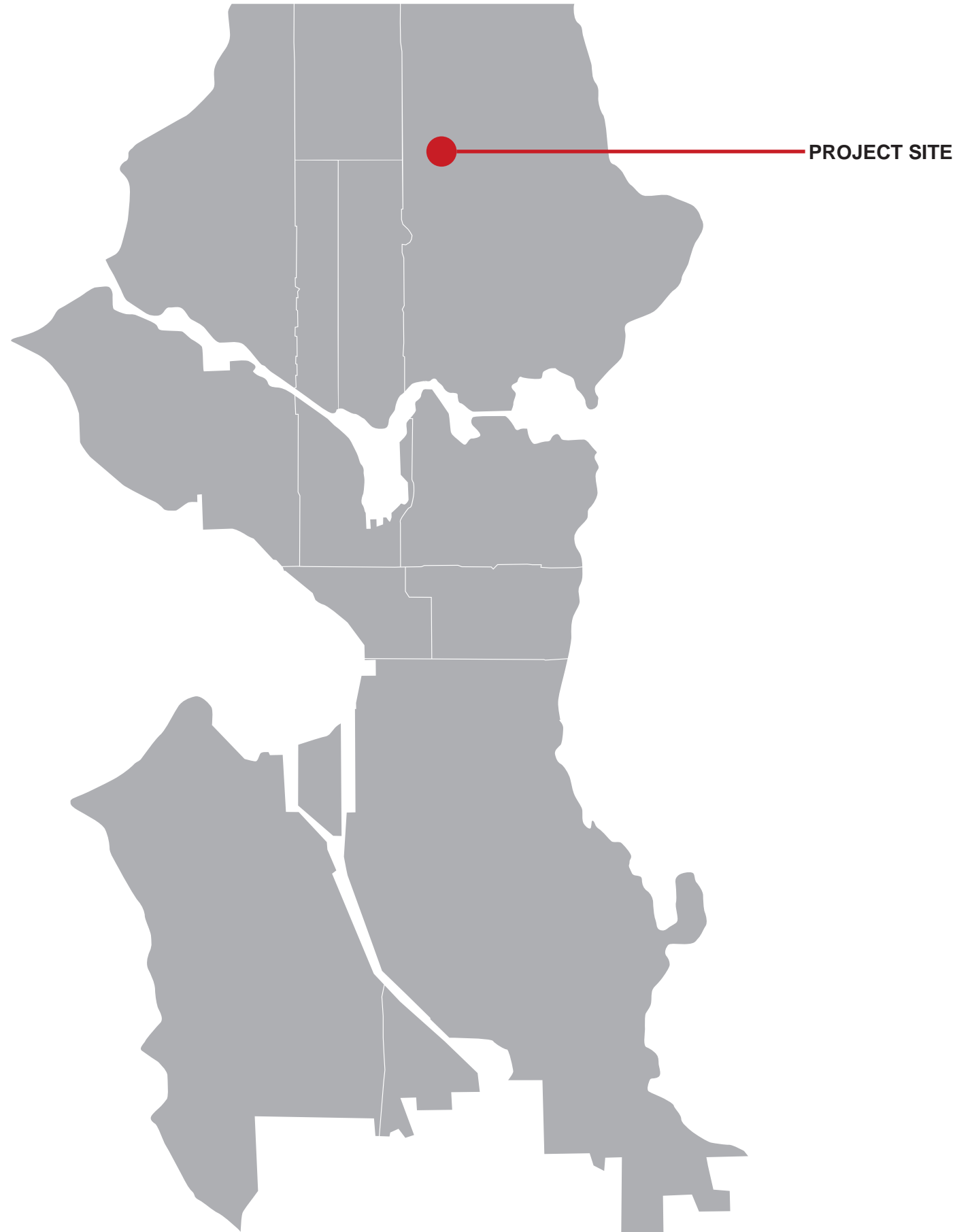


9709 ROOSEVELT WAY NE. SEATTLE, WA 98115



SDR PACKET - DATE
9709 ROOSEVELT WAY NE

PROJECT ADDRESS

9709 ROOSEVELT WAY NE.
SEATTLE, WA 98115

SDCI PROJECT NUMBER

#3027508

PROJECT TEAM

ARCHITECT Medici Architects
Jen Kim
11661 S.E. 1st St. Suite 200
Bellevue, WA 98005
(425) 453-9298
emily@mediciarchitects.com

OWNER/DEVELOPER Emerald Villas LLC
Marc Luzuriaga
1506 Mukilteo Blvd
Mukilteo, WA 98275
(206) 390-7604
audi2nr@gmail.com

CIVIL ENGINEER Mac Engineering LLC
Elden D. McCall
PO BOX 177
Silvana, WA 98287
(360) 652-5820
elden@macengineering.net

ARBORIST Arbor Options, LLC
Ryan Ringe, Principal
(206) 755-5826
ryan@arboroptions.com

LANDSCAPE ARCHITECT JGM Landscape Architects
Craig Lewis
12610 NE 104th Street
Kirkland, WA 98033
(206) 795-3196
craig@jgm-inc.com

CONTENTS

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18-19	Landscape Design

PROPOSAL DESCRIPTION

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



DEVELOPMENT OBJECTIVES

Construct 2 Duplexes (4 units total) with private single car garages.

Total of four (4) garages provided on site.

- Promote density within the neighborhood, while emphasizing a transition of scale from multifamily residential to the neighboring single family homes.
- Enhance the street-scape with contemporary architecture that connects and engages the street.
- Encourage pedestrian traffic to utilize adjacent amenities along Roosevelt Way NE.

PROJECT INFORMATION

ADDRESS	9709 Roosevelt Way NE Seattle, WA 98115
PROJECT NUMBERS	#3027508
PARCEL NUMBER	#691470-0095
ZONE	LR2 & SF5000
LOT SIZE	6,064 SF
OVERLAYS	Northgate Overlay District
ALLOWED FAR	1.0/1.2 (higher value must meet SMC 23.45.510 C)
DENSITY LIMIT	1/1,600 SF or No Limit
ALLOWED HEIGHT	30'

CONTEXT ANALYSIS

ANALYSIS OF SITE

Currently the site has an existing single family residence. The site is primarily flat with the sidewalk sloping gently to the north. The west portion of the lot is zoned SF5000.

ANALYSIS OF CONTEXT

This project is located along Roosevelt Way NE in the city of Seattle. The site has excellent access to the 67 bus transit line running along Roosevelt Way NE to and from the University of Washington and Northgate Shopping Mall. Roosevelt Way NE is designated for a future bike lane expansion. The project site is split zoned with the bulk of the lot LR2 and a small western portion SF5000. The neighboring zones are SF5000 and LR2. Multiple stores and restaurants are situated along Roosevelt Way NE which promotes walkability and makes it convenient for residents to contribute to neighborhood economics.

