

18th And John Multi-Family Project

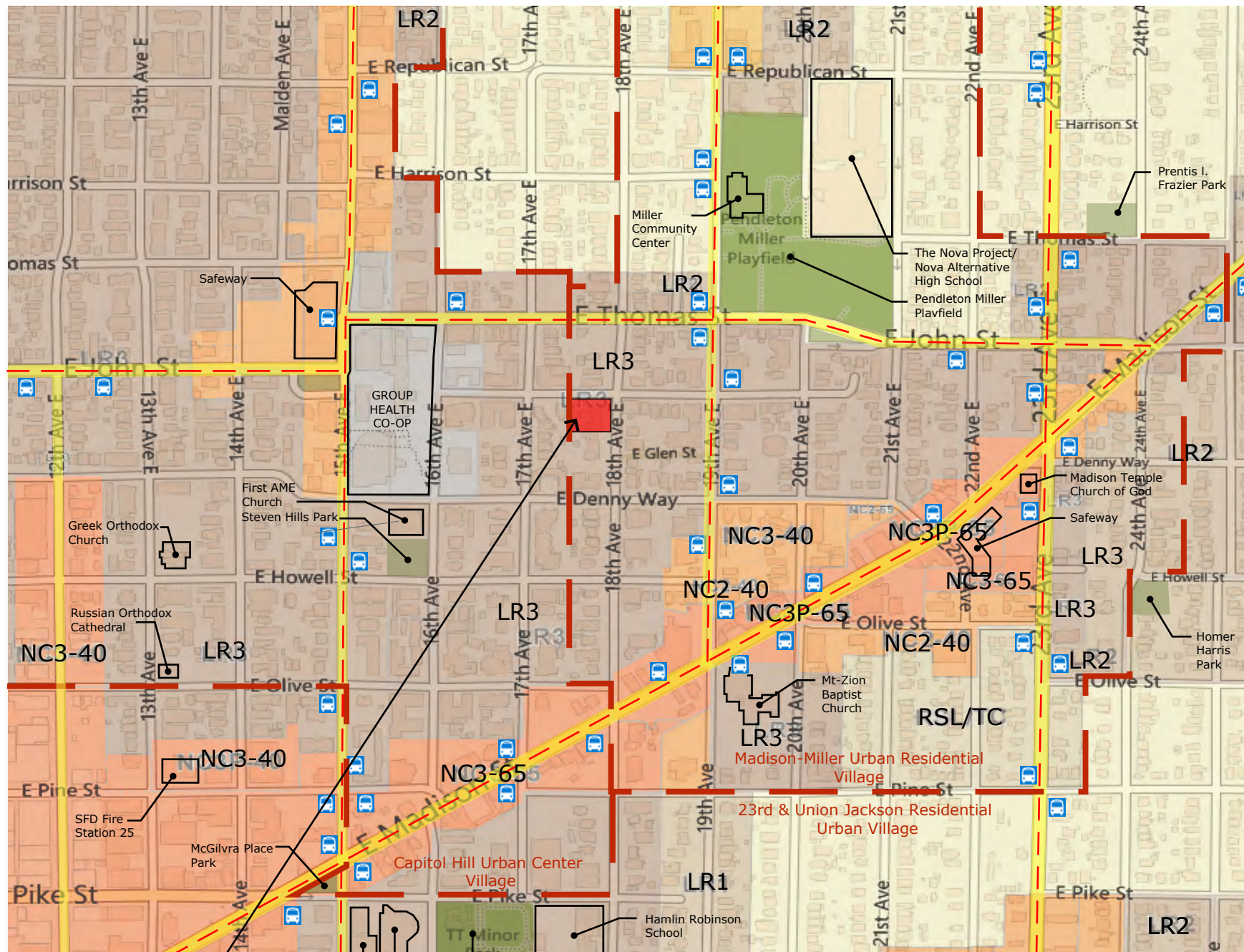
133 18th Avenue East Seattle, WA
Early Design Guidance Package
February 15, 2013

Architect:
Bazan Architects
2000 116TH AVE. NE, SUITE 4
BELLEVUE, WA 98004
CONTACT:
Marc Jenefsky, AIA, NCARB, LEED AP
425.637.0831
marcjenefsky@bazanarchitects.com
www.bazanarchitects.com

LANDSCAPE ARCHITECT:
ANDREWS LANDSCAPE ARCHITECTS
911 WESTERN AVENUE, STE. 301
SEATTLE, WA 98104
CONTACT:
DAVE ANDREWS
206.405.2547
dave@andrewsla.com
www.andrewsla.com

CIVIL ENGINEER:
DECKER CONSULTING ENGINEERS
911 WESTERN AVENUE, STE. 406
SEATTLE, WA 98104
CONTACT:
JAY D. DECKER
206.403.0933
jayd@dceconsult.com

OWNER:
ODEGARD GOCKEL
P.O. BOX 807
BELLEVUE, WA 98009
425.454.3282
DAVE@ODEGARDGOCKEL.COM



SITE LOCATION

ADDRESS: 133 18th Avenue East
 DPD PROJECT #: 3014594
 OWNER: Odegard Gockel
 APPLICANT: Bazan Architects
 CONTACT: Marc Jenefsky, Architect

LEGEND:

- | | | | |
|--|---------------------------|--|-----------------------|
| | Site | | Major Arterial Street |
| | Low Rise Zone 1 | | Bus Route |
| | Low Rise Zone 2 | | Bus Stop |
| | Low Rise Zone 3 | | Urban Village Boundry |
| | Residential Small Lot | | |
| | Single Family | | |
| | Neighborhood Commercial 2 | | |
| | Neighborhood Commercial 3 | | |
| | Major Institution Overlay | | |
| | Parks | | |

Development Objectives

- Build 48 to 50 residential units with 16-18 car parking spaces & up to 56 bicycle parking spaces
- Client is an Apartment Developer with other buildings in Seattle
- Focus on high quality interior and exterior
- Client likes to build and hold its apartment buildings
- Client likes to focus on tenants that want to remain in the building for years
- The completed project should allow for a safe walking experience on the adjacent sidewalks,
- The sidewalk experience should avoid steep concrete walls where possible. Where site retaining walls occur over 4 feet high, we will step them back with planting at each level, where possible
- Apartment will have a sunny courtyard setting (in the afternoon), to simulate the courtyard living environment on the site
- Where possible apartment units should access directly to the street or the courtyard
- Underground parking
- Secure in the building bike parking
- Trash inside a secure part of the building adjacent to the alley
- Street frontage on 18th Ave East and East John Street similar to many of the corner older brick buildings in the neighborhood
- Articulated façade with a tudor feel
- Use of solid materials at the building base such as brick
- We will try to use the brick from the existing building for the new building fences and retaining walls.
- Locate our building as far as possible from south property

Surrounding neighborhood

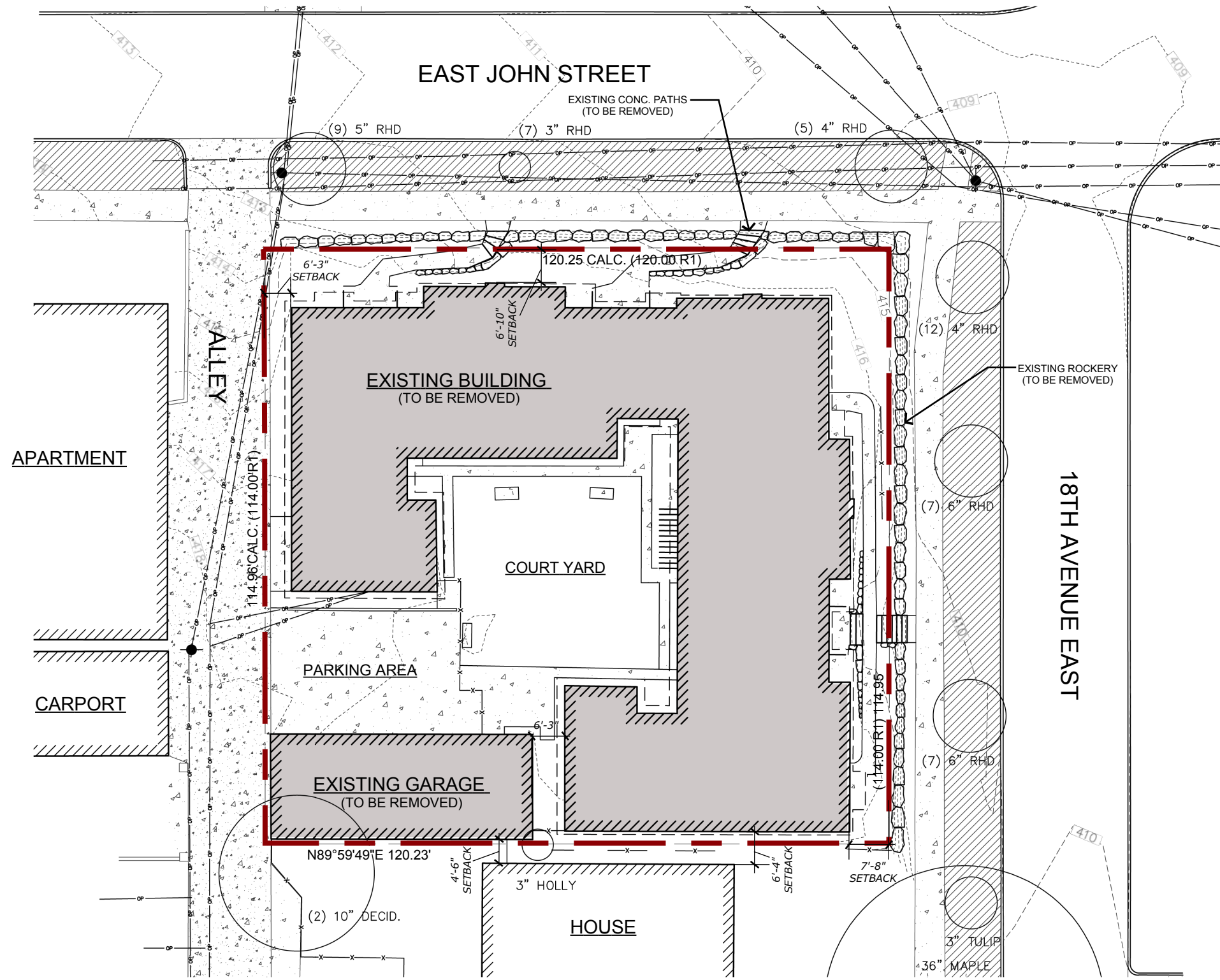
- Located in a Capitol Hill neighborhood with many Apartment Buildings and some single family homes. This site while residential is close to parks, retail, healthcare, religious centers and community centers.
- The neighborhood has steep sidewalks.
- The neighborhood has great street trees although none exist adjacent to our property.
- The neighborhood has many varied building sizes and types
- The buildings in the neighborhood are of many different ages.

Zoning and Overlays

- Located in the heart of a L3 zone. It is within the Madison Miller Urban Residential Village and across the alley from the Capitol Hill Urban Center Village.

Existing Site Conditions

- The existing property has a courtyard apartment building with 7 units (all one story). The property also has a garage for 2 to 3 vehicles.
- Site is located on the corner of 18th Ave East and East John Street.
- The site has alley access on the West
- Across the alley are multiple apartment buildings. The alley is improved to SDOT standards.
- On the South is a house. It is unclear if it is divided into multiple residences
- Site is surrounded by rock retaining wall at 18th Ave East and East John. The retaining wall is on City property. SDOT has requested we rebuilding the retaining wall on our property as part of the development.
- The adjacent sidewalks are far below the property height. The low point of the sidewalk is the corner of 18th Ave East and East John Street.
- The alley is at grade with the property
- There are no street trees on the property. There are bushes and shrubs in the planting strip.
- There are high power lines on the corner of the alley and East John Street. These will remain. There is a recommend 15 foot setback from these power lines.
- Sewer and storm are located adjacent to the site at elevations below our first floor.



LOT SIZE :13,823 S.F.

EXISTING SITE PLAN





① ANHALT ARMS - 1405 E JOHN ST. (FRED ANHALT)



② BUCKLEY APARTMENTS - 201 E. JOHN ST.



③ CONDOS - 18TH AVE. E.



④ TOWNHOMES - E. JOHN ST.



⑤ 1808 E. JOHN ST.



⑥ CHURCH/OFFICE - 128 16TH AVE. E. (BUILT 1906)



⑦ SHEFFIELD BLDG. - 200 17TH AVE. E.



⑧ APARTMENT BLDG. - 1720 E. JOHN ST.



⑨ CLAIRINGLE BLDG. - 1803 E. JOHN ST.



⑩ LITTLEFIELD APTS - 205 19TH AVE. E.





① THE WHITWORTH BUILDING - 1619 E. JOHN ST.



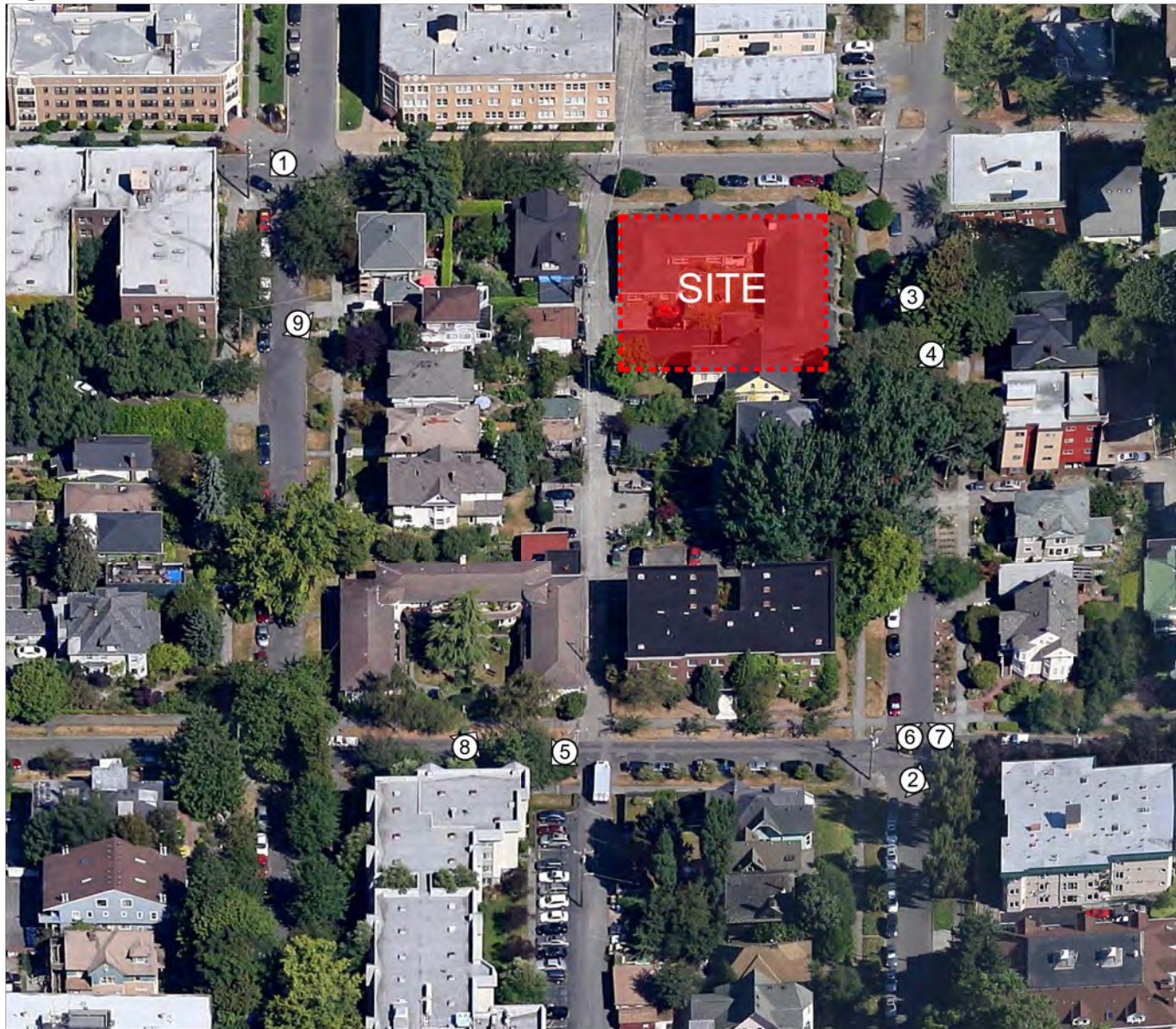
② APARTMENT BLDG. - 1819 E. DENNY WAY



③ RESIDENTIAL HOUSING - 18TH AVE. E.



