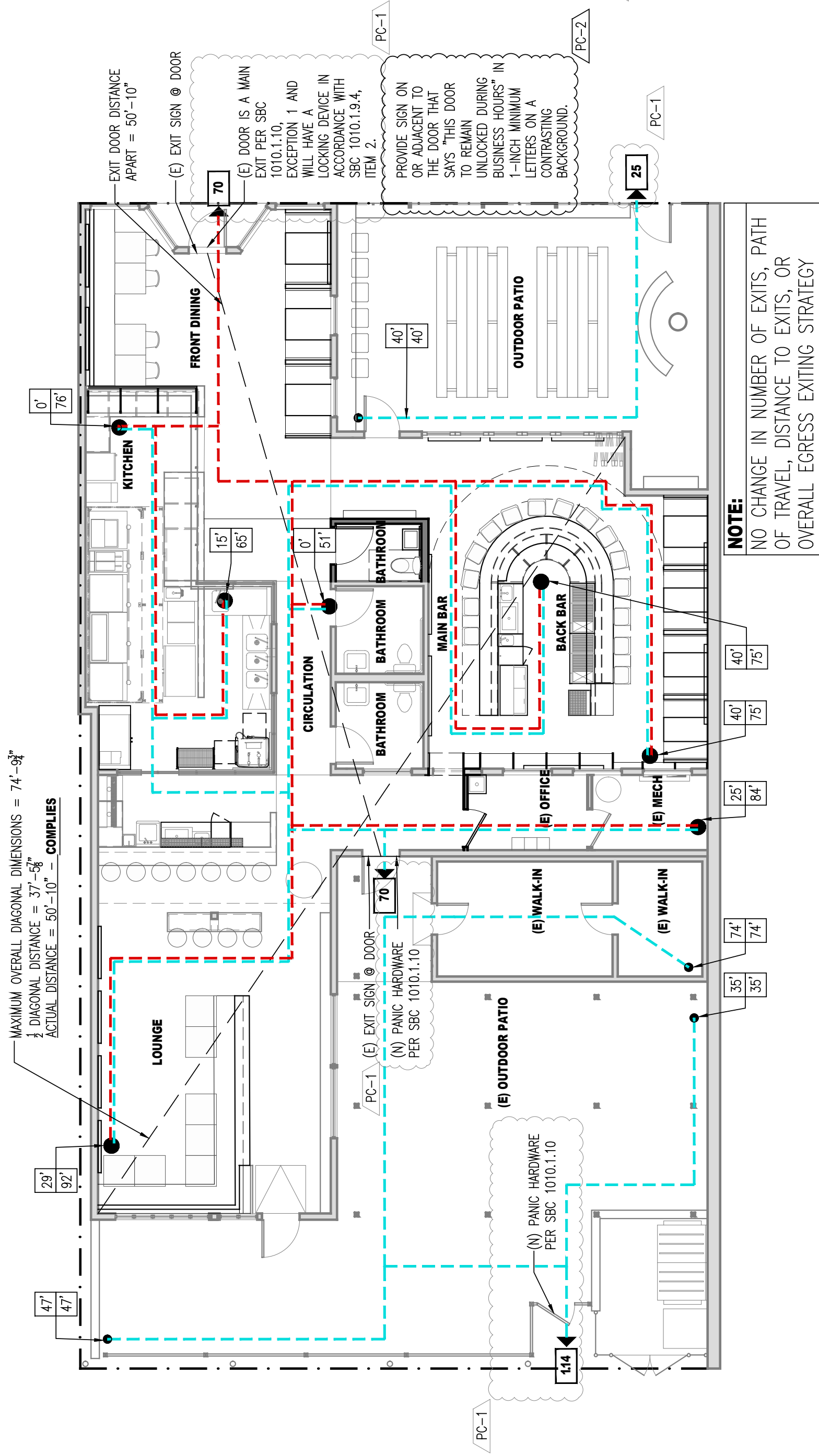


REF ADJACENT OCCUPANT LOAD CALCULATIONS



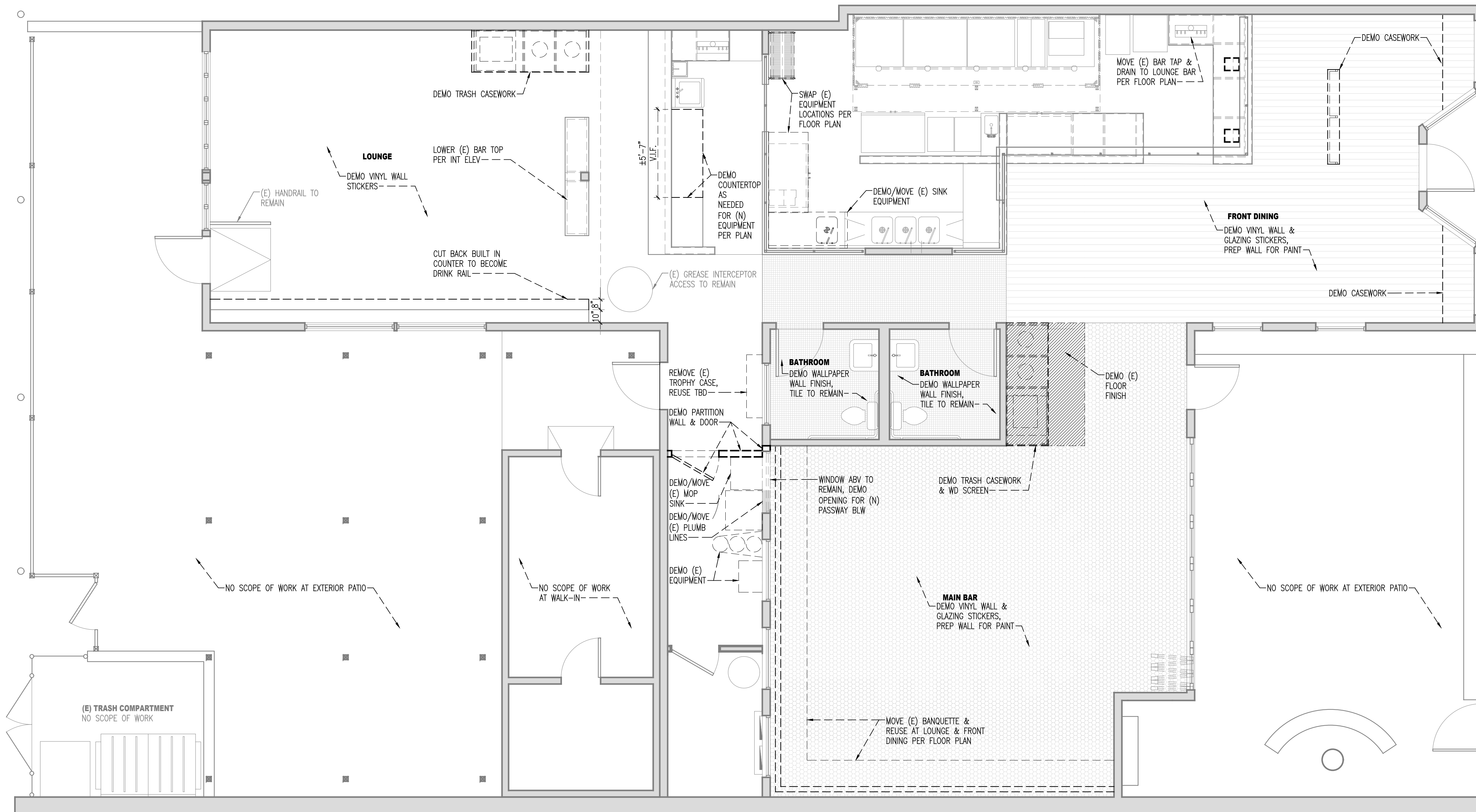
## OCCUPANCY DIAGRAM

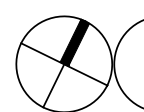
SCALE: 1/8" = 1'-0"



## EGRESS DIAGRAM

SCALE: 1/8" = 1'-0"