EXISTING ZONING MAP LEGEND

LR2 SF5000 BUS STOP



1

DARTMOOR SCHOOL



2

NEIGHBORING DUPLEX



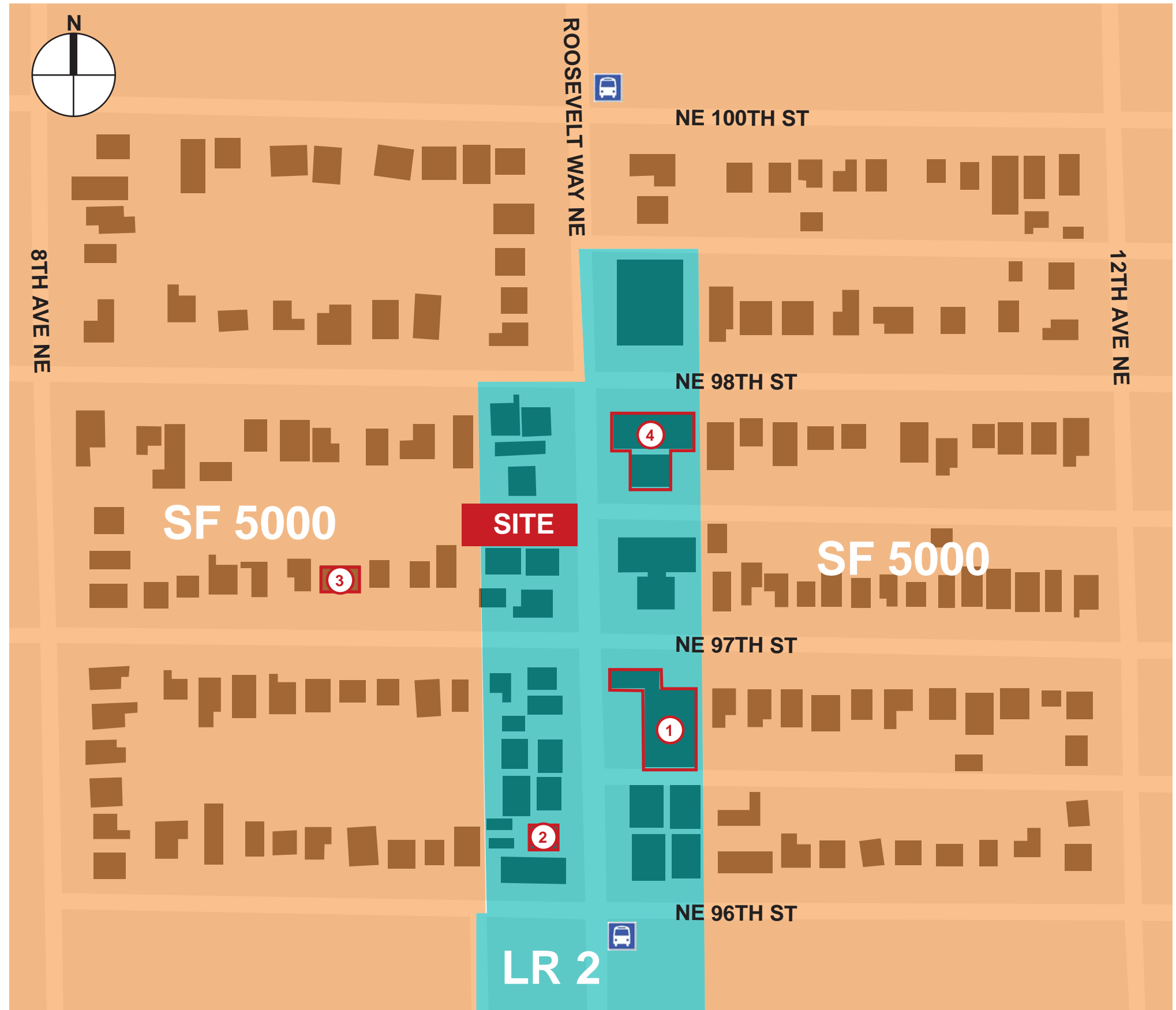
3

NEIGHBORING SINGLE FAMILY



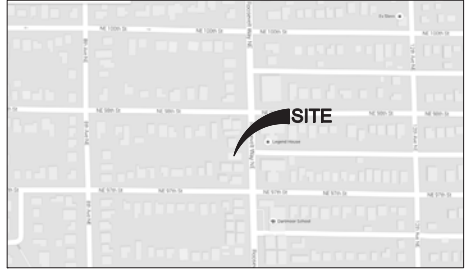
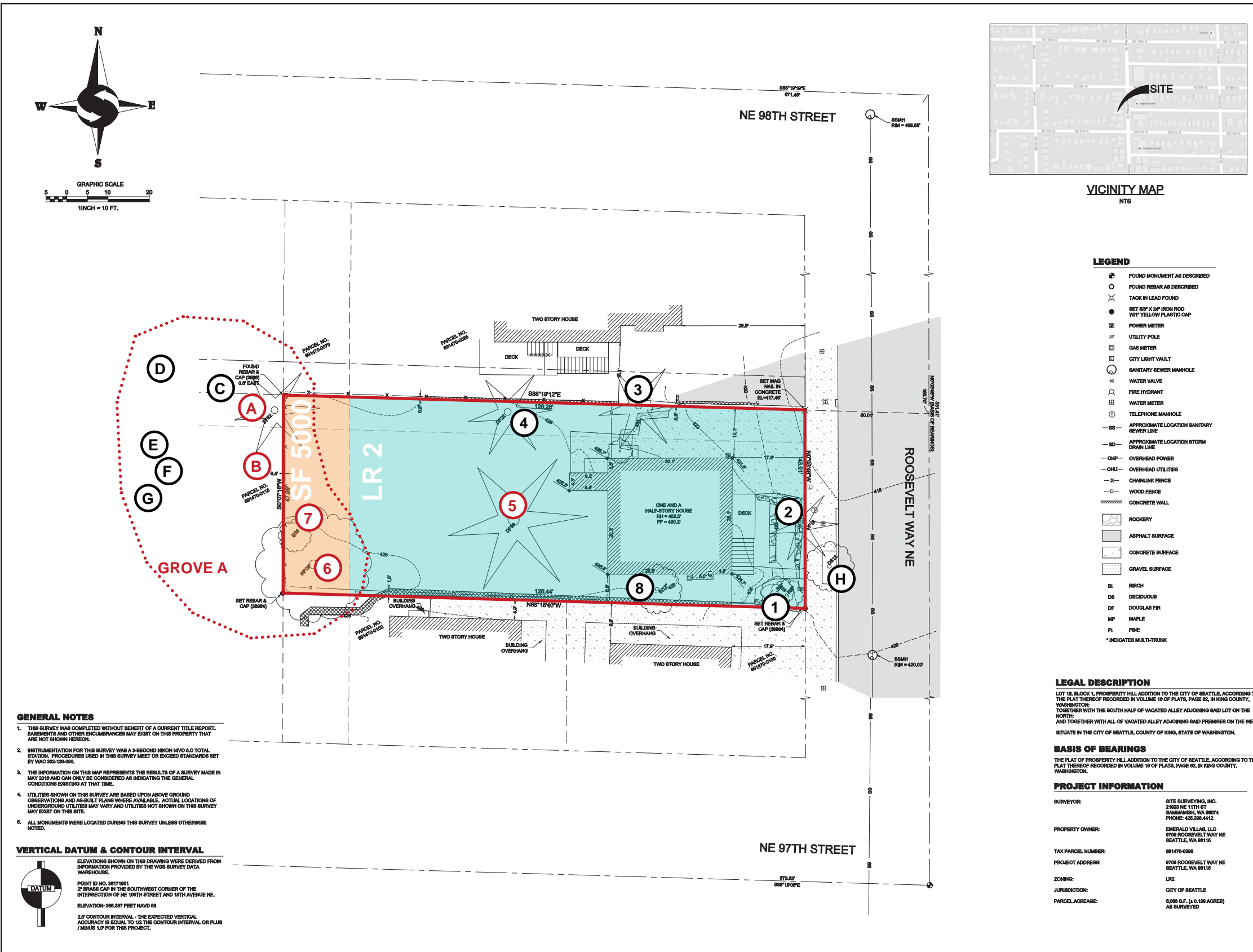
4

LEGEND HOUSE APARTMENTS



EXISTING SITE CONDITIONS

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



VICINITY MAP
NTS

- LEGEND**
- ⊕ FOUND MONUMENT AS DESCRIBED
 - FOUND REBAR AS DESCRIBED
 - ⊗ TACK IN LEAD FOUND
 - SET 8/8" X 24" IRON ROD W/ YELLOW PLASTIC CAP
 - ⊞ POWER METER
 - ⊘ UTILITY POLE
 - ⊞ GAS METER
 - ⊞ CITY LIGHT VAULT
 - ⊞ SANITARY SEWER MANHOLE
 - ⊞ WATER VALVE
 - ⊞ FIRE HYDRANT
 - ⊞ WATER METER
 - ⊞ TELEPHONE MANHOLE
 - APPROXIMATE LOCATION SANITARY SEWER LINE
 - S— APPROXIMATE LOCATION STORM DRAIN LINE
 - OHP— OVERHEAD POWER
 - OHU— OVERHEAD UTILITIES
 - X— CHAINLINK FENCE
 - D— WOOD FENCE
 - ▨ CONCRETE WALL
 - ⊞ ROCKERY
 - ▨ ASPHALT SURFACE
 - ▨ CONCRETE SURFACE
 - ▨ GRAVEL SURFACE
 - BI BIRCH
 - DE DECIDUOUS
 - DF DOUGLAS FIR
 - MP MAPLE
 - PI PINE
 - * INDICATES MULTI-TRUNK

LEGAL DESCRIPTION
LOT 16, BLOCK 1, PROSPERITY HILL ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18 OF PLATS, PAGE 52, IN KING COUNTY, WASHINGTON; TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY ADJOINING SAID LOT ON THE NORTH; AND TOGETHER WITH ALL OF VACATED ALLEY ADJOINING SAID PREMISES ON THE WEST; SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS
THE PLAT OF PROSPERITY HILL ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18 OF PLATS, PAGE 52, IN KING COUNTY, WASHINGTON.

PROJECT INFORMATION

SURVEYOR:	SITE SURVEYING, INC. 21523 NE 11TH ST SAMMAMISH, WA 98074 PHONE: 425.282.4412
PROPERTY OWNER:	EMERALD VILLAS, LLC 9709 ROOSEVELT WAY NE SEATTLE, WA 98115
TAX PARCEL NUMBER:	991470-0065
PROJECT ADDRESS:	9709 ROOSEVELT WAY NE SEATTLE, WA 98115
ZONING:	LR2
JURISDICTION:	CITY OF SEATTLE
PARCEL ACREAGE:	0.268 SF. (0.0136 ACRES) AS SURVEYED

- GENERAL NOTES**
- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
 - INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND NIKON NVD 6.0 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAO 353-130-000.
 - THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MAY 2018 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
 - UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
 - ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE WGS SURVEY DATA WAREHOUSE.

POINT ID NO. 98171801
2" BRASS CAP BY THE SOUTHWEST CORNER OF THE INTERSECTION OF NE 100TH STREET AND 18TH AVENUE NE.
ELEVATION: 566.87 FEET NAVD 88

2' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

EXCEPTIONAL TREES

- 5 DOUGLAS FIR: 35.7" DBH w/ 26ft dripline radius
- 6 SILVER FIR: 37.5" DBH w/ 38ft dripline radius
- 7 PACIFIC DOGWOOD: 9.2" DBH w/ 20ft dripline radius

EXCEPTIONAL ADJACENT TREES

- A DOUGLAS FIR: 15.0" DBH w/ 18ft dripline radius
- B WESTERN RED CEDAR: 13.0" DBH w/ 15ft dripline radius

SIGNIFICANT TREES

- 1 PAPER BIRCH: 17.0" DBH w/ 21ft dripline radius
- 2 DOUGLAS FIR: 16.9" DBH w/ 25ft dripline radius
- 3 DOUGLAS FIR: 25.9" DBH w/ 26ft dripline radius
- 4 DOUGLAS FIR: 24.5" DBH w/ 27ft dripline radius
- 8 EUROPEAN WHITE BIRCH: 16.6" DBH w/ 20ft dripline radius

ADJACENT PROPERTY SIGNIFICANT TREES

- C-G TREES C-G: Part of Grove A and do not encroach on proposed development.