④ APARTMENT BUILDING - 118 18TH AVE. E.



⑤ FRED LIND MANOR - 17TH AVE.



⑥ APARTMENT BLDG. - 1720 E. DENNY WAY



⑦ APARTMENT BLDG. - 102 18TH AVE. E.

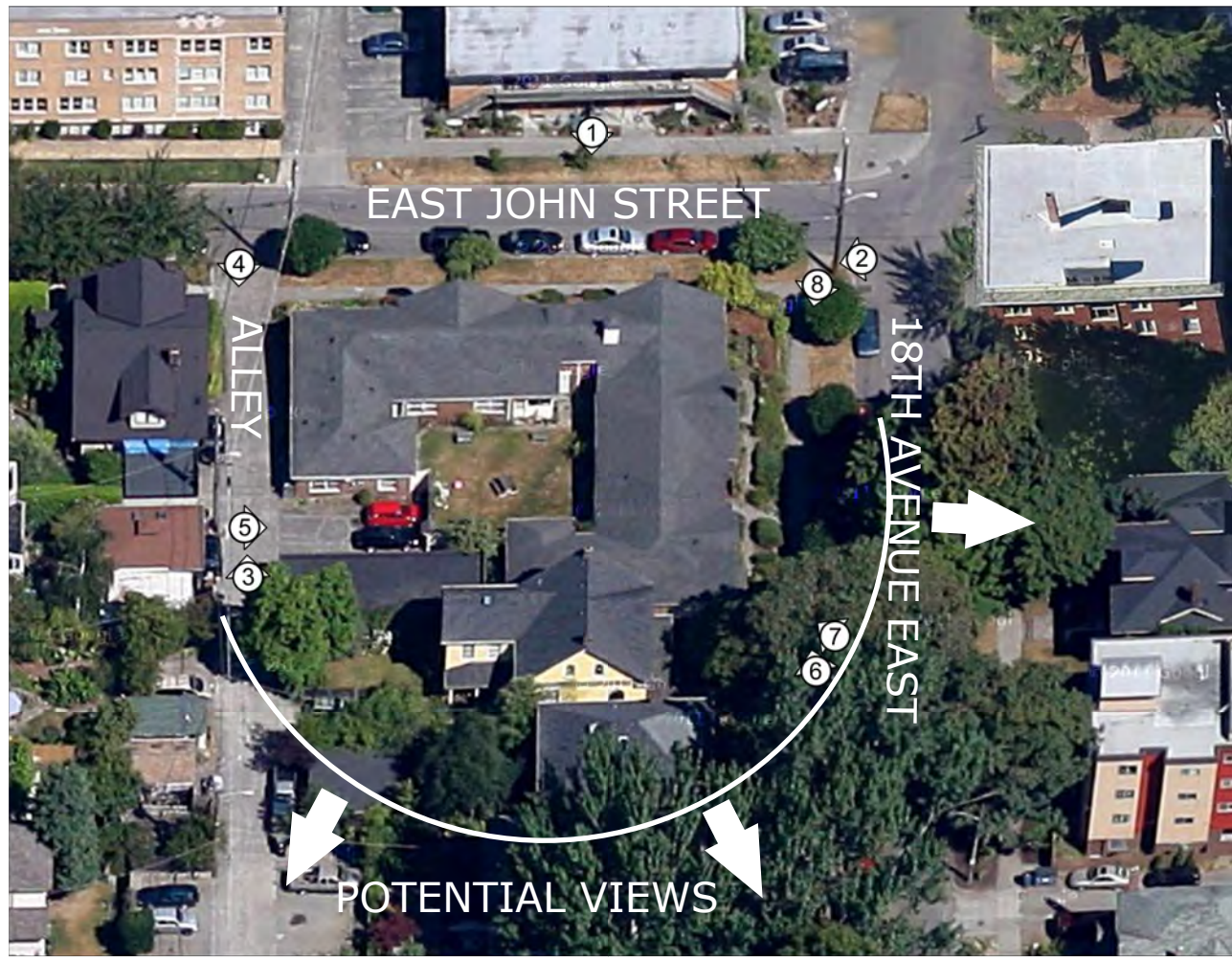


⑧ LA QUINTA APARTMENTS - 1710 E. DENNY WAY



⑨ RESIDENTIAL HOUSING - 17TH AVE. E.





ARIAL VIEW OF SITE



① LOOKING AT SITE FROM THE NORTH ALONG EAST JOHN STREET



② SIDEWALK @ E. JOHN ST. LOOKING WEST



③ ALLEY LOOKING NORTH



④ ALLEY LOOKING SOUTH FROM E. JOHN ST.



⑤ EXISTING PARKING FROM ALLEY LOOKING EAST



⑥ SIDEWALK @ 18TH AVE. E. LOOKING NORTH



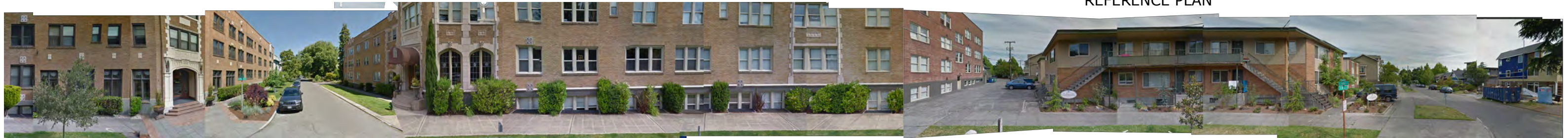
⑦ SITE FROM 18TH AVE, E,



⑧ SIDEWALK @ 18TH AVE. E. LOOKING SOUTH



REFERENCE PLAN



East John Street - Looking North



East John Street - Looking South

SITE



18th Avenue East - Looking West

SITE



18th Avenue East - Looking East

PARCEL #: 8080900140
 ZONE: LR-3 (LOWRISE)
 OVERLAY DISTRICT: MADISON-MILLER URBAN RESIDENTIAL VILLAGE
 SITE AREA: 13,823 S.F.

CHAPTER 23.45 RESIDENTIAL MULTI FAMILY

23.45.504 PERMITTED USES

Residential Use

23.45.510 FLOOR AREA RATIO

Apartment Building Located within an Urban Village = 2.0
 Allowable F.A.R.: (13,823)(2.0) = 27,646 S.F.

23.54.015 REQUIRED PARKING

Vehicle Parking:
 No parking is required in LR zones located within Urban Villages if site is located within 1,320 feet of a street with frequent transit service.

-16 to 18 spaces provided depending on the option used.

Bicycle Parking:

In multi-family structures, 1 long term bicycle storage space is required for every 4 units.

Curb Cuts:

Allowed 2 per 23.54.030.F.1.a (Table A)
 • Can combine 2 into 1 for 20' width of curb cut.

Driveway:

Turning radius = 24' per exhibit 23.54.030B
 Clearance = 8'-2" per ANSI 117.1

23.45.512 DENSITY

Minimum lot area allowed:
 Apartment building in a LR3 zone located within an urban village = 1/800 S.F. or No Limit.

No Limit is required if:

- The structure meets green building performance standards earning a LEED Silver rating or a Built Green 4-star rating. -YES
- Parking is provided and totally enclosed within the same structure as the residential use. -YES
- The the lot abut an alley, access to parking shall be from the alley. -YES

23.45.514 STRUCTURE HEIGHT

Apartment building located within an urban village = 40'-0".

- A pitched roof may extend up to 5' above the maximum height limit provided that the roof have a minimum slope of 6:12.
- Parapets may extend 4' above the maximum height limit.
- Screened mechanical equipment and stair penthouses may extend 10' above the maximum height limit.
- Elevator penthouses may extend up to 16' above the maximum height limit.

23.45.518 SETBACK REQUIREMENTS

APARTMENTS

FRONT SETBACK: 5' minimum
 REAR SETBACK: 10' minimum with alley
 SIDE SETBACK FOR FACADES $\leq 40'$: 5' minimum, 7' average
 SIDE SETBACK FOR FACADES > 40': 5' minimum

23.45.522 AMENITY AREA

Requried area dedicated as an amenity = 25% of the lot area
 (13,823 S.F.)(25%) = 3,456 S.F.

- 50% of the required amenity area shall be provided at ground level, except that amenity area provided on the roof of a a structure may be counted as amenity area provided at ground level.
- Amenity area required at ground level shall be provided as common space.
- All units shall have access to a common or privated amenity area.
- An amenity area shall not be enclosed within a structure.
- No common amenity area shall be less than 250 S.F. in area, and common amenity areas shall have a minimum horizontal dimension of 10'.
- At least 50% of common amenity area provided at ground level shall be landscaped with grass, ground cover, bushes and/or trees.

23.45.524 LANDSCAPING REQUIREMENTS

Landscaping that achieves a Green Factor score of 0.6 or greater is required any lot with development containing more than one dwelling unit in Lowrise zones.

Street trees are required if any type of development is proposed.

23.45.527 STRUCTURE WIDTH AND FACADE LENGTH FOR LOW-RISE ZONES

Maximum structure width for apartment buildings in Lowrise zones = 150'

The maximum combined length of all portions of facades within 15' of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65% of the length of that lot line.

23.54.040 SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS

Minimum area for shared storage of solid waste and recyclables = 375 S.F.

Developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12'.

DESIGN DEPARTURES

We are asking for the following Design Departure:

23.45.518: Setback and Separations

H3 a and b: We are asking for a one foot projection by 16 feet wide. We are proposing this departure for the following reasons:

- More articulated and modulated façade. These projections will add interest at the street. We are highlighting some vertical features without adding to the vertical height.
- We looked at moving our project one foot to the West and South; however we have concerns:
 - We cannot move to the South due to minimum required width of access to the Parking Garage and this is the only location on site for the Parking Access
 - Also moving to the South would put us closer to the existing house and we are trying to keep as much of a buffer as possible.
 - We looked at narrowing the Courtyard but it is already narrow (21 feet 4 inch) and we do not want to restrict it any more because we want sunlight to enter the courtyard.
 - Move the West is difficult because of the required setback s for the existing power lines.
- The bumpout will start 12 feet or more above the sidewalk and ROW, at the Second Floor of our building.
- Bumpouts/ garden windows will be 16 feet wide, to match the scale of the façade.
- Bumpouts will be a different material and color, further adding detail to the exterior We could accomplish a similar effect by changing siding all on the same plane, but we believe this will give the building a "cheaper" quality. While it is more expensive to provide bumpouts we believe the extra expense will add more scale and detail to the building. These bumpouts will be mostly windows but the return walls, being only one foot will not have glazing.
- We propose these bumpouts to be less than 30% of the area of each façade. This is the only floor area increase we are proposing. With these bumpouts we are still below the maximum FAR.
- These bumpouts/ garden windows will start at the floor level and will provide a minimal amount of square footage.
- We are only proposing these on the street sides only, 18th Ave East and East John Street

DESIGN GUIDELINES

A Site Planning

A1: Site Characteristics: We will maintain the existing grade so we can have level access to the courtyard, get 4 floors of residential and have 1 floor of underground parking. To do this we will have the first floor at approximately the same height as the existing grade. We will save the brick from the existing building and try to reuse on site at planters and retaining walls. We will also have grade access from the alley as per existing. Parking will also be accessed from the alley as per the existing. Our new design will also be a landscaped courtyard design like the existing building.

A2: Reinforce Existing Streetscape: there are many examples of large apartment buildings with their presence right up to the street. This project proposes to do the same.

A3: The address for the site is 133 18th Ave East. We propose the entrance on 18th Ave East, at approximately the center of the site. The main entrance is approached via a grand staircase, due to the height of the property from the street. There are additional entrances to individual from the street on East John. We also have an accessible entrance to the Lower Level at the corner of 18th Ave East and East John Street.

A4: We are encouraging human activity on the street by having some of our apartment units enter directly from the street. In addition we have many of our unit windows facing both streets. Our courtyard has level access to the alley, near East John Street. Our prominent building entrance looks out over 18th Ave East.

A5: Minimize intrusion into privacy on adjacent site to the South. We are only abutting one property, to the South. We have the largest setback of our building on that side. The lower decks that face the South will have planter buffers as well.

A6: Space between sidewalk and building is used for multiple purposes

- Stepped planters for landscaping
- Access to individual dwelling units
- Accessible access to Lower Level
- Main entrance to the building

A7: Open space opportunities on site: The design has an interior courtyard which will be a residential amenities area. The roof also has a deck that will be a residential amenities area.

A8: Minimize parking and auto impacts on pedestrian and adjoining properties: We have access to underground parking via alley access. The current alley is used for parking for many of the local buildings. Bicycle parking access will be from the Lower Level Building access point, corner of 18th Ave East and East John Street.

A9: We have parking on-site for 16 vehicles, 3 to 6 scooters and 56 bicycles. Car, scooters and bicycle parking areas are located in the lower level (below grade) in separate areas. Based on the Owner's other apartments in Seattle, this is an appropriate amount of parking. Parking is currently available on both street fronts of our project and we proposed no changes to the street parking.

A10: Corner lot orientation: The building is oriented to the corner of both streets. Parking is the furthest away from the corner.

B Height, Bulk and Scale

B1: Transitions to lesser zones. Our project is in the heart of L3 surrounded by L3 properties. We have a grand presence on 18th Ave East and East John Street similar to other large apartment buildings in the surrounding area.

C Architectural Elements and Materials

C1: Respond to nearby historic structures: While the surrounding buildings are varied in size bulk and scale, there are a few prominent corner facing historic buildings. We are design in the spirit of those buildings. In addition we are proposing a courtyard structure on our site which will replace an existing courtyard structure on the property.

C2: Unified architectural concept: Our building will have a solid base (such as brick) facing both streets and will have consistent upper floor materials on all sides of the building.

C3: Human scale and activity: We will accomplish this by:

- Stepped retaining walls at the sidewalk with landscaping
- Individual access to street side units on East John Street
- Grand entrance on 18th Ave East
- Articulated façade with lots of windows
- Courtyard units at interior accessible to the alley at grade

C4: Durable, attractive and well detailed finish materials:

- Durable base with brick facing streets
- Articulated façade with lots of windows
- Varied upper materials of stucco and siding
- Articulated steep sloped roof

C5: Garage entrances: We are proposing one garage entrance from the alley 20' wide expanding to 24' at the curve. We have one 20' entrance from the alley, we tried to build over the driveway but could not because.