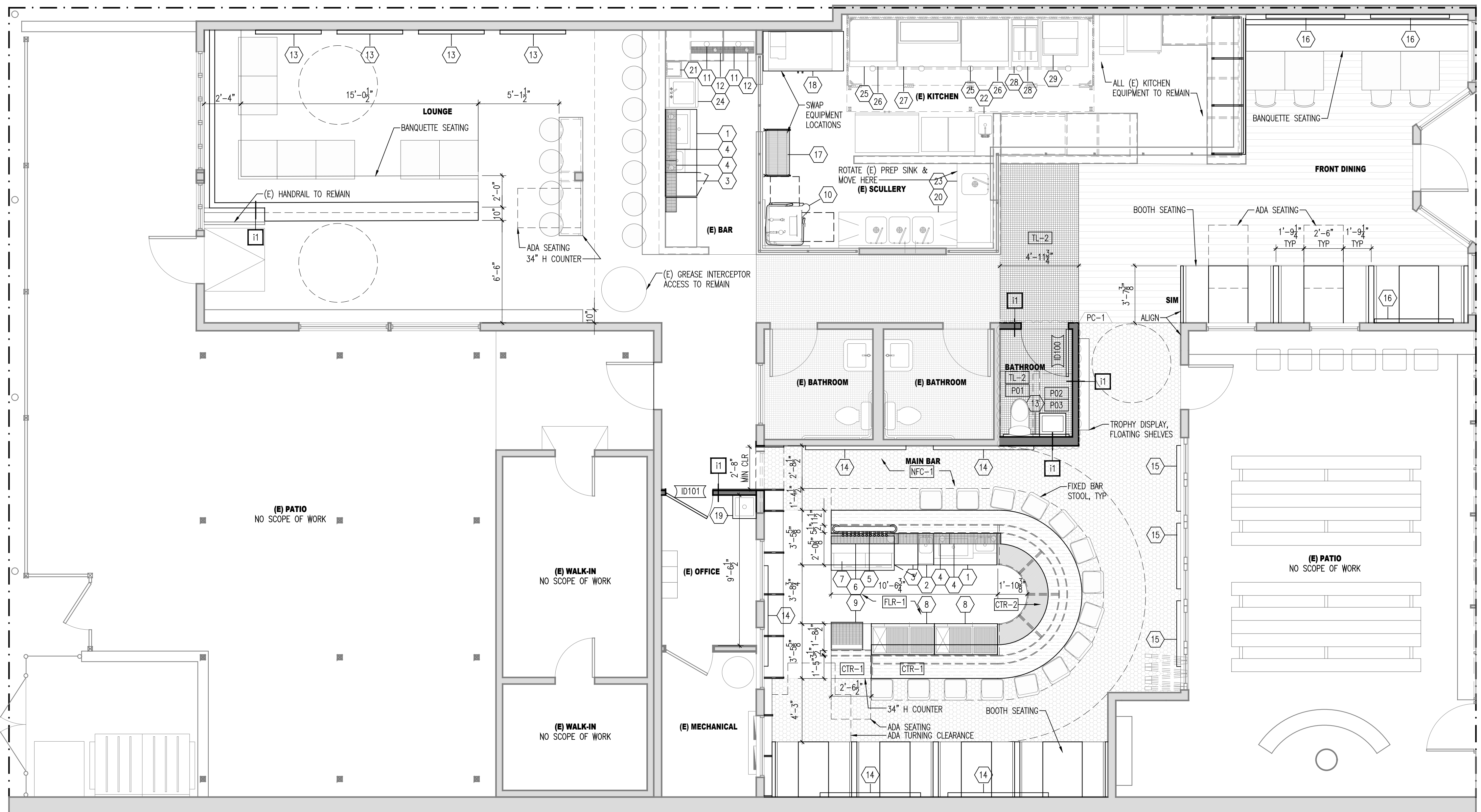
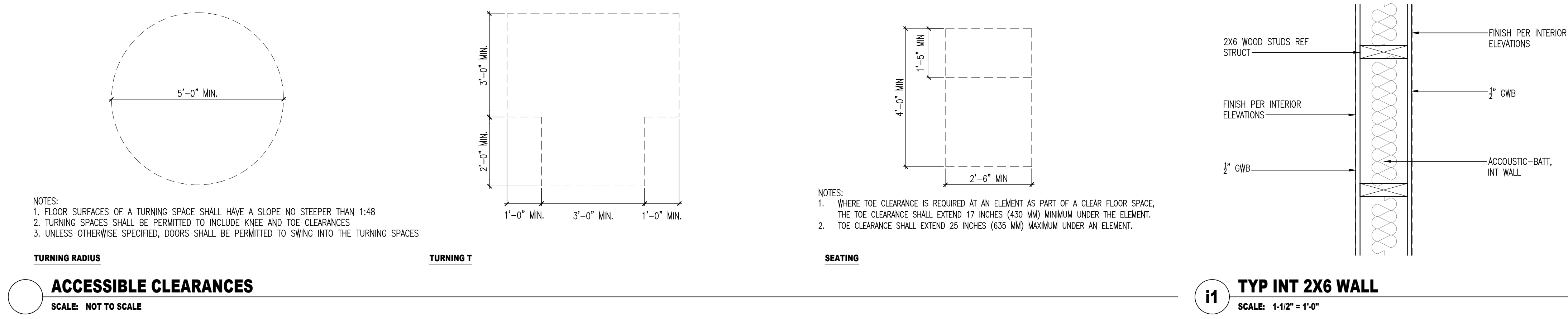