R.O.W TREES

- H LITTLELEAF LINDEN: 11.9" DBH w/ 23ft dripline radius

EXISTING STREET ELEVATIONS



SITE

ROOSEVELT WAY NE (FACING WEST)

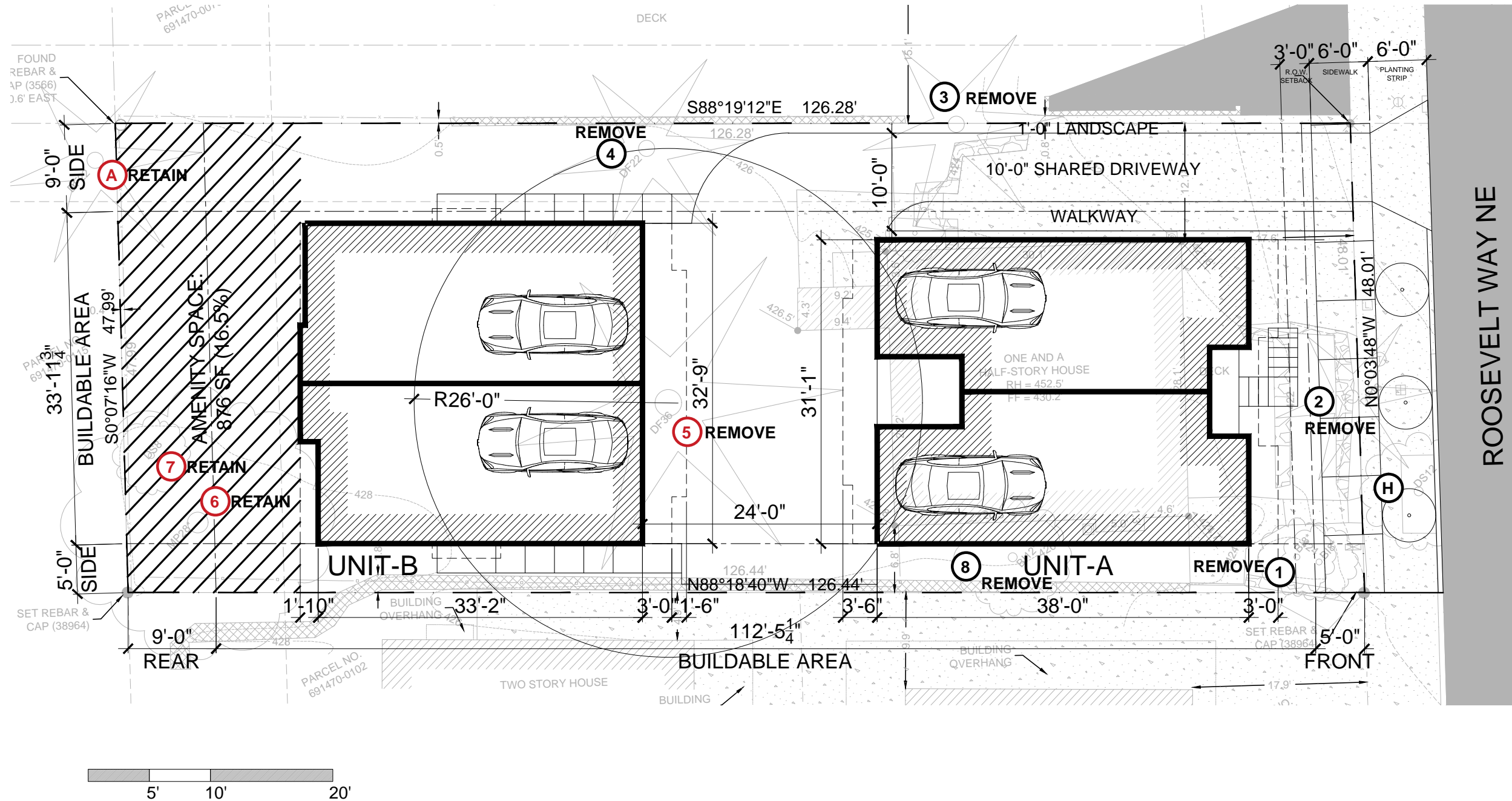


ACROSS FROM SITE

ROOSEVELT WAY NE (FACING EAST)

SITE PLAN

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



LEGAL DESCRIPTION

LOT 16, BLOCK 1, PROSPERITY HILL ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 16 OF PLATS, PAGE 62, IN KING COUNTY, WASHINGTON;
TOGETHER WITH THE SOUTH HALF OF VACATED ALLEY ADJOINING SAID LOT ON THE NORTH;
AND TOGETHER WITH ALL OF VACATED ALLEY ADJOINING SAID PREMISES ON THE WEST;
SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

ZONING DATA

SDR PACKET - DATE
9709 ROOSEVELT WAY NE

LOT AREA	6,064 SF (768 in SF 5000, 5,296 SF in LR2)
DEVELOPABLE LOT AREA	5,296 SF for multi-family (townhome) project
ZONING	SF 5000 & LR2; proposed contract re-zone to LR2 or LR3
OVERLAY	Northgate Overlay District
EXISTING LAND USE	Single-Family Residential

23.45.512 - DENSITY LIMITS

LR2: no limit for Townhouse developments, if meeting standards of 23.45.510.C (see footnote).

-Four (4) units maximum proposed.

23.45.514 - STRUCTURE HEIGHT

LR2: 30 feet base height
Shed and butterfly roofs may extend 3 feet above limit.

-Proposed buildings to meet height requirements with a butterfly roof.

23.45.518 - SETBACKS

Front: 7' average, 5' minimum
Rear: 7' average, 5' minimum
Side: 5' for facades less than 40' in length, 7' average & 5' minimum for facades greater than 50' in length
Separation between multiple structures: 10'
Bay windows may project a maximum 2' into setback and separation if they are no closer than 5' to lot line, not more than 10' in width, and no more than 30% of the area of facade.
Unenclosed decks may project a maximum 4' into setback if they are no closer than 5' to the lot line, not more than 20' wide, and separated from other deck by a distance equal to at least ½ of the width of the projection.

-Proposed buildings to comply with setbacks.

23.45.522 - AMENITY AREA

Required amount of amenity area for townhouse developments is equal to 25% of the lot area. Minimum 50% of the required amenity area to be provided at ground level (except that on the roof of a structure) and may be provided as private or common space. All units shall have access to an amenity area. No common amenity areas shall be less than 250 square feet in area.

-Amenity area to be provided at ground level landscaped areas and private decks.

23.45.524 - LANDSCAPING STANDARDS

Landscaping that achieves a Green Factor score of 0.6 or greater is required. Street trees are required.

-Landscape plan to be provided to show compliance with Green Factor.

23.45.504 - PERMITTED USES

Residential Use permitted outright
Residential Townhouse use proposed

23.45.510 - FLOOR AREA RATIO (FAR) LIMITS

LR2: 1.2 for Townhouse developments, if meeting standards of 23.45.510.C (see footnote)
-Only square footage of LR2 zoned portion of lot can be used for calculating)
1.2 * 5,296 SF = 6,355 SF allowable

-Proposed buildings to meet FAR requirement.

23.45.527 - STRUCTURE WIDTH

LR2: 90'

The maximum combined length of all portions of facades within 15' of a side lot line shall not exceed 65% of the length of that lot line.

North side lot line: $.65 * 126.28 = 82'$ total facade length allowed

South side lot line: $.65 * 126.44 = 82.2'$ total facade length allowed

-Proposed South facade length= 79'-2"

Proposed North facade length= 78'-6"

23.45.529 - DESIGN STANDARDS

Enhance street-facing facades; Foster a sense of community by integrating pedestrian-oriented new development; Provide a sense of openness and access to light and air; Encourage compatibility of variety of housing types with scale and character of neighborhood.

-Proposed buildings to utilize articulation, architectural features, and materials to provide variety in facades. Large windows and doors will provide light and ventilation, with common and private access to an outdoor amenity areas. A visually prominent pedestrian entry on the street-facing side will be provided, along with additional architectural details to identify individual townhouse units.

23.45.536 - PARKING LOCATION, ACCESS AND SCREENING

Required parking (per 23.45.015.C) shall be located in a structure that meets the requirements of 23.45.510.E.5.

-Each unit will be provided with one parking space in a garage attached to each unit. Access is taken from the shared driveway off of Roosevelt Way NE. Garage doors do not face the street.

23.54.015 - REQUIRED PARKING

Per Table B, multifamily residential uses are required 1 space per dwelling unit.

-1 space per dwelling unit is provided in a garage space directly attached to and accessed by each unit.

23.45.510.C - ADDITIONAL CODE REFERENCES

Standards to meet in order to qualify for higher FAR and higher density:

1. Proposed development to meet the green building standard.
2. Improvements to alley must be made if abutting an alley. (n/a)
3. Parking location to be located in a parking area or structure at the rear of the lot.
4. Access to parking shall be from a street with no more than one driveway.

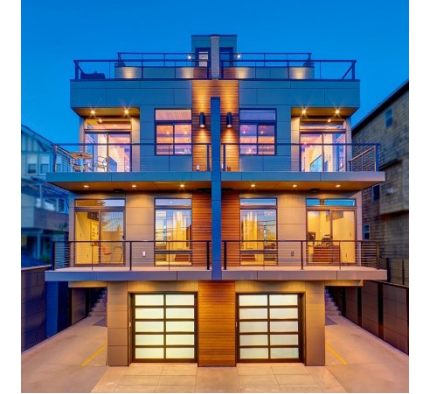
CS1 NATURAL SYSTEMS AND SITE FEATURES

Use natural systems and features of the site and its surroundings as a starting point for project design.