- We need to maintain 8'-2" clearance for van accessible parking.
- Structure facade length of 65' for south property line prohibited a closer facade to the south.
- the existing house to the south is less than 5' to its property line

D Pedestrian Environment

D1: Convenient, attractive and protected pedestrian entries:

- Prominent main building entrance on 18th Ave East with weather protection canopy. The main entrance has large windows and we enter directly into the lobby. The lobby has a stair and elevator, office and mailboxes.
- Individual entrances for lower level units on East John Street. These individual entrance add charm and security to the street and provide variety. This entrance will also have weather protection cover.
- Accessible building entrance to Lower Level on the corner of East John and 18th Ave East
- Individual access to units in the interior courtyard
- Pedestrians can also enter the courtyard via the alley through a secure fence
- Open guardrails where possible

D2: Avoid blank walls: Our site is above the sidewalk and to minimize that impact, we propose:

- Stepped retaining walls with planters on both street frontages
- Individual street access to units
- Grand entrance on 18th Ave East
- Lower level entrance at the corner. The corner is the lowest area adjacent to our building and that is why we are providing an access to the lower level at the corner.
- Open railing where possible. At the access points at East John, we will provide retaining walls to grade, or just above, and will continue the building code required guardrails with open metal railing systems

D3: Minimize height of retaining walls: See D2 above

D4: Minimize parking on pedestrians: No curbcuts are proposed. Cars will enter the underground parking via the alley.

D5: Minimize visual impacts of the parking structure: Parking structure is underground.

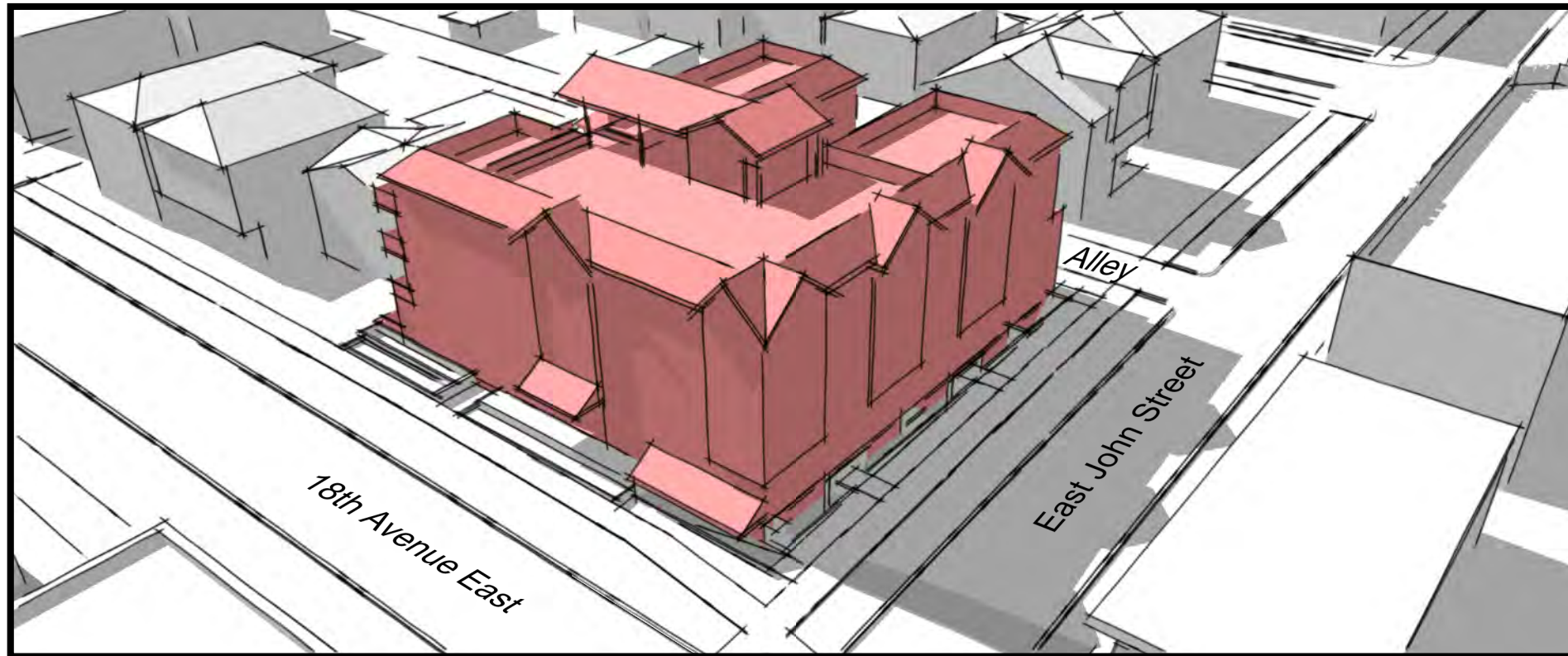
D6: Screen dumpsters, utility and service areas: The dumpsters are located in an enclosed space off the alley. Electrical and water will enter the property underground

D7: Consider personal safety:

- Well lit building entrances
- Gates and fences at on-grade courtyard
- Many large windows facing the streets and alleys
- Secure, locked main entrance

E Landscaping

E1 and E2 and E3: Reinforce existing landscape character, enhance site and special site conditions: The existing site has no street trees. The neighborhood has wonderful large street trees. We will add street trees to our project. We will also have stepped planters at the sidewalk filled with shrubs and seasonal flowers. Interior courtyard will have landscape to increase its use. The rooftop decks will have landscaping including green roof perimeter at the deck and shrub planters for privacy.

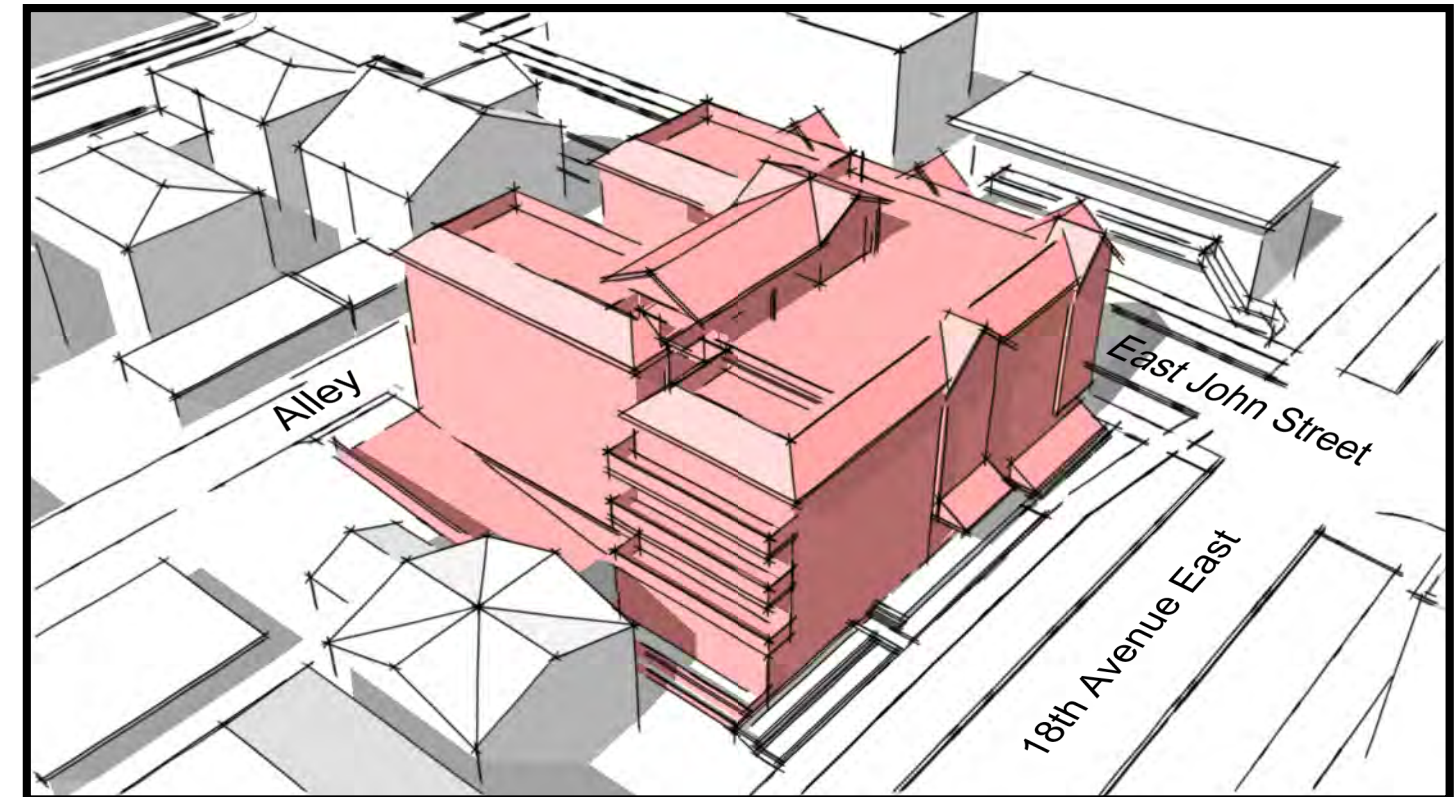
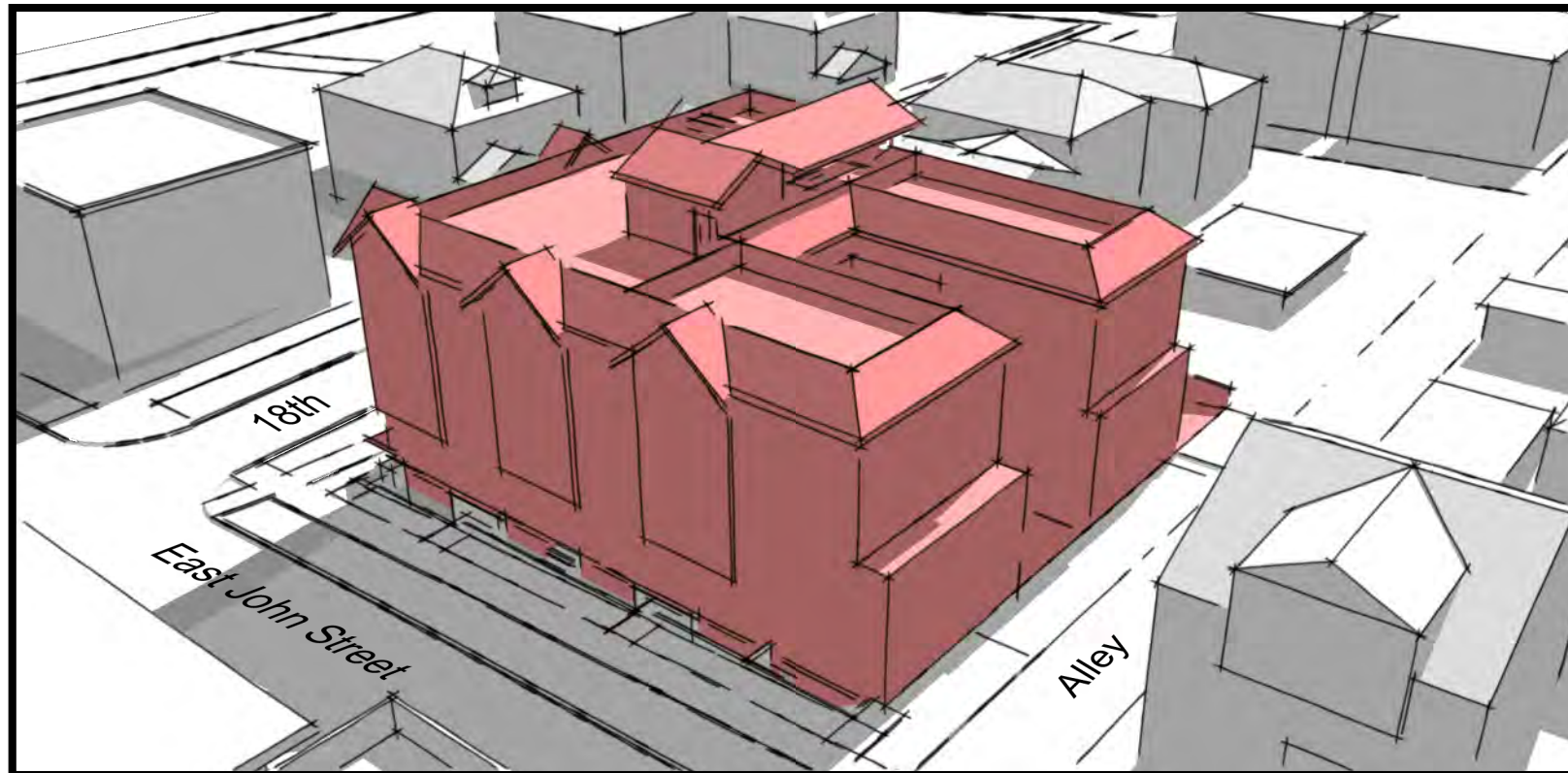


Pros

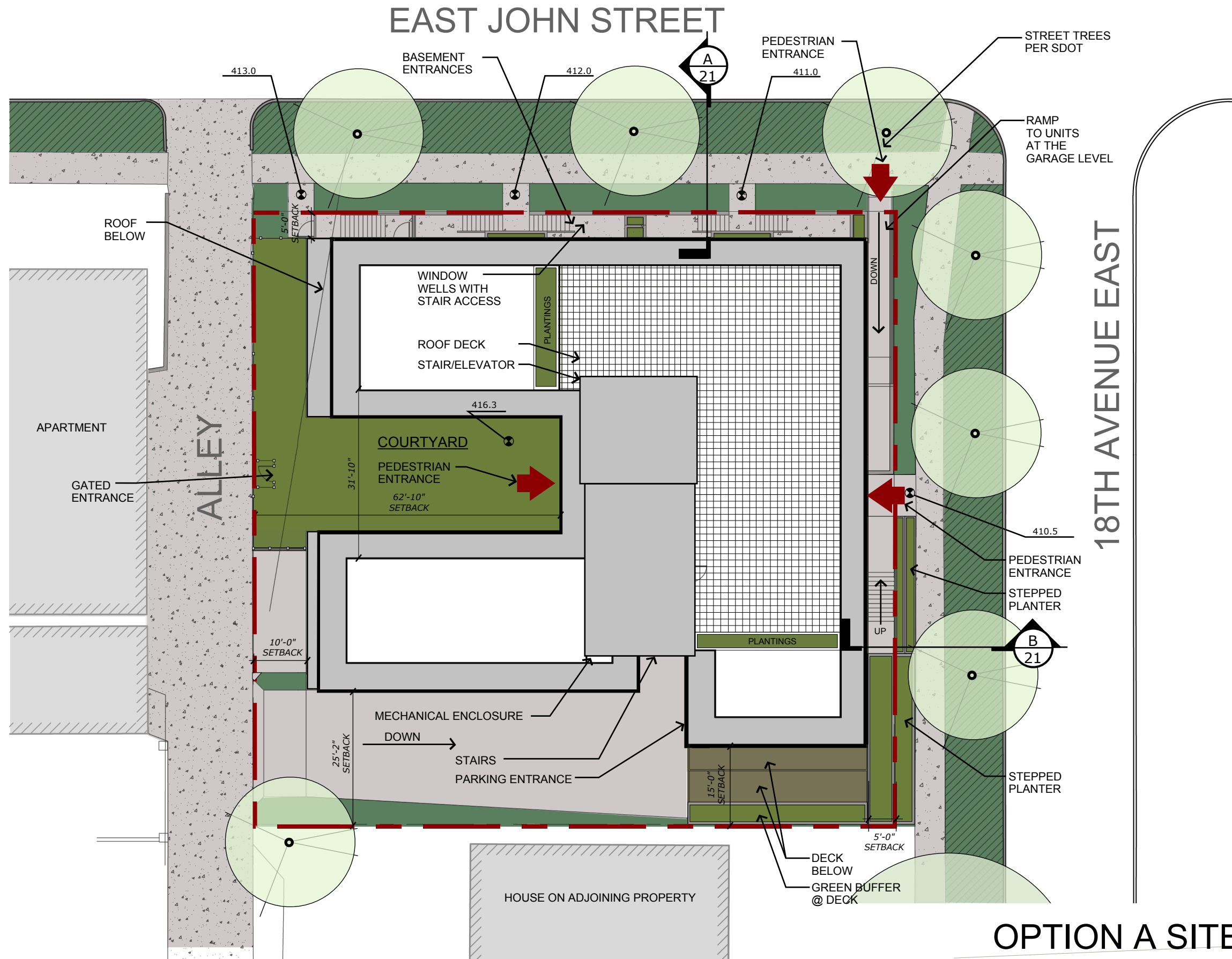
- Courtyard type building, replacing a courtyard building on the site.
- Courtyard Facing Southwest for maximum sun exposure.
- On grade access to courtyard from the alley. Sunny amenities courtyard at grade.
- Stair and elevator tower are in the center of the building with less exposure to the streets.
- Prominent entrance on 18th Ave, its address.
- Individual unit access from East John Street.
- Least slope of driveway to parking below the building.
- Strong building presence on 18th and John, similar to other buildings in the neighborhood.
- Parking Access from Alley.
- Roof design and articulation provides more scale at sidewalk.

