

# DESIGN REVIEW

# 202 WESTLAKE AVENUE NORTH PROJECT

FIRST WESTERN DEVELOPMENT SERVICES, INC.

8129 LAKE BALLINGER WAY, SUITE 104

EDMONDS, WASHINGTON 98026

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# Project Description:

**SUMMARY:**

Construct a 6-story mixed use building over 4 levels of below street level parking. It is anticipated that the ground floor will be leased to retail and service tenants. The upper floors will have bio-tech, service office, administrative office and/or possibly retail uses. It is anticipated that the development will consist of +/-130,000 SF of commercial space. Existing buildings and parking will be removed.

**LEGAL DESCRIPTION:**

LOTS 7,8,9, AND 10 IN BLOCK 97 OF D.T. DENNY'S 5TH ADDITION TO NORTH SEATTLE, ACCORDING TO PLAT RECORDED IN VOLUME 1 OF PLATS AT PAGES(S) 202, IN KING COUNTY, WASHINGTON.

**PROJECT DATA:**

Site Address: 202 Westlake Avenue North  
Seattle, Washington

Owner / Applicant: First Western Development Services, Inc.  
8129 Lake Ballinger Way, Suite 104  
Edmonds, Washington 98026  
(425) 329 - 0848  
Contact: Scott Shanks scott@fwdsinc.com  
Dale Pinney dale@fwdsinc.com

Tax Account Numbers: 198620027500  
198620029001

Zoning: SM-85, Seattle Mixed Use  
W/ 85' Height Limit  
105' Max Limit under Conditions in 23.48.010B

Site Area: 25,920 SF (.60 Acres)

# Project Objectives:

**DESIGN:**

- Provide a project that is both complementary yet unique with respect to neighboring properties, many of which are currently undergoing redevelopment.
- Follow the goals, policies and guidelines of the South Lake Union design manual.
- Respect the history of the area while establishing itself in its contemporary environment.
- Consider using masonry and glazing as a gesture to the varied history in the area while also accomplishing the goal of providing sustainable materials and a serviceable streetscape.
- Providing an interactive facade and a dynamic pedestrian experience.

**APPROXIMATE BUILDING AREA OBJECTIVES:** (Gross Floor Area as defined by the City of Seattle is limited to a floor area ratio of 4.5 times the site area. This is used for determining the floor area limits for the project and is not for leasing purposes)

Floor Level	Gross Flr Area	Chargeable Area	Use
1st Floor	20,133 SF	19,261 SF	RETAIL
2nd Floor	23,189 SF	20,331 SF	OFFICE
3rd Floor	23,578 SF	20,720 SF	OFFICE
4th Floor	23,712 SF	23,854 SF	OFFICE
5th Floor	20,382 SF	17,694 SF	OFFICE
6th Floor	20,468 SF	17,780 SF	OFFICE
<b>Total</b>	<b>131,462 SF</b>	<b>116,640 SF</b>	

Chargeable GFA Allowed = 25,920 SF (Site Area) x 4.5 (FAR) = 116,640 SF

Totals  
Chargeable +/-116,640 SF (Assumed 11.27% Mechanical exempt from FAR)  
Floor Area 15% Max allowed.

**PARKING:**

4 floors of below street grade parking with a total of 224 spaces. The parking levels are accessible from the alley on the east side of the property. Between 149 and 175 stalls will be required on the project based on the final configuration. The parking provided will be adjusted to the final requirement.

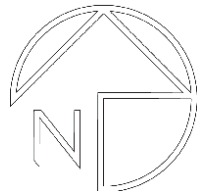
**PROPOSED BUILDING HEIGHT:** 96'-9" (building meets the criteria for the extension up to 105' under section 23.48.010.)