B. Sunlight and Natural Ventilation

Sun and Wind: Take advantage of solar exposure and natural ventilation available on site where possible. Use local wind patterns and solar gain as a means of reducing the need for mechanical ventilation and heating where possible.

Private decks for each unit are located on east and west sides of the buildings in order to gain as much sunlight without being blocked by neighboring buildings. Doors and operable windows are located on all sides of the buildings to promote ventilation and fresh air. Bedrooms are located on the ends of buildings to take advantage of building corners with windows on two sides.



CS2 URBAN PATTERN AND FORM

Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.

D. Height, Bulk, and Scale

Existing Development and Zoning: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition. Note that existing buildings may or may not reflect the density allowed by zoning or anticipated by applicable polices.

The proposed development is in alignment regarding to height, bulk, and scale with neighboring buildings. Architectural modulation, detailing, and placement of glazing emphasizes a pedestrian scale. Since only two units are visible from the street, the bulk and scale of the buildings is reduced.



PL3 STREET LEVEL INTERACTION

Encourage human interaction and activity at the street-level with clear connections to building entries and edges.

A. Entries

Design Objectives: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part.

Individual unit entries from the street will be unique in their color and material, and accessed by a stair directly from the sidewalk. They will be easily identifiable and protected from weather.



DC2 ARCHITECTURAL CONCEPT

Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.

A. Massing

Reducing Perceived Mass: Use secondary architectural elements to reduce the perceived mass of larger projects. Consider creating recesses or indentations in the building envelope; adding balconies, bay windows, porches, canopies, or other elements; and/or highlighting building entries.

B. Architectural and Façade Composition

Façade Composition: Design all building facades considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned.

C. Secondary Architectural Features

Dual Purpose Elements: Consider architectural features that can be dual purpose – adding depth, texture, and scale as well as serving other project functions.

D. Scale and Texture

Human Scale: Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept.

All facades use a combination of decks, overhangs, modulation, material changes, and changes in the plane to create interest and articulation to reduce perceived mass.

With a simple butterfly roof form and well-articulated facades, the whole building feels cohesive and interesting. Windows are aligned but without being repetitive, and materials are given breaks and changes in color to break down the scale.

-Decks are incorporated at second and third floors, which serve as outdoor amenity spaces, but also provide relief in the overall façade and overhead weather protection for the floor below. Bay windows are used to increase floor area within the building, but also provide modulation on the exterior elevations.

-Landscaping is incorporated at the street-facing façade to welcome and encourage a human scale. The entries are covered and protected from weather and appropriately lit to invite pedestrians. Articulation is also provided to reduce the scale of the facades.



DC4 EXTERIOR ELEMENTS AND FINISHES

Use appropriate and high quality elements and finishes for the building and its open spaces.

A. Building Materials

Exterior Finish Materials: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close.

D. Trees, Landscape and Hardscape materials

Choice of Plant Materials: Reinforce the overall architectural and open space design concepts through the selection of landscape materials.

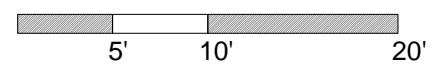
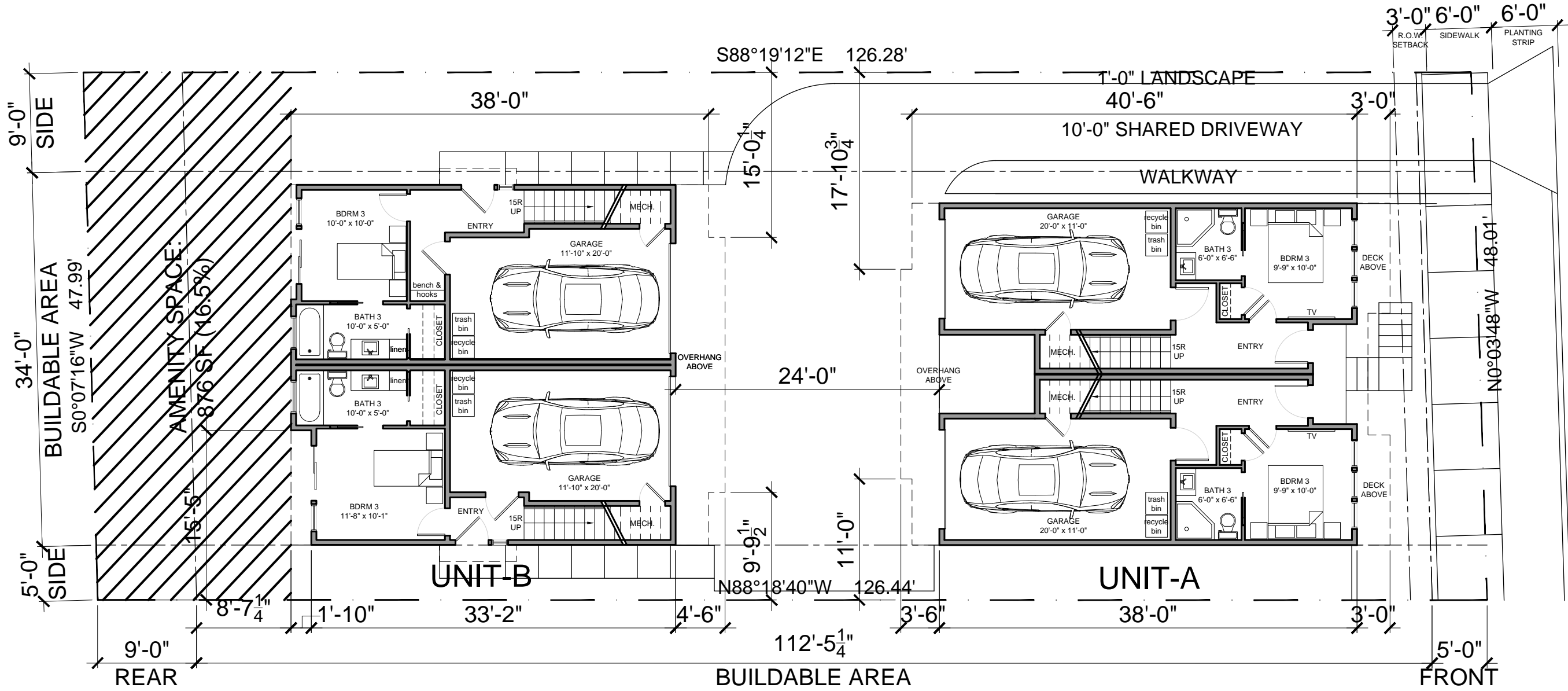
The preferred material palette includes smooth fiber cement panels, fiber cement lap siding, metal siding and stained cedar. The variety of scale, colors, and textures provide interest, and each of the materials are easily maintainable.

Landscape and planting plan will accentuate the open areas and create visually welcoming areas. Landscaping will be designed with native and low-maintenance plants that can thrive in this location.



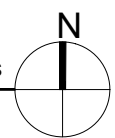
ARCHITECTURAL CONCEPT: FLOOR PLANS

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



PROPOSED DUPLEXES
9709 ROOSEVELT WAY NE | 1ST FLOOR

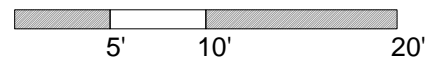
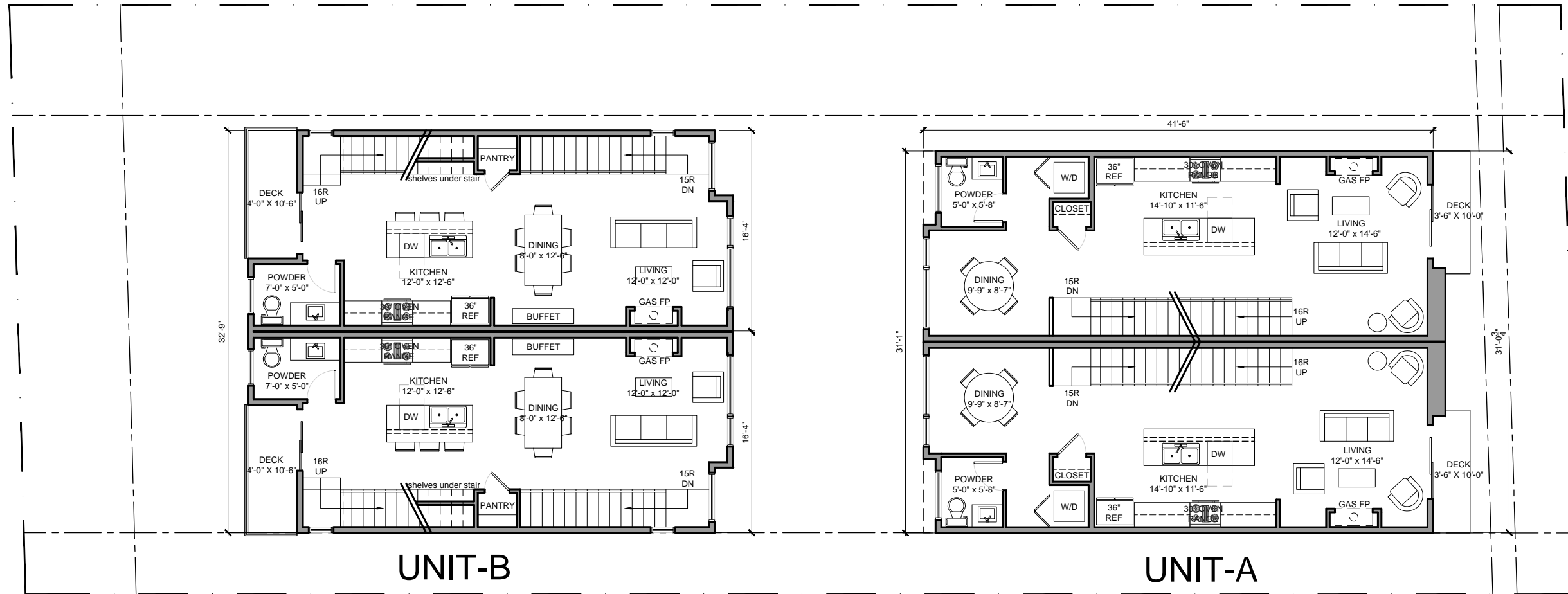
MEDICI ARCHITECTS