Cons

- Accessible access to building at lower level due to height of the site.

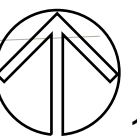


*Shadows reflect March & September 21st. @ 12:00 p.m.



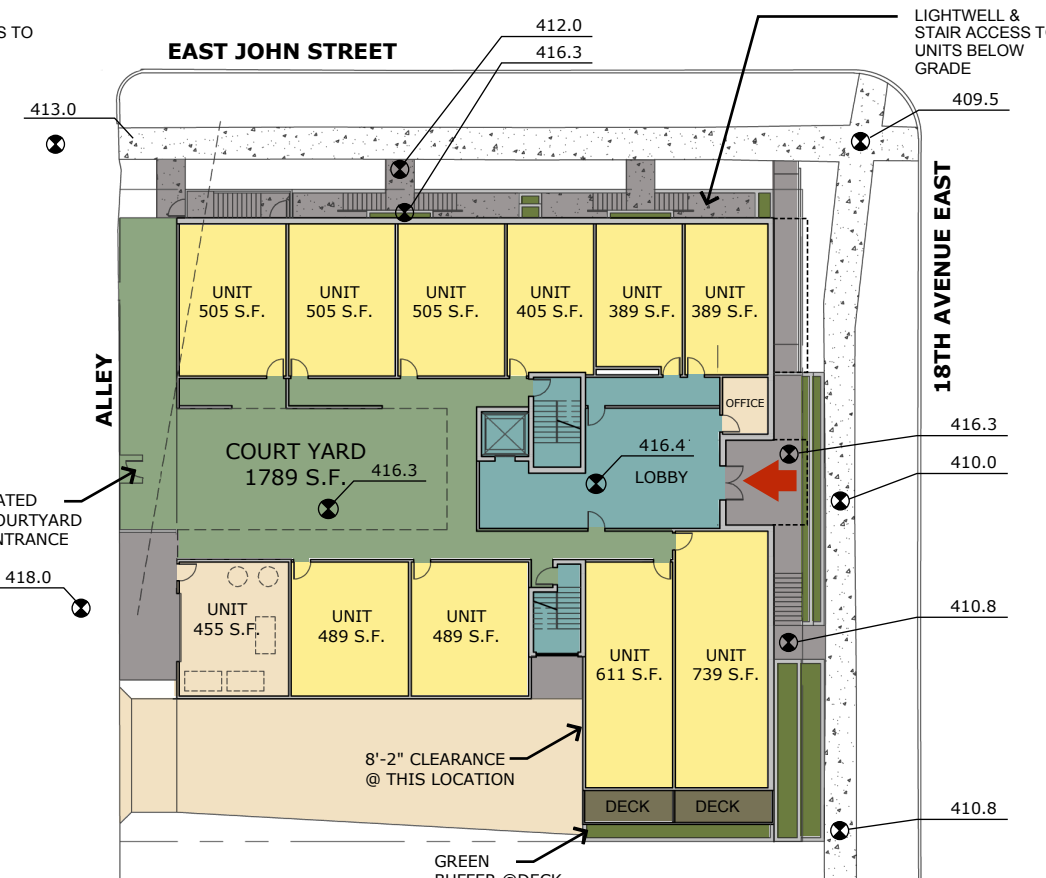
OPTION A SITE PLAN

NTS

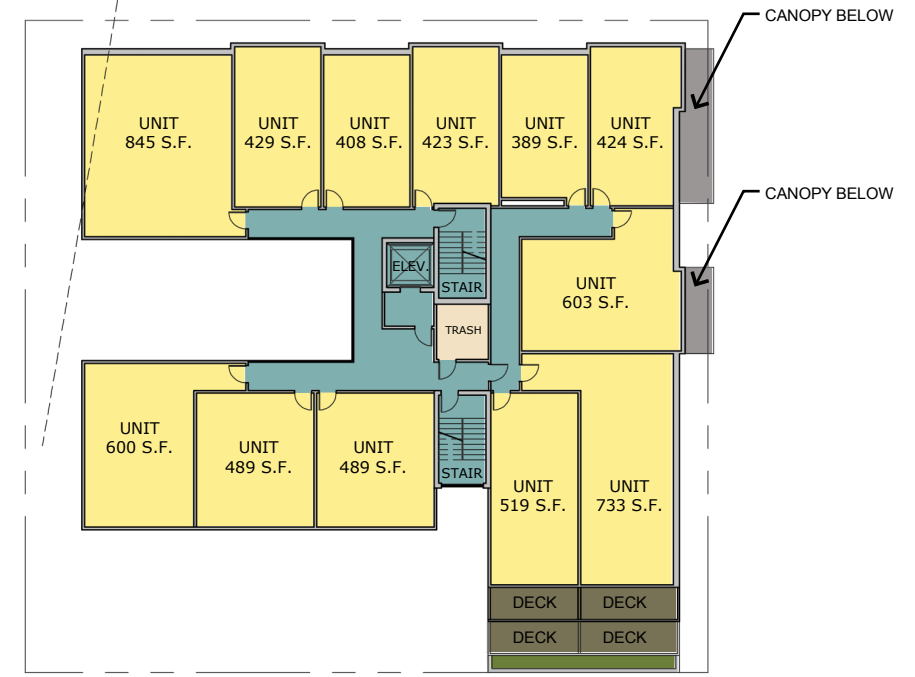




GARAGE LEVEL



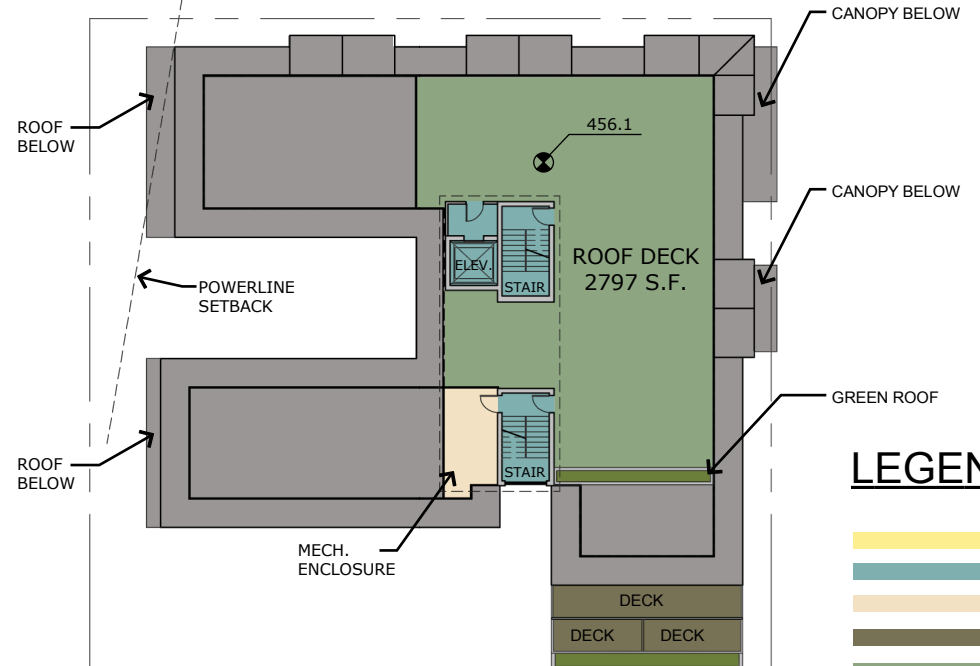
FIRST FLOOR



SECOND FLOOR



THIRD AND FOURTH FLOORS



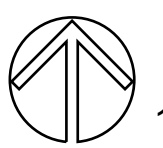
ROOF LEVEL

LEGEND

- UNITS
- PUBLIC SPACE
- SEMI-PUBLIC SPACE
- DECKS
- AMENITY SPACE

OPTION A PLAN DIAGRAM

NTS



Option A Stats:

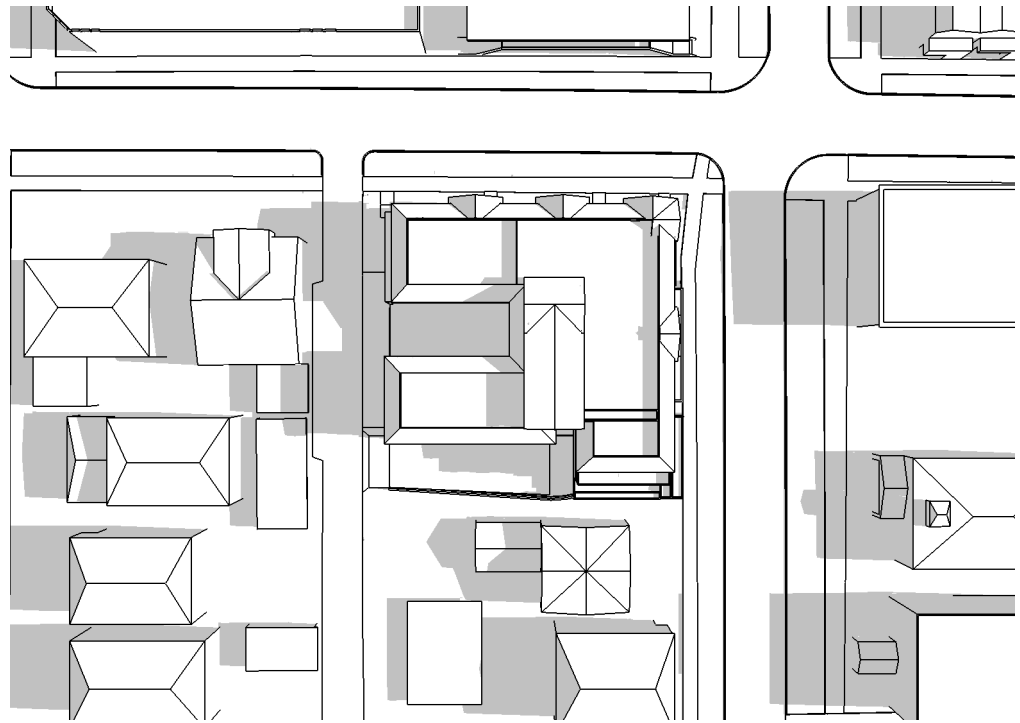
Footprint 8,257 S.F.
 Lot % 60% of Lot
 Units: 50

	Required	Actual
Amenities	3,456 S.F.	4,367 S.F.
Parking	None	16 Spaces
Bicycle	13 Spaces	56 Spaces
Trash	375 S.F.	455 S.F.

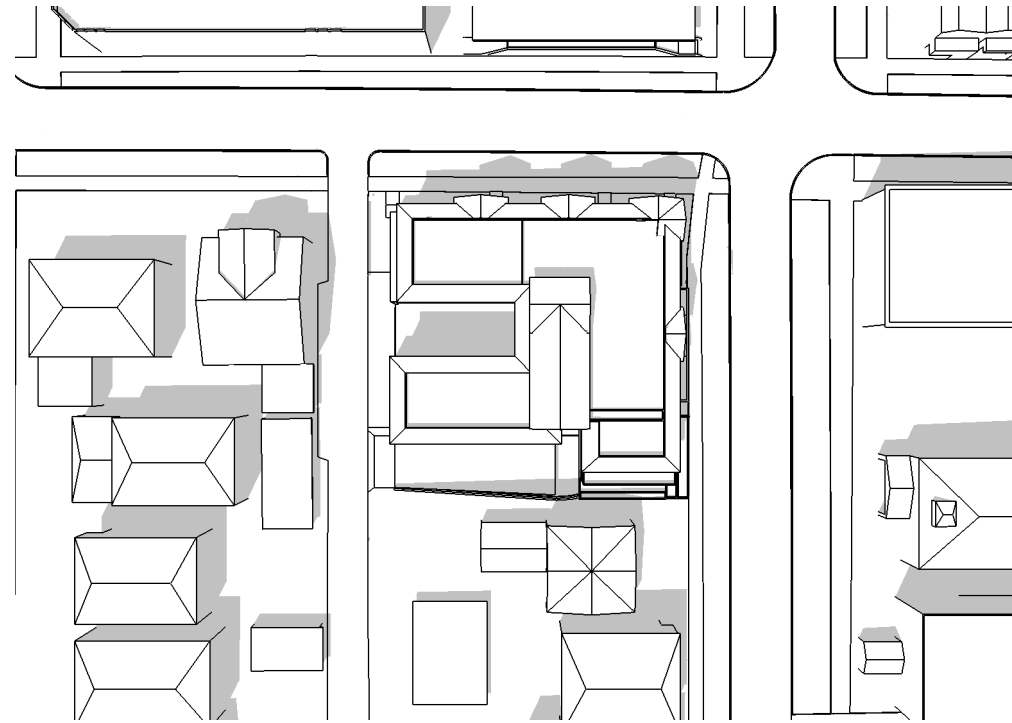
Floor Area Ratio Calculations

Floor	Subject to FAR	Units
Basement	Exempt	4
First Floor	6,306 S.F.	10
Second Floor	7,162 S.F.	12
Third Floor	6,931 S.F.	12
Fourth Floor	6,931 S.F.	12
Roof	286 S.F.	0
Total	27,616 S.F.	50

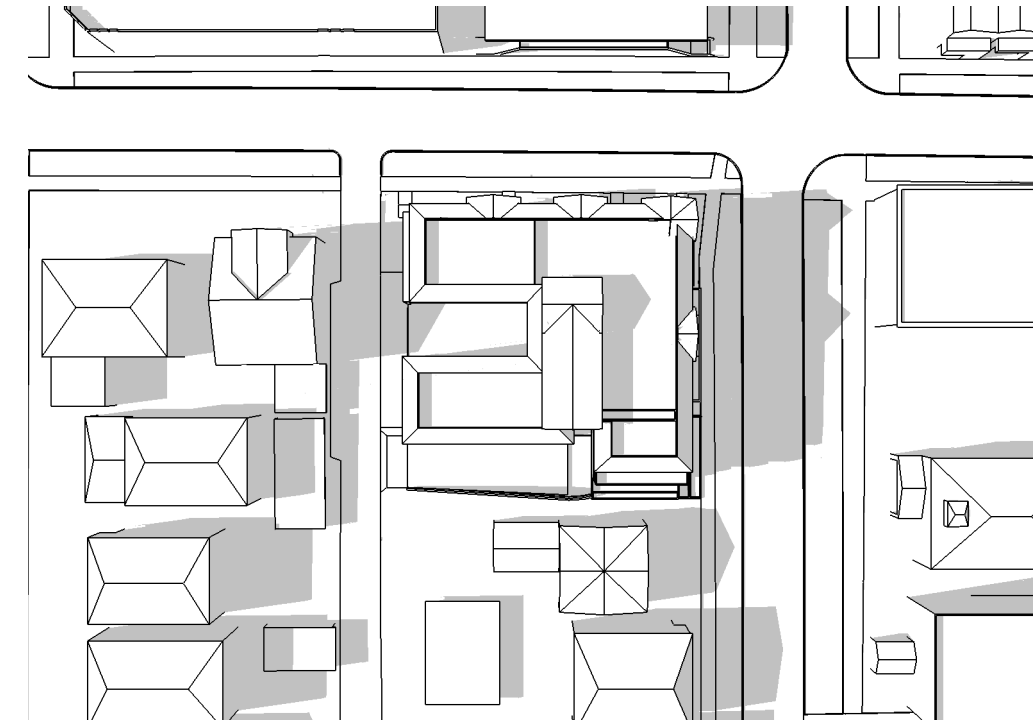
Allowable F.A.R.: 27646 S.F.