**1 DEMOLITION FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



08.09.2023 STFI PERMIT INTAKE  
 12.19.2023 /PC-1  
 01.23.2024 /PC-2

THE CITY OF SEATTLE  
 DEPARTMENT OF CONSTRUCTION &  
 INSPECTIONS  
**APPROVED**  
 Subject to Errors and Omissions  
 01/31/2024

DEMOLITION FLOOR  
 PLAN



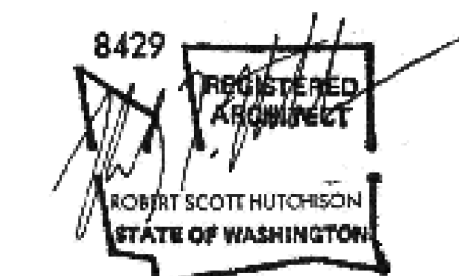
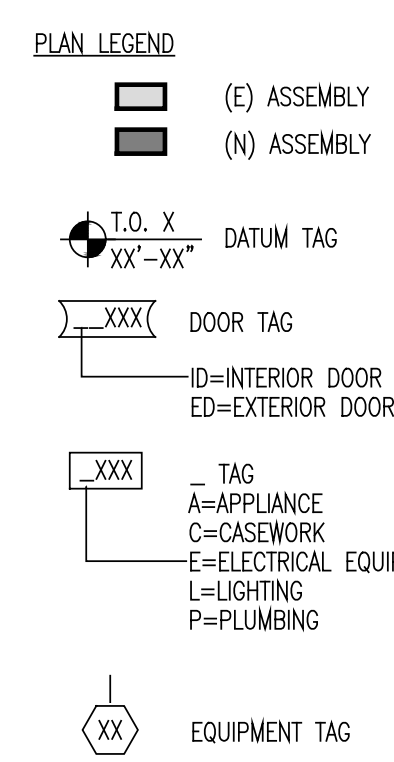
**INTERIOR FINISH NOTES**

ALL FINISHES AT FOOD PREPARATION AND DINING AREAS TO BE EASILY CLEANABLE SURFACES

**FLOOR:** (E)/(N) TILE, (E) WOOD, & (E) CONC, SEALED THROUGHOUT  
**CEILING:** (E) EXPOSED WD FRAMING AT DINING AREAS OTHER THAN WHERE SOFFIT IS NOTED.  
**WALLS:** NEW PARTITION WALLS TO HAVE EASILY CLEANABLE SURFACES; GWB SHALL BE SEMI-GLOSS; SMOOTH FRP AT FOOD PREP AREAS  
**COUNTERTOPS:** COUNTERTOPS TO BE EASILY CLEANABLE SURFACES (WOOD OR SOLID SLAB AT FOH, WOOD AND STAINLESS STEEL AT BOH)