SCALE: NTS

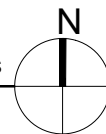
ARCHITECTURAL CONCEPT: FLOOR PLANS

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



PROPOSED DUPLEXES
9709 ROOSEVELT WAY NE | 2ND FLOOR

MEDICI ARCHITECTS

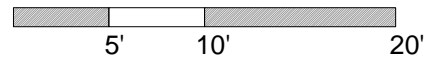
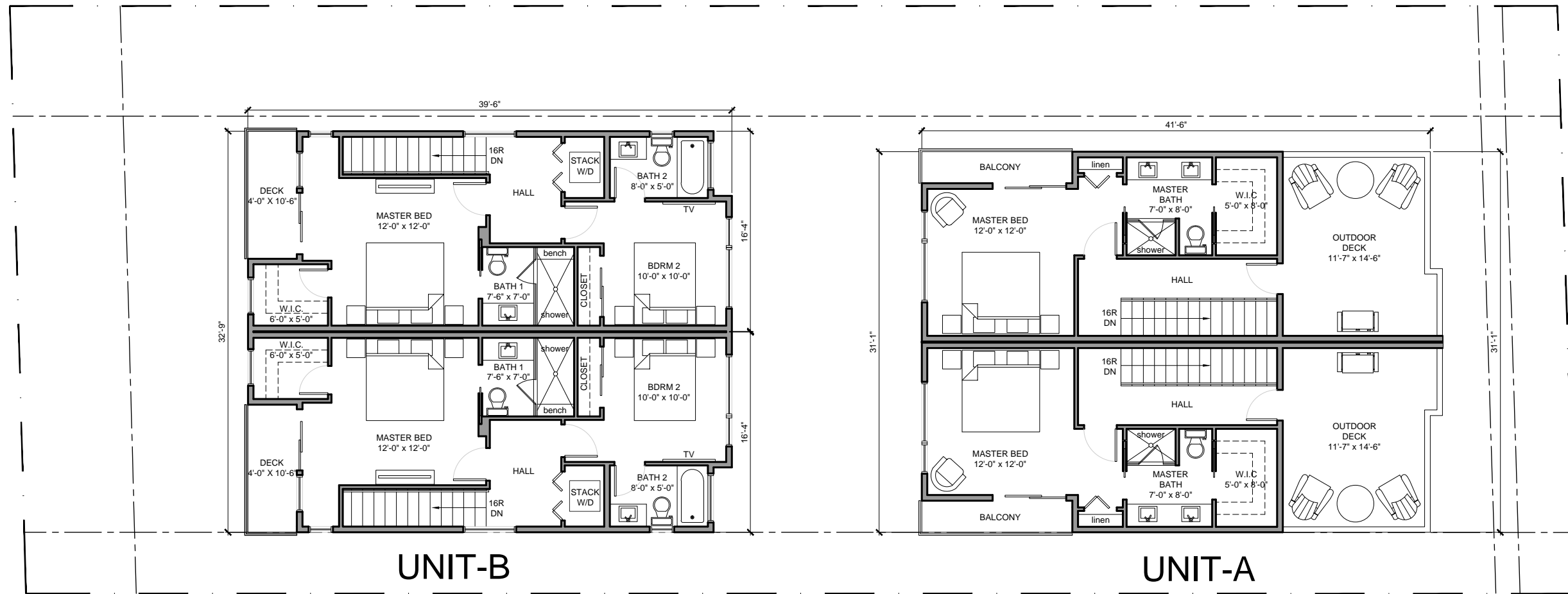


SCALE: NTS

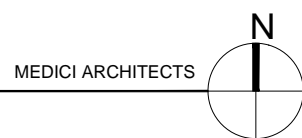
MEDICI
ARCHITECTS

ARCHITECTURAL CONCEPT: FLOOR PLANS

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



PROPOSED DUPLEXES
9709 ROOSEVELT WAY NE | 3RD FLOOR
SCALE: 1/8" = 1'-0"