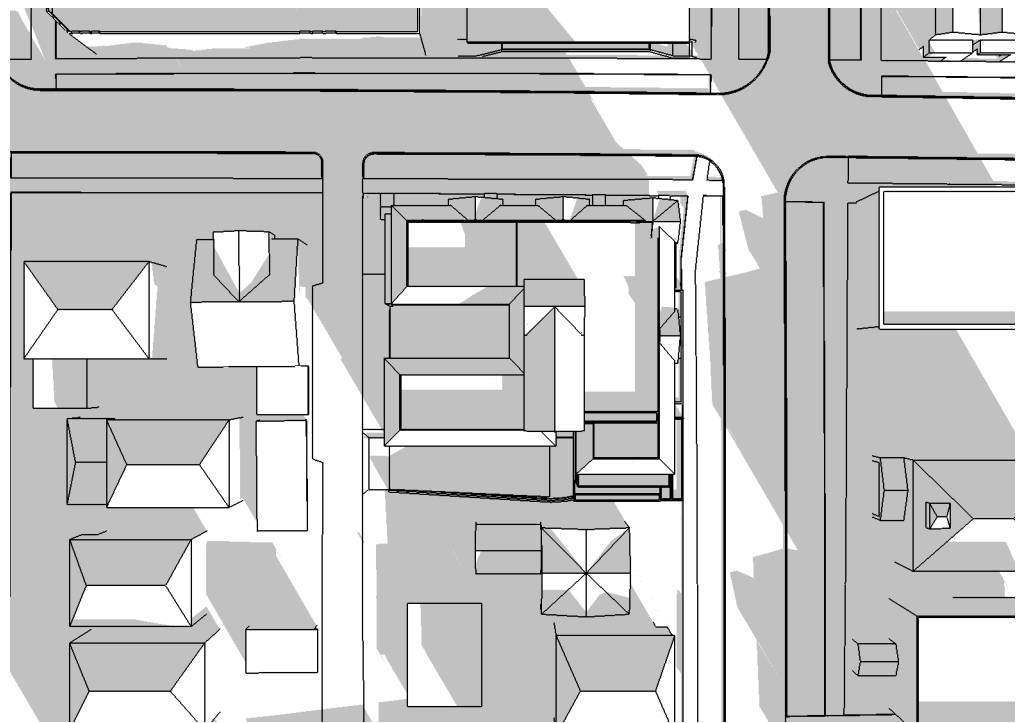
SUMMER SOLSTICE 8:00 am



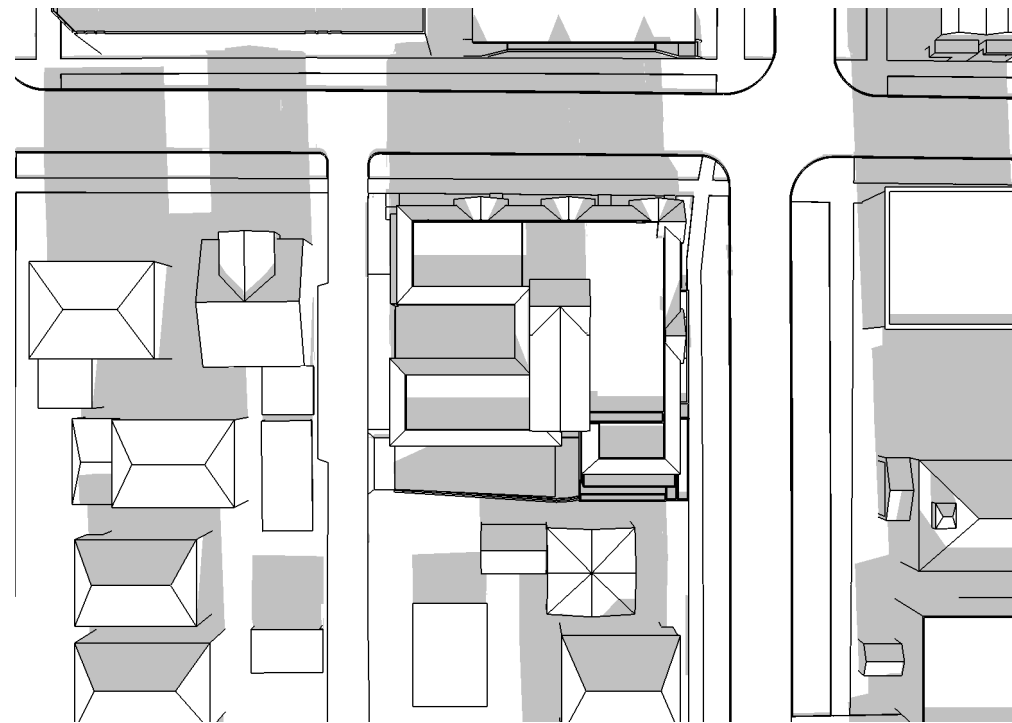
SUMMER SOLSTICE 1:00 pm



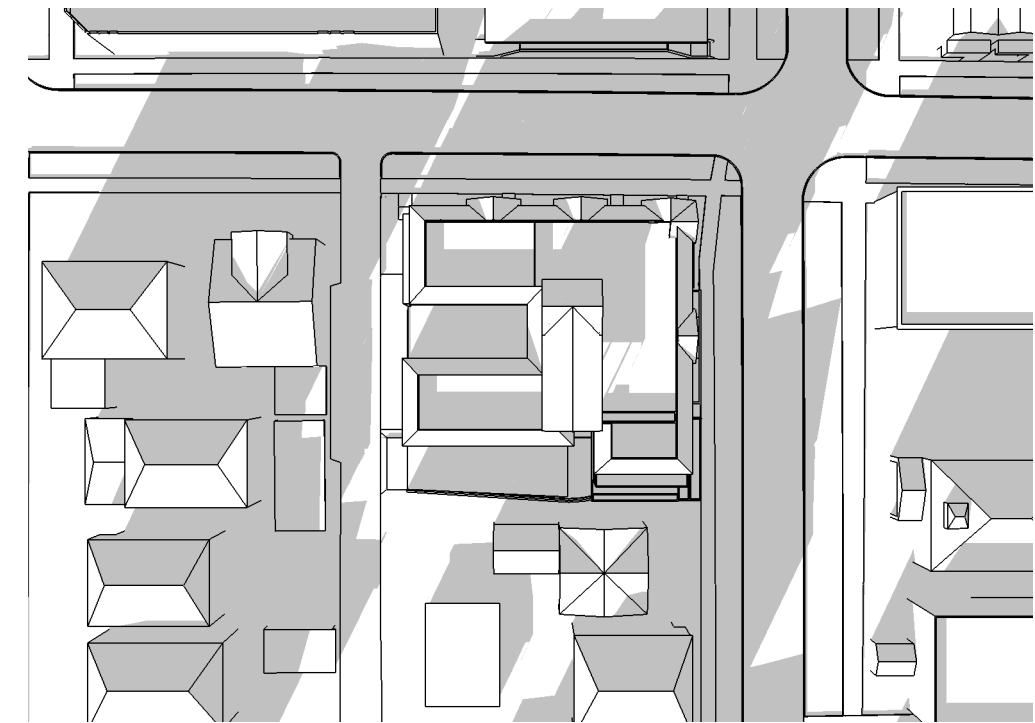
SUMMER SOLSTICE 4:00 pm



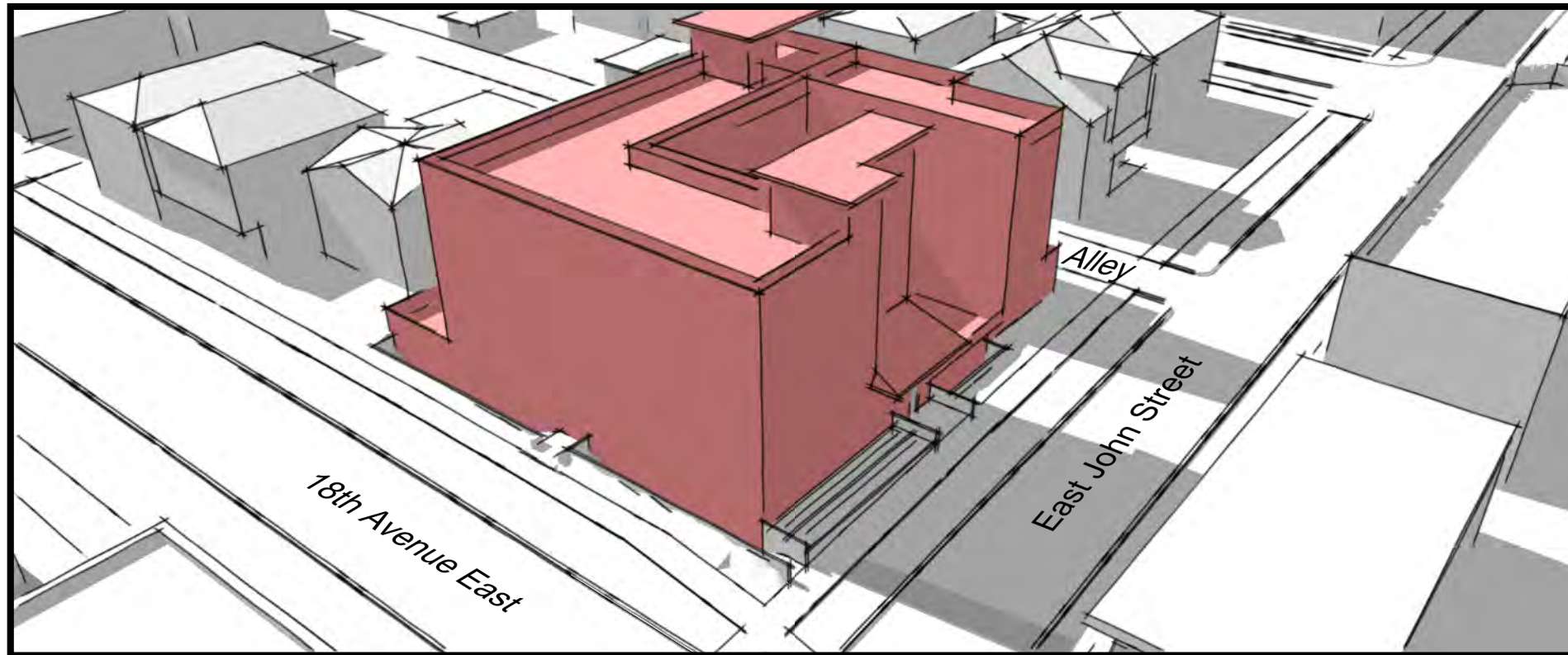
WINTER SOLSTICE 10:00 am



WINTER SOLSTICE 12:00 pm



WINTER SOLSTICE 2:00 pm

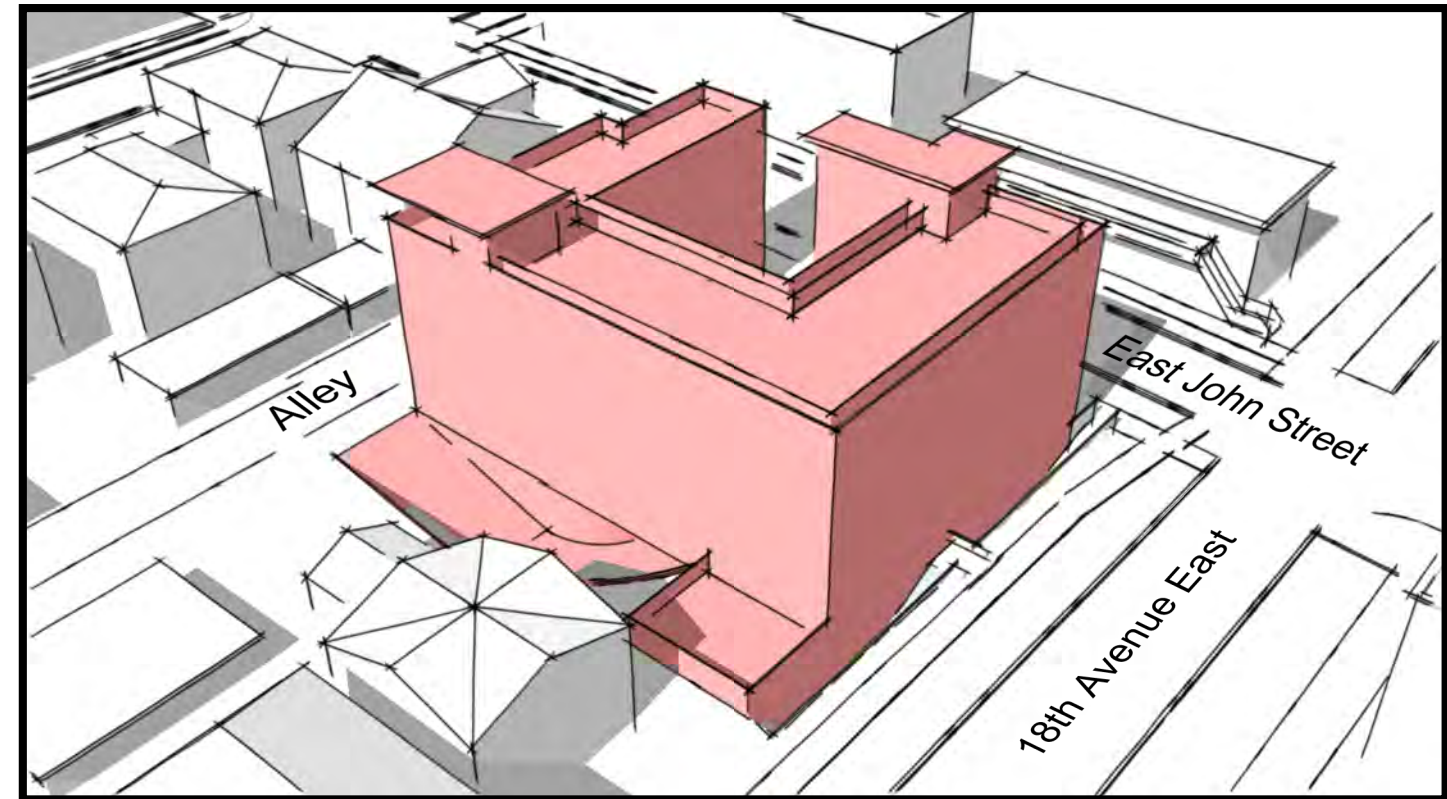
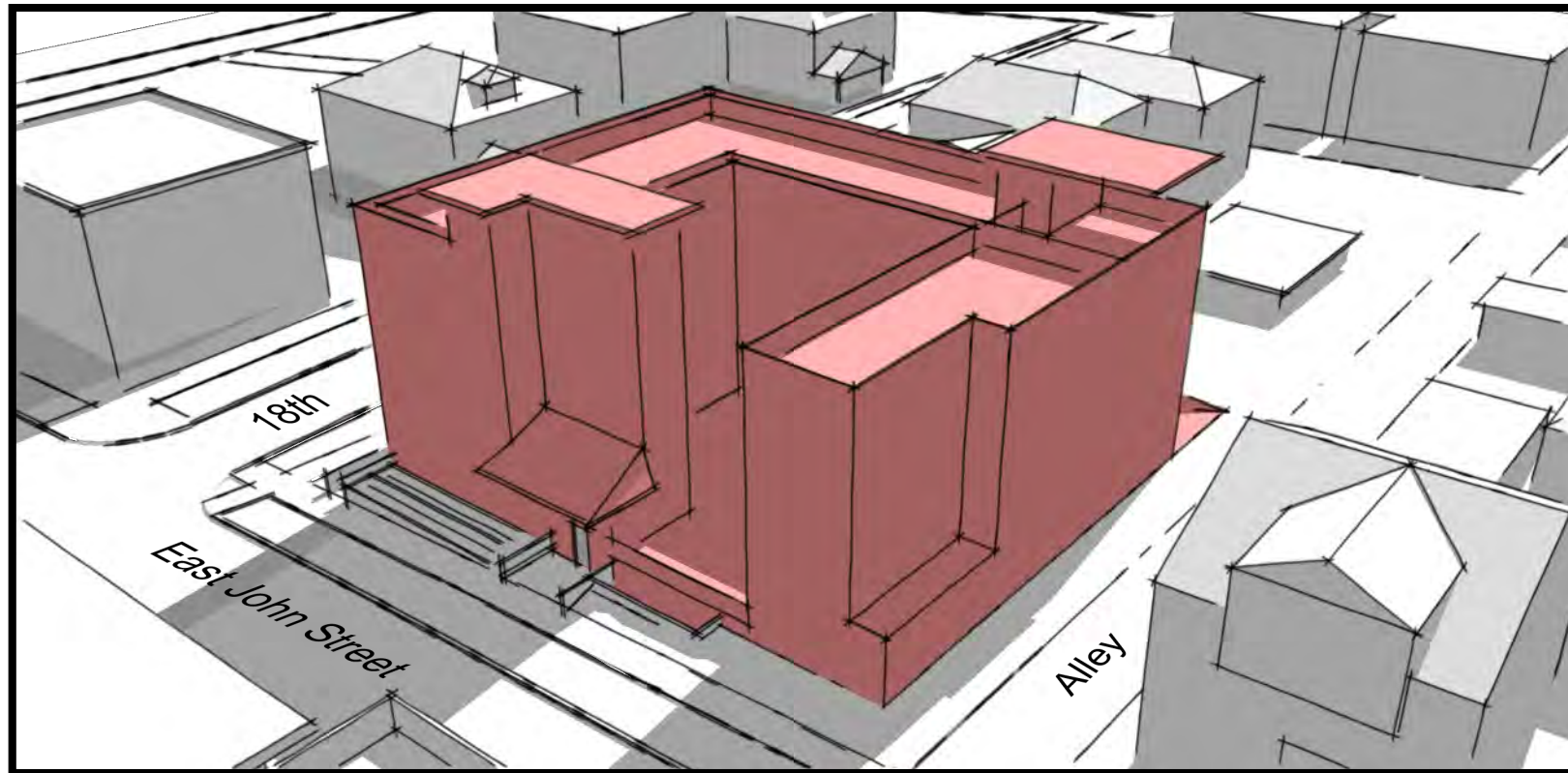


Pros

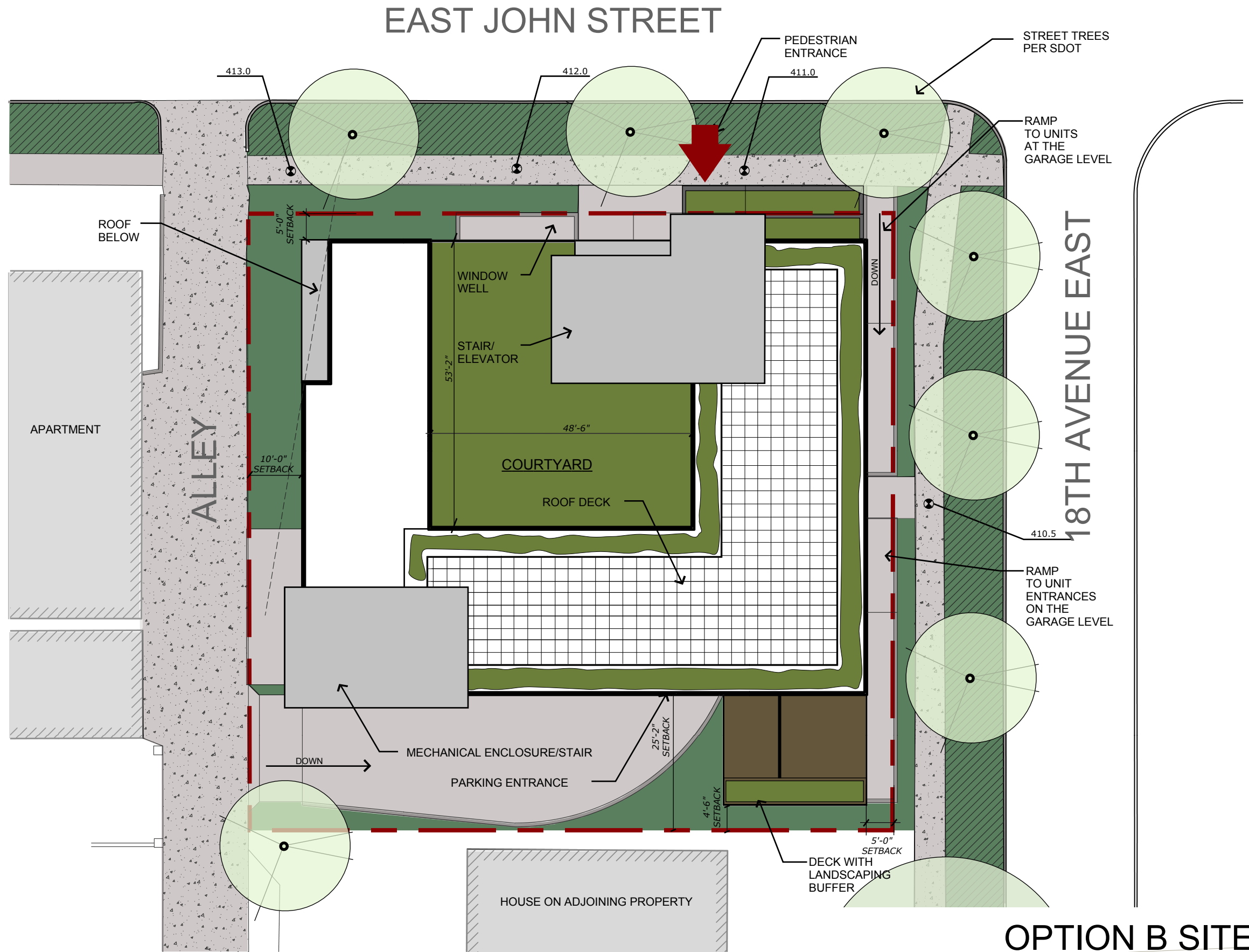
- Accessible entrance on grade on East John.
- Courtyard type building, replacing a courtyard building on the site.
- Individual unit access from East John Street and 18th Avenue East.
- Parking access from alley.

Cons

- Courtyard facing North, little sun during the day.