**FLOOR PLAN NOTES**

- INSTALL BACKING/BLOCKING AT ALL WALL & CEILING MOUNTED ACCESSORIES.
- MECHANICAL AND PLUMBING SYSTEM TO BE DESIGN-BUILD BY SUBCONTRACTOR. REF FLOOR PLANS & SCHEDULES FOR PLUMBING FIXTURE SPECIFICATIONS & LOCATIONS. COORDINATE PLUMBING VENTS/RISERS & EXHAUST FAN DUCTS W/ WALL & ROOF FRAMING.
- ELECTRICAL SYSTEM TO BE DESIGN-BUILD BY ELECTRICAL SUBCONTRACTOR. REF FLOOR PLANS & SCHEDULES FOR APPLIANCE SPECIFICATIONS & LOCATIONS. REF REFLECTED CEILING PLANS & SCHEDULES FOR LIGHT FIXTURES & SWITCHING.
- ALL WOOD IN CONTACT W/ CONCRETE WILL BE PRESSURE TREATED.
- DESIGN-BUILD SCOPE: AS PART OF DESIGN-BUILD SCOPE, GC'S MEP SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR ASSESSMENT OF ALL (E) MEP CONDITIONS AND DETERMINATION OF ALL DEMOLITIONS/SALVAGE REF A4.0 FOR FINISH, EQUIPMENT, & PLUMBING SCHEDULES
- REF A4.0 FOR WALL ASSEMBLIES.
- CODES: ALL WORK SHALL CONFORM TO THE 2018 SEATTLE BUILDING CODE, AND BY SEATTLE MUNICIPAL CODE AND ALL OTHER GOVERNING LAWS, CODES, ORDINANCES AND REGULATIONS.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
- ALL DIMENSIONS ARE TO FACE OF FRAMING AND CONCRETE WALLS UNLESS NOTED OTHERWISE.
- GC SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATION. CONTRACTOR SHALL REPAIR, AND PATCH ALL EXISTING STRUCTURES AND FINISHES WHERE ALTERATIONS OR NEW CONDITIONS ABUT, JOIN, OR INTEGRATE TO EXISTING CONDITIONS.



08.09.2023 STFI PERMIT INTAKE  
 12.19.2023 /PC-1  
 01.23.2024 /PC-2

THE CITY OF SEATTLE  
 DEPARTMENT OF CONSTRUCTION &  
 INSPECTIONS  
**APPROVED**  
 Subject to Errors and Omissions  
 01/31/2024

## Corrections

Date: April 7, 2026  
 Applicant Name: Accomplished Pedestrian LLC  
 Business Name: Slim Goody  
 Project Location: 5411 Ballard Ave NW Seattle, WA 98107  
 Record Number: DONH-COA-02071

1. Provide a rendering or a photo of the storefront showing exactly where the vinyl decal signs will be on the door and windows. Provide sign copy for the window decal signs (text, typeface, size).

The only vinyl decals applied to the storefront are on the front entry door and consist of our logo and hours of operation



NOT PICTURED: STOREFRONT FACADE WAINSCOT REPAINTED SW9179 (SEE PAGE 06 FOR A PAINTED WAINSCOT IMAGE).

### 05. PROPOSED FACADE

Front entry door where vinyl decals are applied

FACE VIEW  
SCALE 3" = 1'

PANTONE: PMS 287 C

PANTONE: PMS 9081 C

- ① EXISTING WINDOW
- ② LOGO IS CUT BLUE VINYL APPLIED TO DOOR GLASS.
- ③ DAYS AND HOURS ARE CREAM VINYL APPLIED TO DOOR GLASS.

PROPOSED SIGNAGE RENDERING

### 08. PROPOSED DOOR SIGN

2. Confirm that the building's upper façade is painted the approved color (SW-6245 according to the plans from 2020). It appears brighter than building exteriors throughout the district.

We confirm that the building's upper façade is painted in Sherwin-Williams SW-6245, consistent with the previously approved plans. While the current appearance may read brighter, this seems attributable to lighting conditions. Additionally, the reference images from 2020 renderings, provided by the previous tenant's architect, appear darker. Either way, the building is painted in the approved color.

3. Are video monitors being used in the patio area? Are they attached to the building? If yes to both, they require approval; please include them in the plan set (size, locations, methods of attachment)

There are 3 removable video monitors located on the patio façade above the accordion glass. These are installed temporarily for major sporting events and removed afterward for security purposes. They are not permanent fixtures. Attached is a photo of the TVs installed--with 1 monitor removed, so you can see the mounts. These are 65" TCL brand monitor, 57" wide by 32.5" tall. First photo shows TV's up with 1 removed to show the mounting bracket. Second photo shows all TV's down.



4. General comment, response not required: plastic sign materials are discouraged. The use of acrylic signs at this scale and quantity will likely be a topic of discussion among the board.

The previously approved sign utilized plastic with metal edging and mounting. I see that Great State Burger's sign manufacturer represented the previous sign as aluminum. It was not aluminum as built.