ARCHITECTURAL CONCEPT: ELEVATIONS

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



STREET VIEW

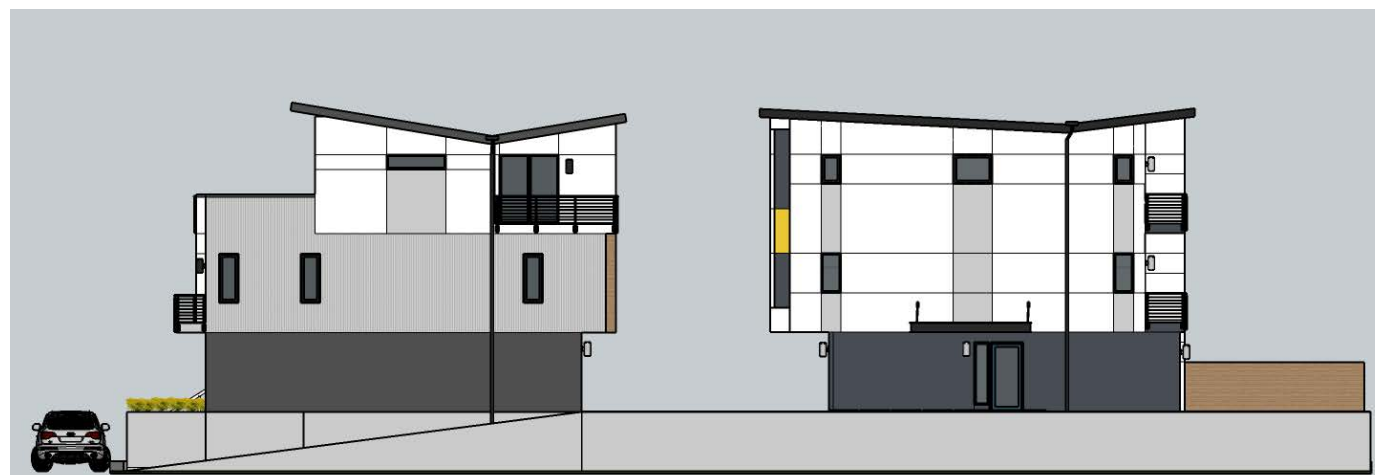
EXISTING NEIGHBORING DUPLEX

PROPOSED STRUCTURE

EXISTING NEIGHBORING SINGLE FAMILY HOUSE



EAST VIEW



NORTH VIEW



UNIT B GARAGE VIEW



UNIT A GARAGE VIEW



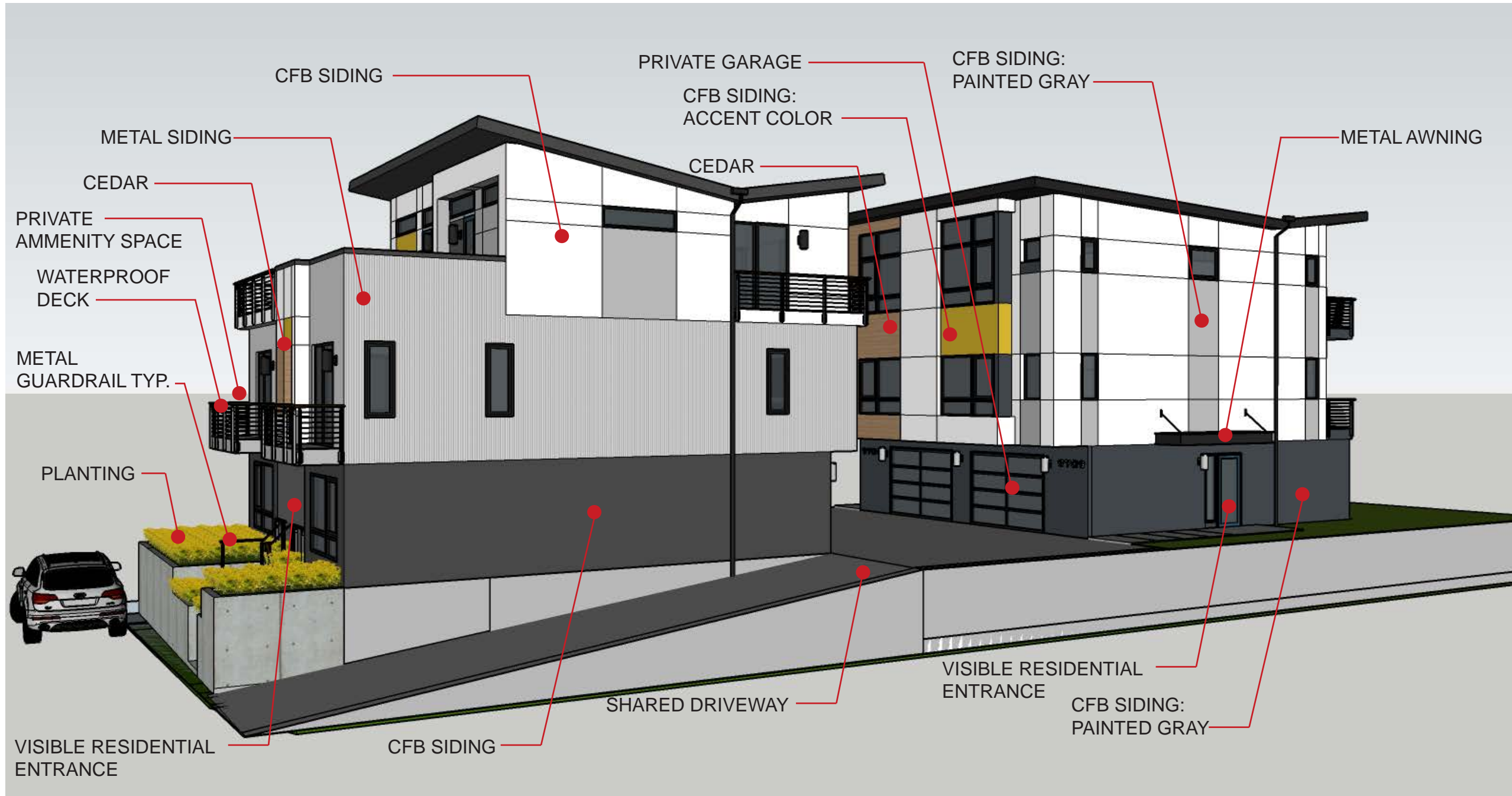
SOUTH VIEW



WEST VIEW

ARCHITECTURAL CONCEPT: MASSING AND MATERIALS

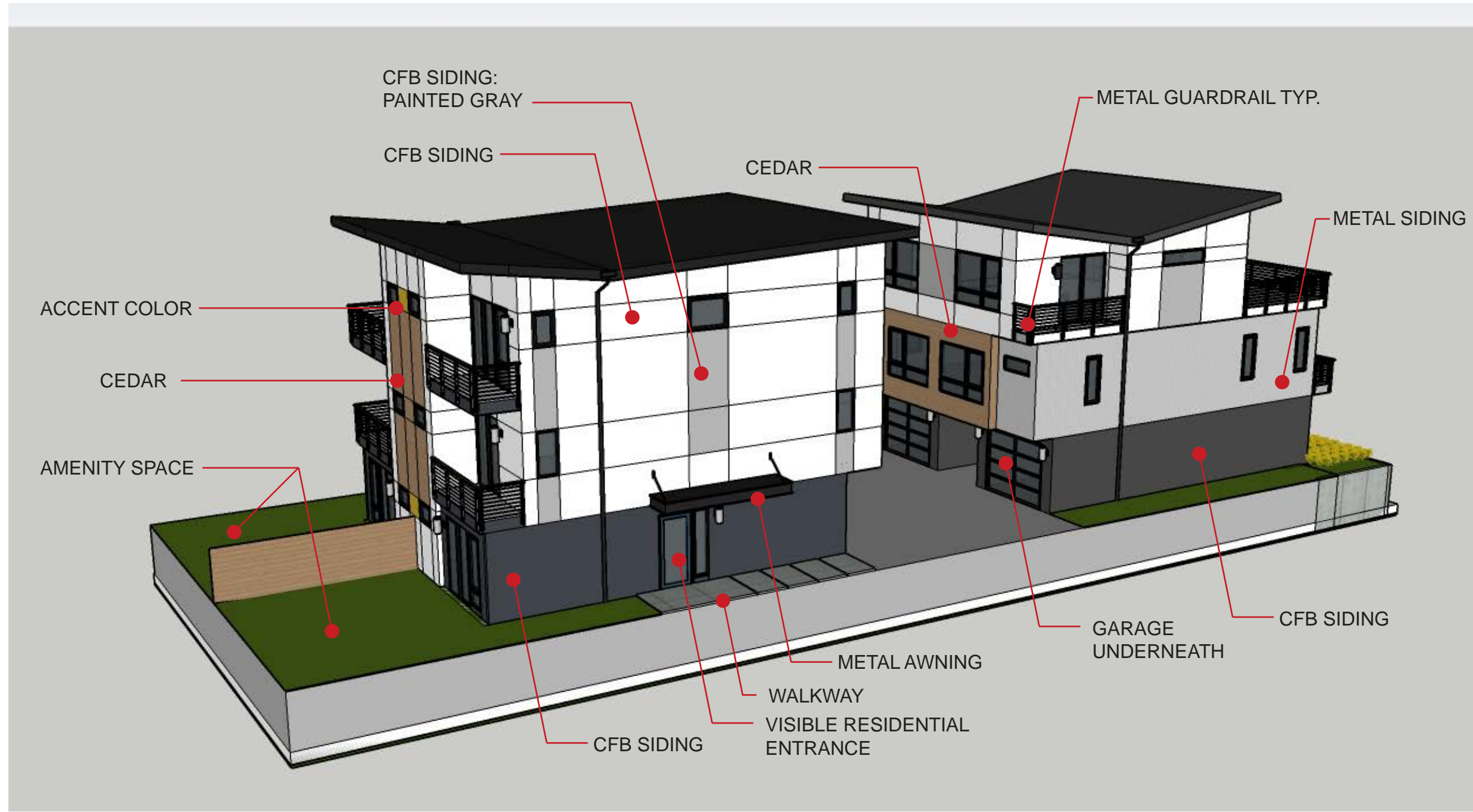
SDR PACKET - DATE
9709 ROOSEVELT WAY NE



NORTH-EAST VIEW

ARCHITECTURAL CONCEPT: MASSING AND MATERIALS

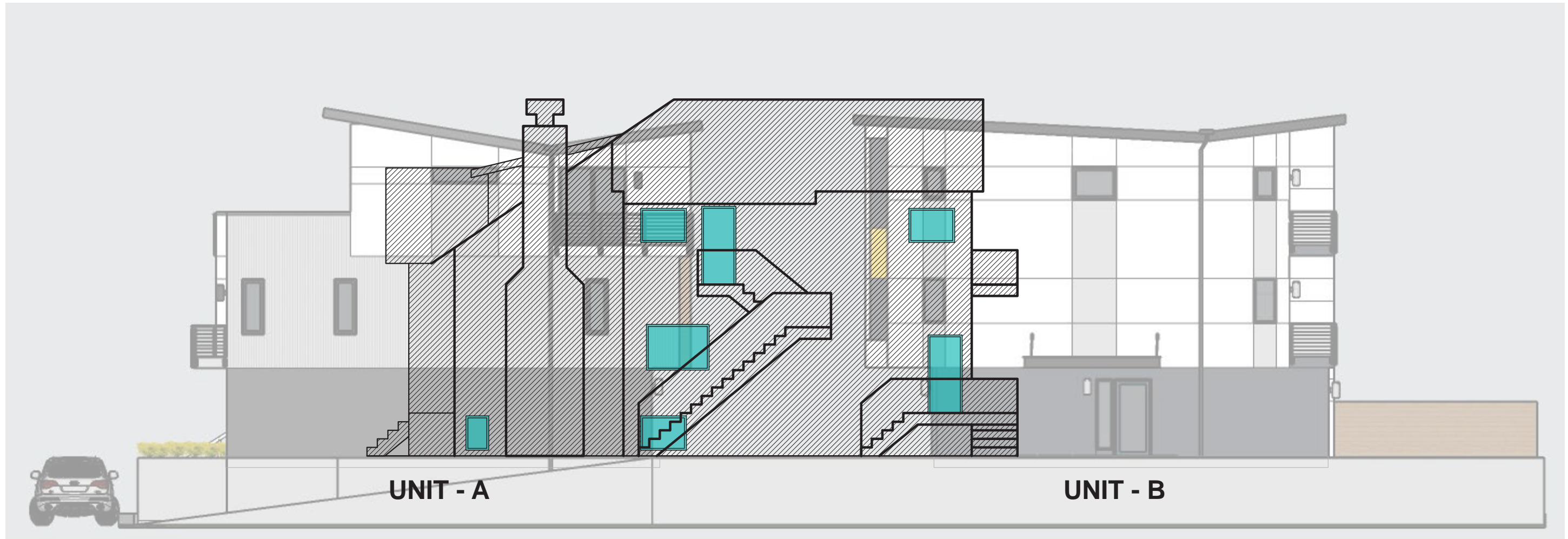
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SOUTH-WEST VIEW

ARCHITECTURAL CONCEPT: NORTH ELEVATION WINDOW STUDY

SDR PACKET - DATE
9709 ROOSEVELT WAY NE



UNIT - A

UNIT - B

NORTH VIEW

KEY

 NEIGHBORING WINDOWS AND DOORS

 NEIGHBORING ELEVATION

AS DESIGNED NO WINDOWS OR
DOORS ARE DIRECTLY ACCROSS
FROM EACH OTHER.

ARCHITECTURAL CONCEPT: SOUTH ELEVATION WINDOW STUDY

SDR PACKET - DATE
9709 ROOSEVELT WAY NE




UNIT - B

UNIT - A

SOUTH VIEW

KEY

 NEIGHBORING WINDOWS AND DOORS

 NEIGHBORING ELEVATION

AS DESIGNED THERE ARE MINIMAL WINDOW AND DOOR OVERLAP WITH ONLY ONE INSTANCE ON THE GROUND FLOOR OF BUILDING B.