- Main entrance to property not on the street address side of the building.
- Courtyard above the street and not on grade.
- Driveway is at the maximum slope for clearance to parking below.
- Garage most difficult for maneuvering.
- Elevator tower on East John with shadows onto the street.
- Lack of a strong street presence on East John Street.



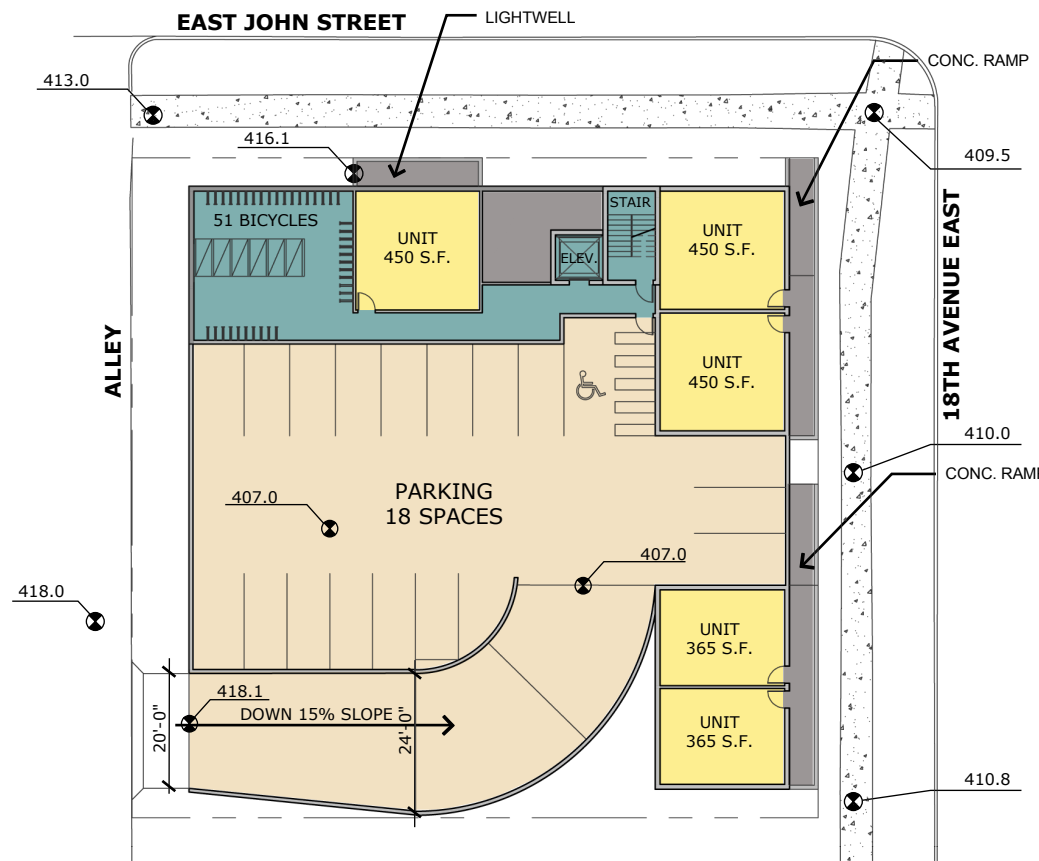
*Shadows reflect March & September 21st. @ 12:00 p.m.



OPTION B SITE PLAN

NTS

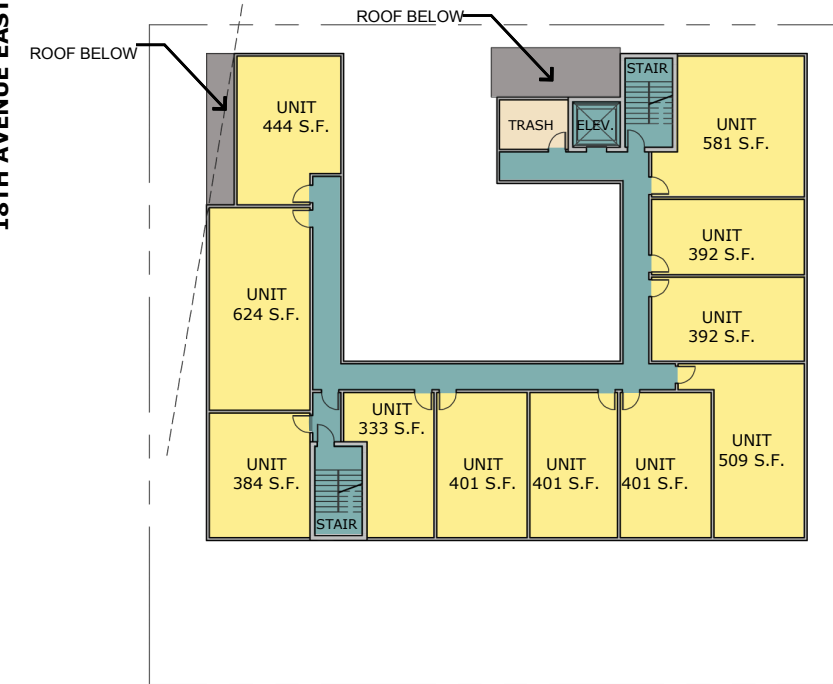




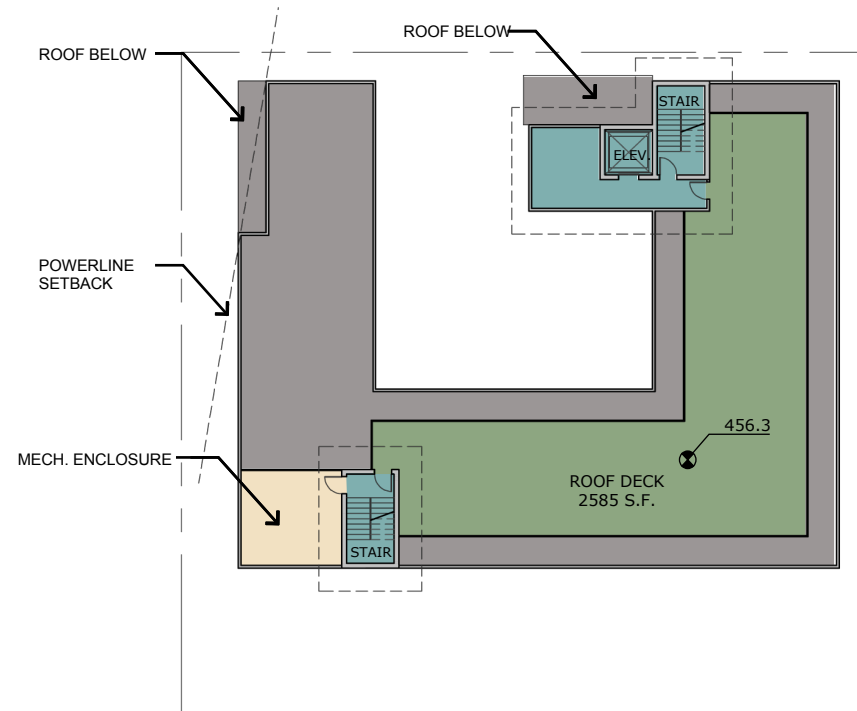
GARAGE LEVEL



FIRST FLOOR



SECOND, THIRD AND FOURTH FLOORS



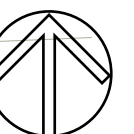
ROOF LEVEL

LEGEND

- UNITS
- PUBLIC SPACE
- SEMI-PUBLIC SPACE
- DECKS
- AMENITY SPACE

OPTION B PLAN DIAGRAM

NTS



Option B Stats:

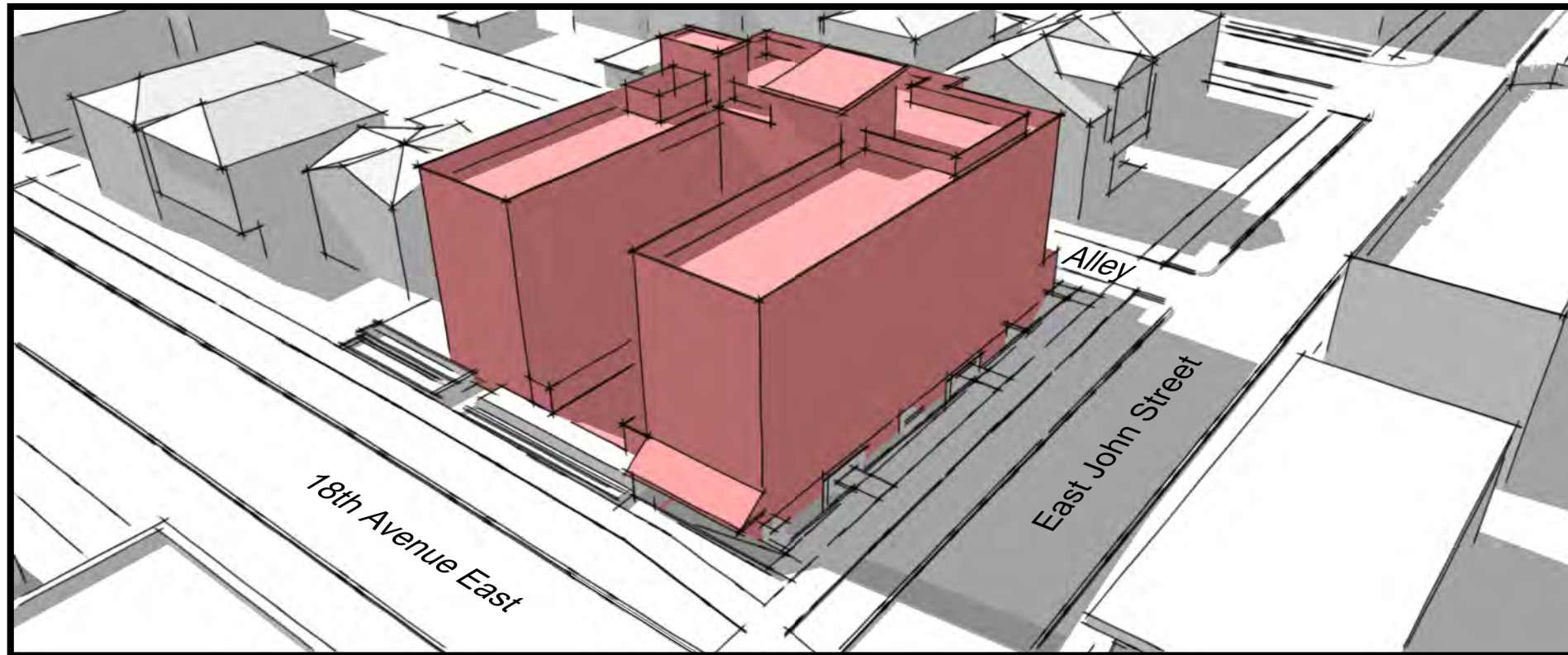
Footprint 10,454 S.F.
 Lot % 75% of Lot
 Units: 48

	Required	Actual
Amenities	3,456 S.F.	4,813 S.F.
Parking	None	18 Spaces
Bicycle	13 Spaces	51 Spaces
Trash	375 S.F.	384 S.F.

Floor Area Ratio Calculations

Floor	Subject to FAR	Units
Basement	2,103.7 S.F.	5
First Floor	6,442.7 S.F.	10
Second Floor	6,259.5 S.F.	11
Third Floor	6,259.5 S.F.	11
Fourth Floor	6,259.5 S.F.	11
Roof	436.4 S.F.	0
	25,657 S.F.	48

Allowable F.A.R.: 27646 S.F.

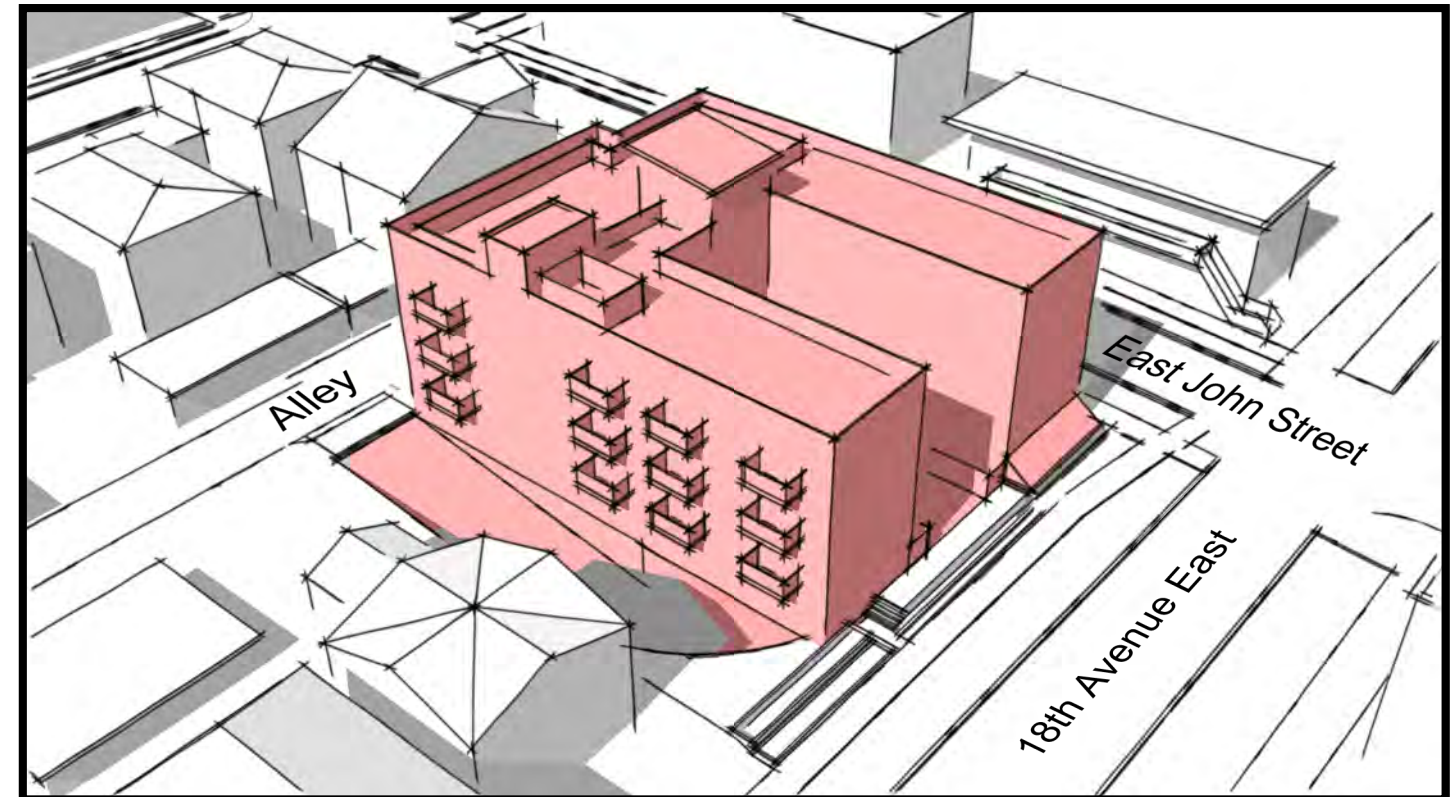
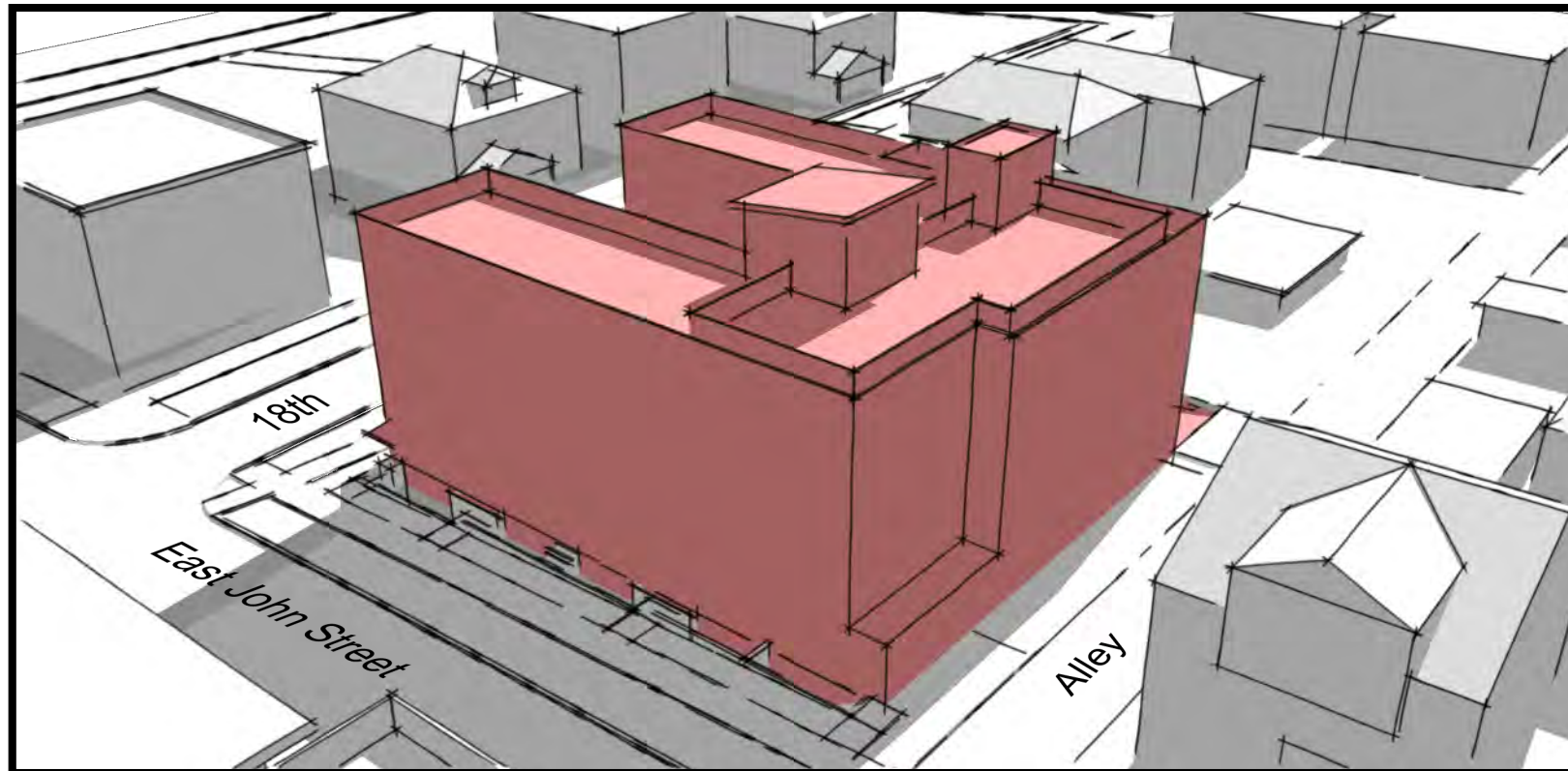


Pros

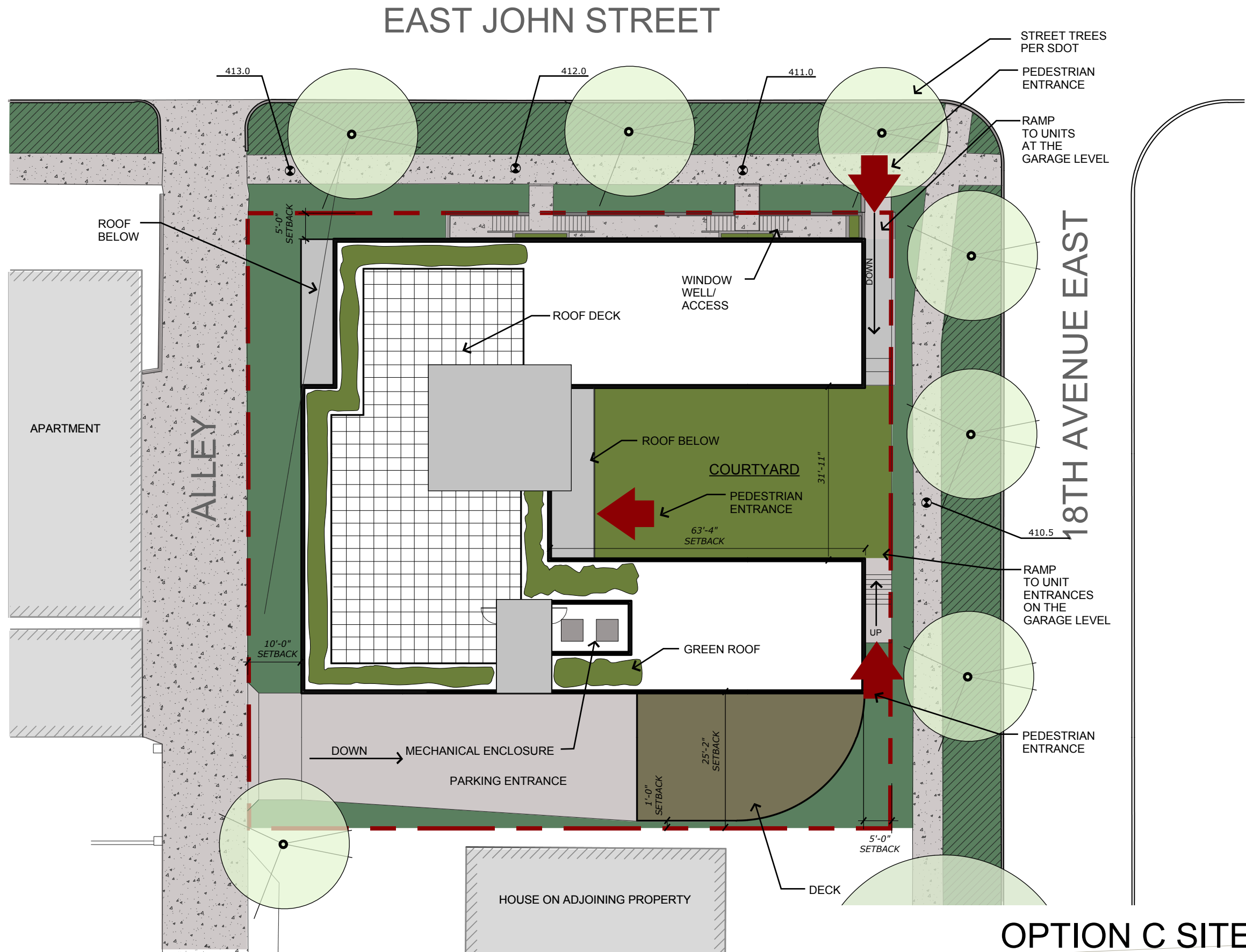
- Courtyard type building, replacing a courtyard building on the site
- Prominent entrance on 18th Ave, its address
- Individual unit access from East John Street
- Least slope of driveway to parking below the building
- Stair and elevator tower are in the center of the building with less exposure to the streets
- Parking Access from Alley

Cons

- Courtyard facing East, little sun exposure in the afternoons when most desirable
- Courtyard above the street and not on grade
- Lack of a strong street presence on 18th Ave East
- Accessible access to building at lower level due to height of the site.