LANDSCAPE DESIGN: PLANTING PLAN

SDR PACKET - DATE
9709 ROOSEVELT WAY NE

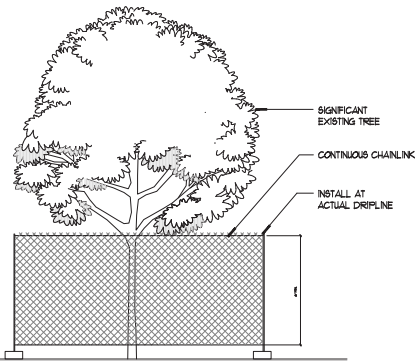
GREEN FACTOR WORK SHEET

Green Factor Worksheet*	SEATTLE-green factor										TOTAL**	
	1	2	3	4	5	6	7	8	9	10		
A1	square foot											0
A2	square foot	340	225	122	190	75	285	410	195	210		1952
A3	square foot											0
B1	square foot	240	225	122	190	75	285	410	195	210		1952
B2	# of plants	24	24	11	19	17	28	12				135
B3	# of trees					3	1					5
B4	# of trees											0
B5	# of trees	1										1
B6	# of trees											0
B7	# of trees	1			2							3
C1	square foot											0
C2	square foot											0
D	square foot											0
E	square foot											0
F1	square foot											0
F2	square foot											1468
G	square foot											0
H1	square foot	340	225	122	190	75	285	410	195	210		1952
H2	square foot											0
H3	square foot	1553	225									1813
H4	square foot											0

* See Green Factor score sheet for category definitions
** Enter totals on the Green Factor score sheet

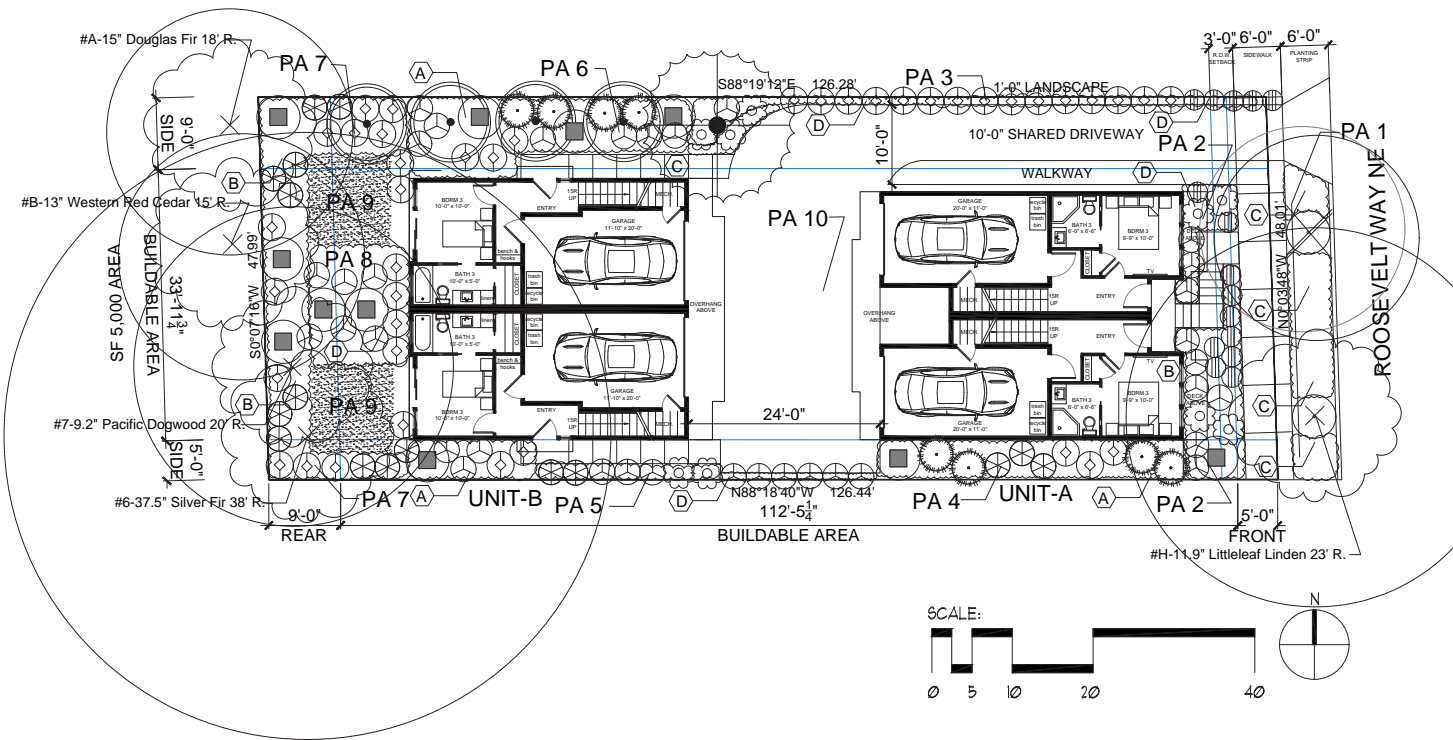
GREEN FACTOR SCORE SHEET

Green Factor Score Sheet	SEATTLE-green factor	SCORE	POINTS
Landscaping Elements*			
A Landscaped areas (select one of the following for each area)			
1	Landscaped areas with a soil depth of less than 24"	0.1	0
2	Landscaped areas with a soil depth of 24" or greater	0.8	1,171.2
Water Features			
B Water features (select one of the following for each area)			
1	Water features with a depth of less than 2"	0.1	180
2	Water features with a depth of 2" or greater	0.8	468
Plantings			
C Plantings (select one of the following for each area)			
1	Plantings with a soil depth of less than 24"	0.1	110
2	Plantings with a soil depth of 24" or greater	0.8	1,171.2
Green Roofs			
D Green roofs (select one of the following for each area)			
1	Over at least 2" and less than 4" of growth medium	0.4	0
2	Over at least 4" of growth medium	0.7	0
Vegetated Walls			
E Vegetated walls (select one of the following for each area)			
1	Approved water features	0.7	0
Permeable Paving			
F Permeable paving (select one of the following for each area)			
1	Permeable paving over at least 24" of soil or gravel	0.2	0
2	Permeable paving over at least 24" of soil or gravel	0.5	734.0
Structural Soil Systems			
G Structural soil systems (select one of the following for each area)			
1	Structural soil systems	0.2	0
Bonuses			
H Bonuses (select one of the following for each area)			
1	Drought-tolerant or native plant species	0.1	195.2
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of rainwater	0.2	0
3	Landscaping visible to passersby from adjacent public right-of-way or public open spaces	0.1	180
4	Landscaping in flood cultivation	0.1	0
* Do not count public right-of-way in parcel size calculation.			
** You may count landscape improvements in right-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule Book 6.0000.			



- SIX FOOT-HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT DRIPLINE OF TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCLOSE TREE(S). INSTALL FENCE POSTS USING PIER BLOCKS ONLY. AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER 1" IN DIAMETER DAMAGED DURING CONSTRUCTION MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DRY BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING.

A TYPICAL EXISTING TREE PROTECTION
NOT TO SCALE



PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	SPACING
TREES				
(Symbol)	EXISTING TREES TO SAVE AND PROTECT. APPROX. DRIPLINE INDICATED.			
(Symbol)	CORNUS KOUSA / KOUSA DOGWOOD	2" CALIPER TREE FORM	1	15'
(Symbol)	STEWARTIA PSEUDOCAMELLIA / JAPANESE STEWARTIA	2" CALIPER TREE FORM	4	10' +
(Symbol)	TILIA CORDATA / LITTLE-LEAF LINDEN	2" CALIPER TREE FORM BRANCHED AT 5' HT.	1	20' +
SHRUBS				
(Symbol)	NANDINA DOMESTICA 'COMPACTA' / COMPACT HEAVENLY BAMBOO	24" HT, 5-GAL POT	8	4' + O.C.
(Symbol)	RIBES SANGUINUM / RED FLOWERING CURRENT	24" HT, 3-GAL POT	11	3'-6" O.C.
(Symbol)	ILEX CRENATA 'COMPACTA' / JAPANESE HOLLY	12" HT, 2-GAL POT	16	3'-0" O.C.
(Symbol)	VACCINIUM OVATUM / EVERGREEN HUCKLEBERRY	12" HT, 2-GAL POT	41	2'-6" O.C.
(Symbol)	POLYSTICHUM MUNITUM / SWORD FERN	12" HT, 2-GAL POT	35	2'-6" O.C.
(Symbol)	LAVANDULA ANGIUSTIFOLIA 'TUCKER FURFLE' / LAVENDER	12" HT, 2-GAL POT	15	2'-6" O.C.
(Symbol)	PENNISETUM ALOPECUROIDES 'MOUDRY' / FOUNTAIN GRASS	12" HT, 2-GAL POT	9	2'-6" O.C.

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE AT PLANTING	QTY.	SPACING
GROUNDCOVERS				
(Symbol A)	MAHONIA NERVOSA / LONG-LEAF MAHONIA	4-INCH POT		1'-6" O.C.
(Symbol B)	RUBUS CALYCINOIDES / EVERGREEN BRAMBLE	4-INCH POT		1'-6" O.C.
(Symbol C)	SEDUM MIX - DIVERGENS, REFLEXUM AND LINEARE / STONECROP	4-INCH POT		1'-6" O.C.
(Symbol D)	FRAGARIA CHILOENSIS 'LIPSTICK' / SAND STRAWBERRY	4-INCH POT		1'-6" O.C.
(Symbol)	BODDED LAWN		220 SF.	

NOTES

- ALL NEW PLANTING AREAS SHALL RECEIVE MINIMUM 8" OF IMPORTED COMPOST-AMENDED TOPSOIL TILLED INTO THE TOP 4" OF SUBGRADE SOILS AND MINIMUM 2" OF WOOD CHIP MULCH AS PER INSTALLATION STANDARDS DESCRIBED IN CITY OF SEATTLE STD. PLAN 142.
- ALL NEW PLANTING AREAS SHALL BE IRRIGATED DURING ESTABLISHMENT PERIOD.
- ALL NEW TREES TO BE PLANTED AT A MINIMUM DISTANCE OF 5' FROM ALL UNDERGROUND UTILITIES, 20' FROM STREET LIGHTS AND EXISTING TREES, 10' FROM POWER POLES.
- PLANTING OF PREVIOUS PAVING AREA CALL-OUT FOR GREEN FACTOR CALCULATION = PA-*

JGM
LANDSCAPE ARCHITECTS
INCORPORATED P.S.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
PARKS AND RECREATION PLANNING
12610 NE 104TH ST.
KIRKLAND WA 98033
PH: 425.454.5723
FX: 425.832.5525
E: jgm@jgm-inc.com

DUPLEXES AT
9709 ROOSEVELT
WAY N.E.
SEATTLE, WA

REVISIONS/DRAWING ISSUES:

Drawn by: CL
Checked by: CL



STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Craig R. Reser
CERTIFICATE NO. 442

DATE: 6-15-17

LAST UPDATE:

CAD FILE:

DRAWING TITLE

PLANTING
PLAN

SHEET NUMBER

L1.0

LANDSCAPE DESIGN: PLANTING DETAILS

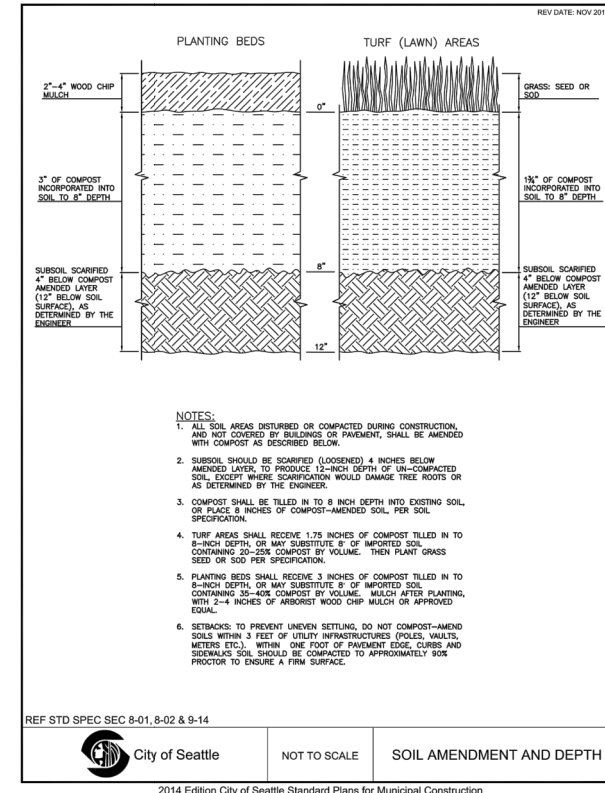
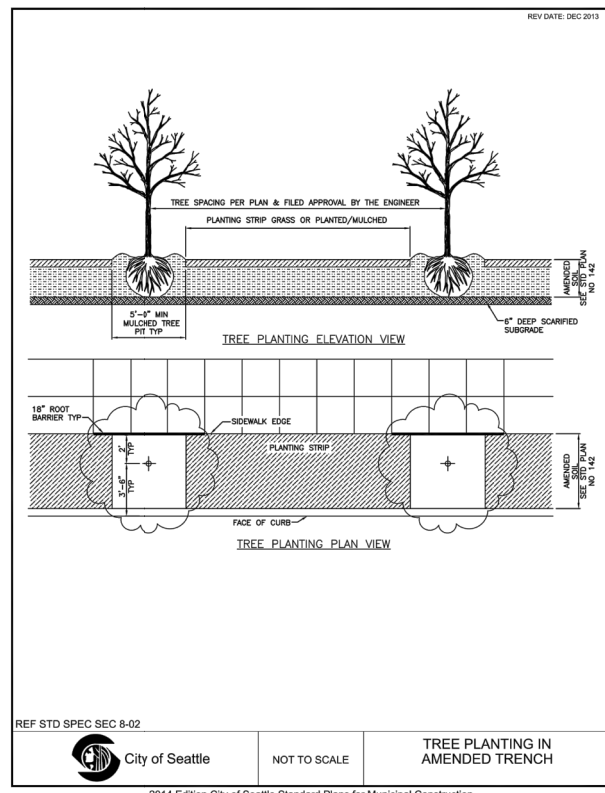
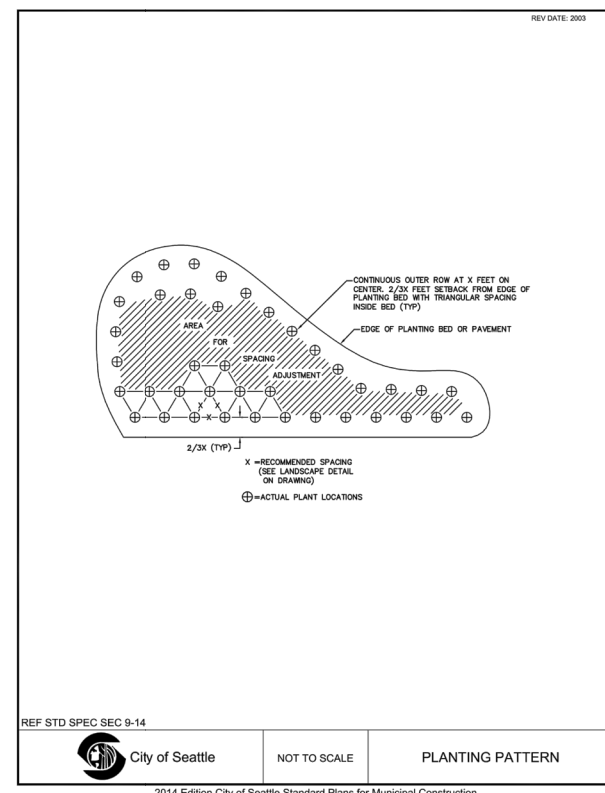
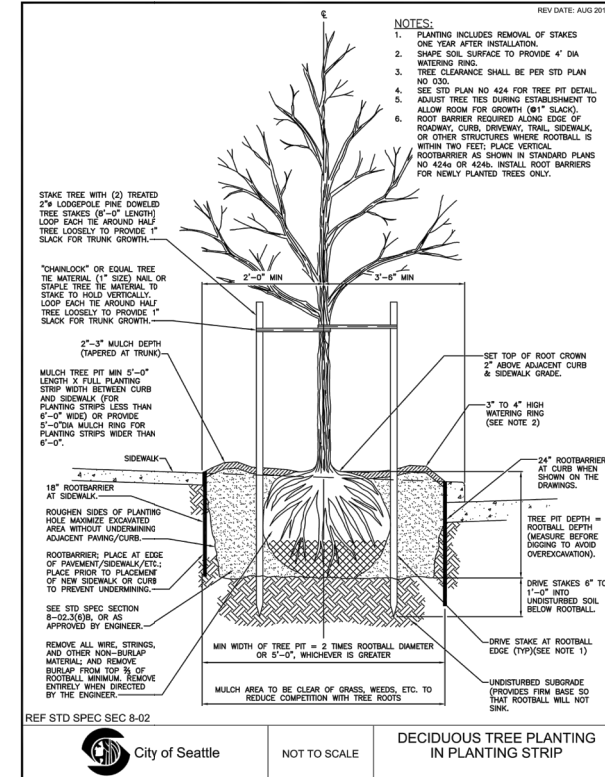
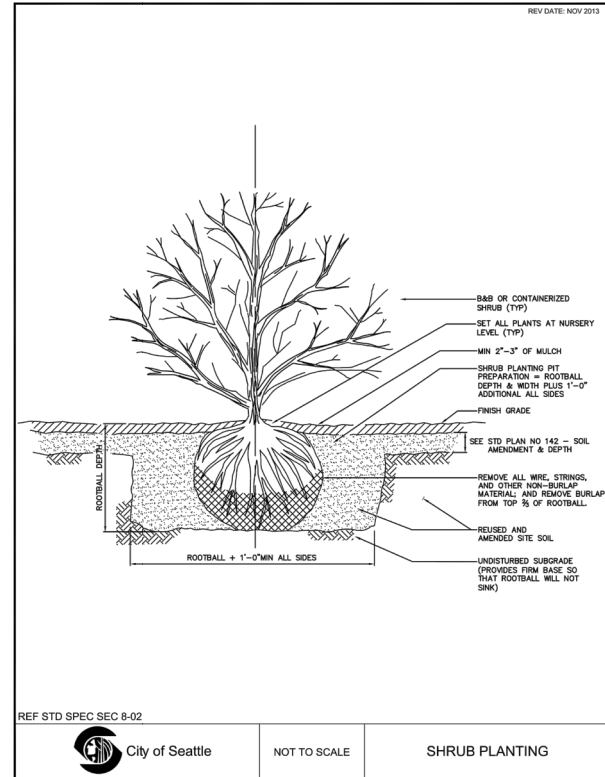
SDR PACKET - DATE
9709 ROOSEVELT WAY NE

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PH: 425.454.5723
FX: 425.822.3525
E: jgm@jgm-inc.com

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DATE: 6-15-17
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