*Shadows reflect March & September 21st. @ 12:00 p.m.





GARAGE LEVEL

FIRST FLOOR

SECOND FLOOR

Option C Stats:

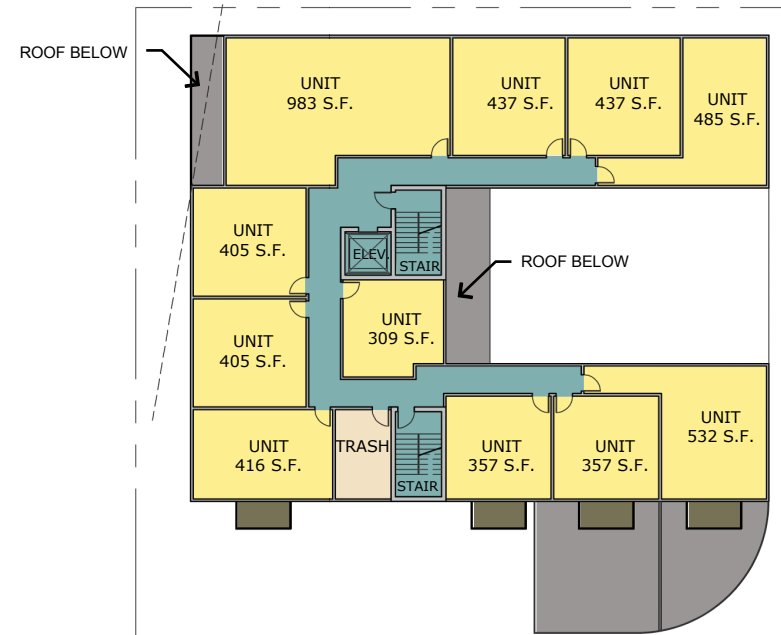
Footprint 8,257 S.F.
 Lot % 60% of Lot
 Units: 49

	Required	Actual
Amenities	3,456 S.F.	4,068 S.F.
Parking	None	17 Spaces
Bicycle	13 Spaces	18 Spaces
Trash	375 S.F.	416 S.F.

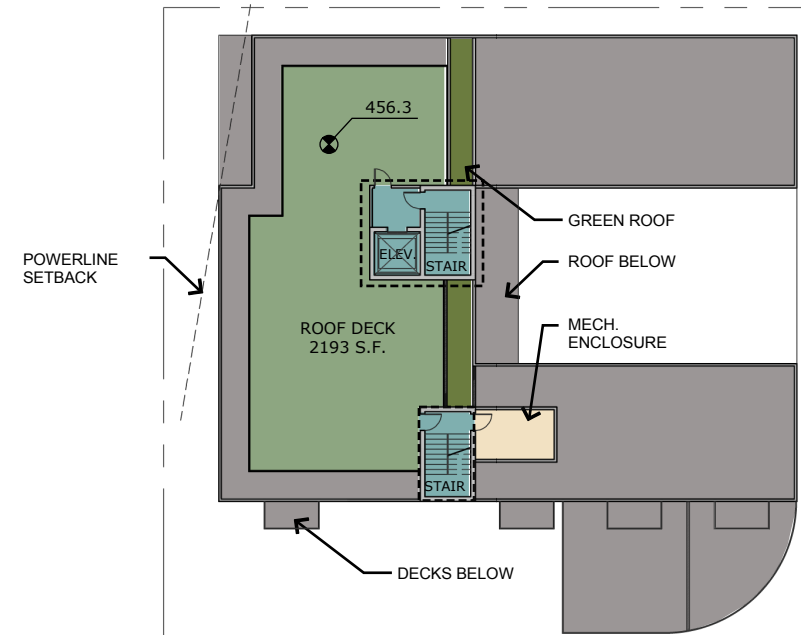
Floor Area Ratio Calculations

Floor	Subject to FAR	Units
Basement	1,613	4
First Floor	6,337 S.F.	11
Second Floor	6,816 S.F.	12
Third Floor	6,648 S.F.	11
Fourth Floor	6,648 S.F.	11
Roof	404 S.F.	0
	27,616 S.F.	49

Allowable F.A.R.: 27646 S.F.



THIRD AND FOURTH FLOORS



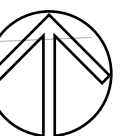
ROOF LEVEL

LEGEND

- UNITS
- PUBLIC SPACE
- SEMI-PUBLIC SPACE
- DECKS
- AMENITY SPACE

OPTION C PLAN DIAGRAM

NTS





Large windows for natural daylight while keeping traditional residential charm with modern influence.



Juliette Balconies



Simple Modern Canopies



Gable roofs. Box out bays with tudor feel. Brick at base.



Tudor style, court yard with human scale elements. Windows and entrances on court yard.



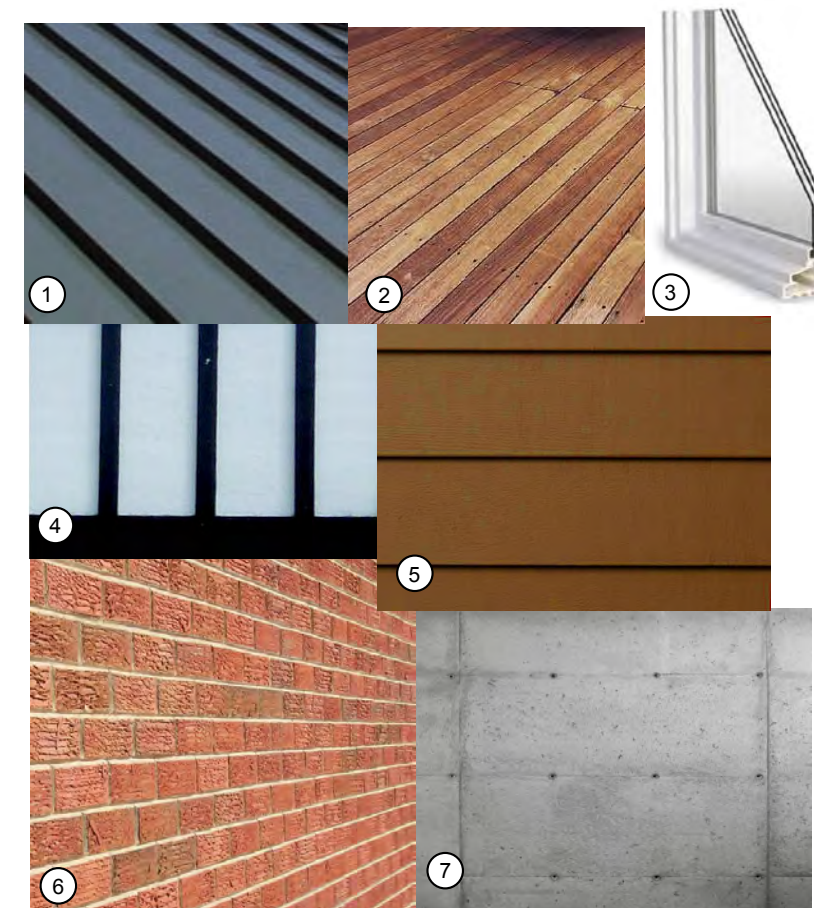
Corner Presence of our building



Roof top deck



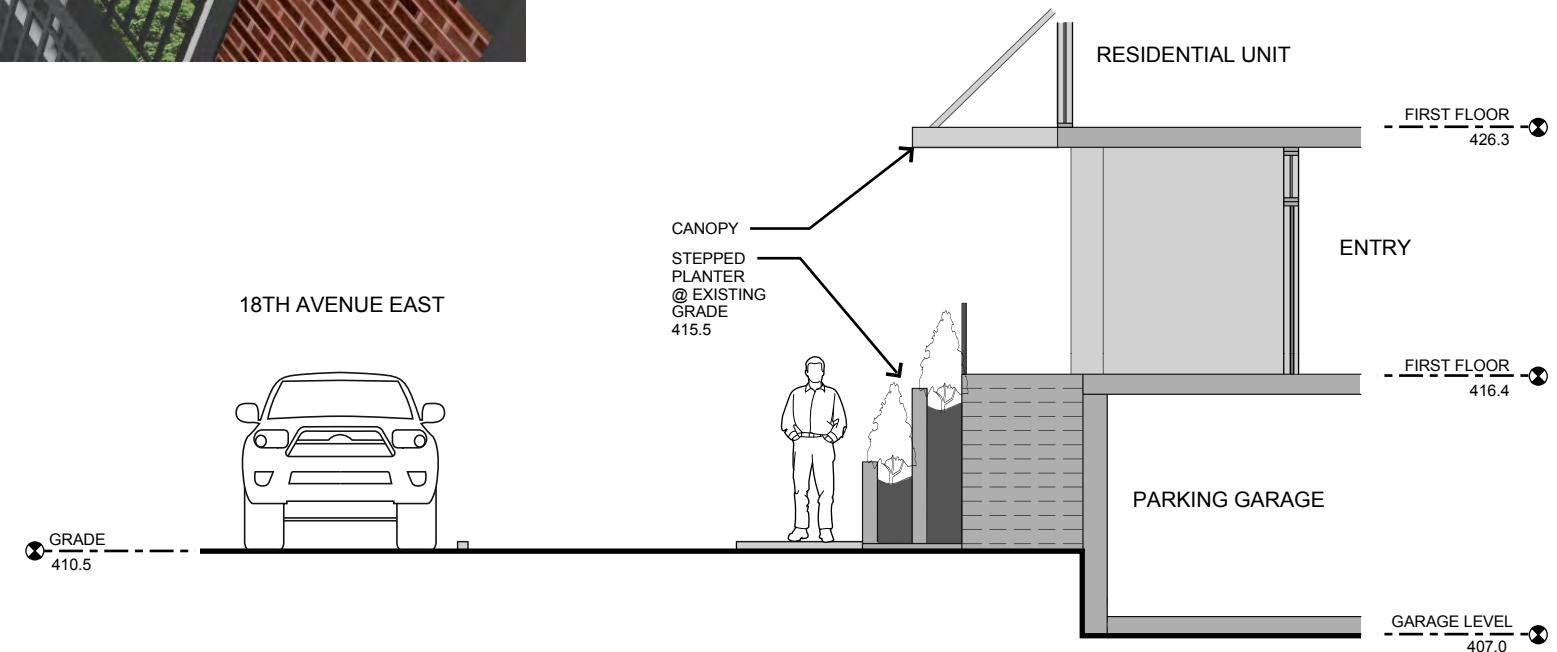
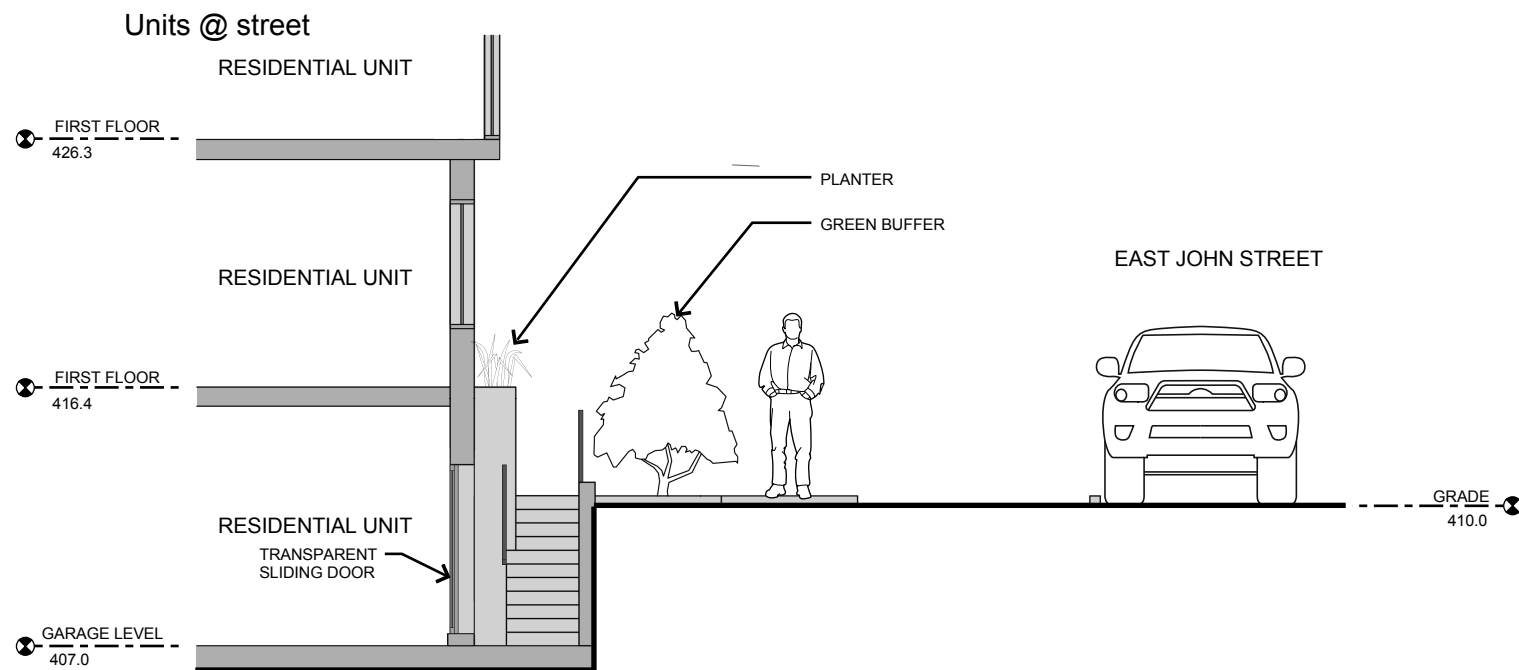
Private balconies



- 1) Metal Roofing
- 2) Wood Decking @ Roof Deck
- 3) Vinyl Windows
- 4) Board and Batton Siding
- 5) Bevel Siding
- 6) Brick Base
- 7) Concrete Foundation walls



Basement units with natural light. Green buffers and security.



A Below grade unit entrance section @ East John Street

B Entrance @ 18th Avenue East section