# Zoning Map:



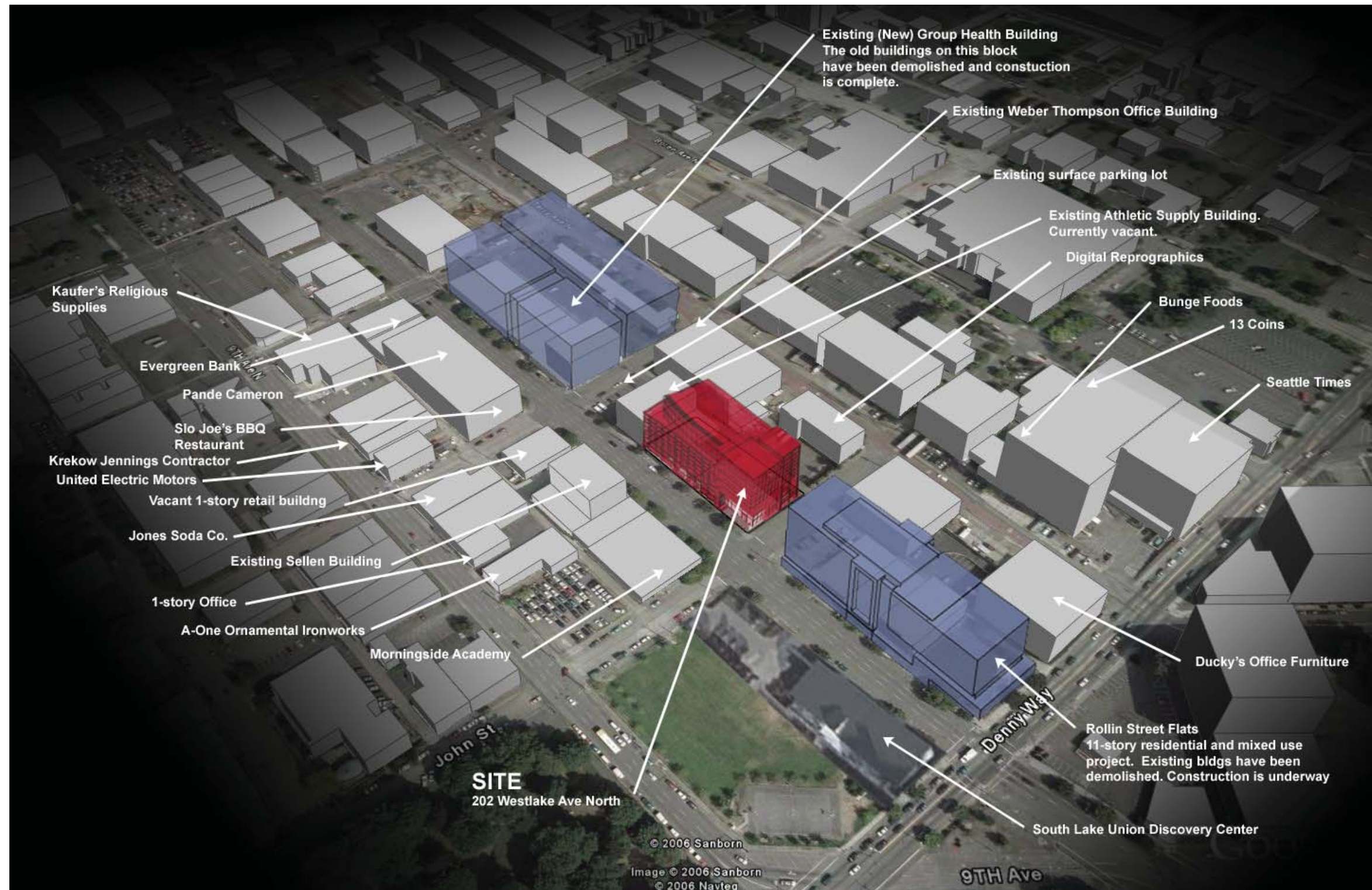
# Vicinity Map:





# Design Cues: 9-Block Axonometric:

- There are numerous projects under construction or in Design Review.
- The area has a varied past with a number of businesses and building types growing out of necessity.
- The area has been home to a variety of light industrial, manufacturing and sales and distribution operations for the last 100 years.
- Some gesture towards the history of the area is appropriate in terms of material and form. However, there is no clear vocabulary to rely on.
- There is a large scale residential structure immediately to the South (Rollin Street Flats) who's exterior decks define the scale and texture of the material presentation.
- The integration of the trolley along Westlake Avenue is an investment in pedestrian activity.
- The use of bulbs, seating and landscaping will help create places where people will participate and own as extensions of their own living space.







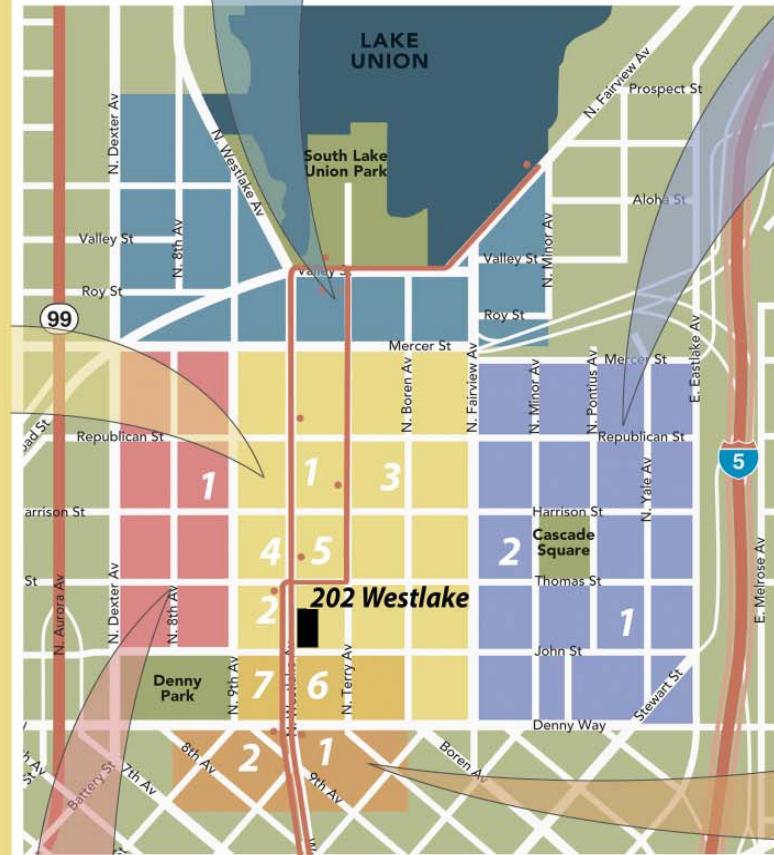
*Westlake District*



*Lakefront District*



*Cascade District*



Under Construction



*Gateway District*



*8th Avenue District*

These images show buildings near the site that have been recently constructed or are proposed for the area. The design districts are shown by color on the location map. The trolley route is also shown with proposed stops.

# 202 WESTLAKE AVE NORTH PROJECT

Seattle, Washington







## Context / Design Cues:

- The existing site is a composite of (3) 1-story buildings with a variety of retail and service tenants.
- Currently, the existing buildings which are proposed to be demolished house a sign company, a new/used CD/DVD store and a furniture store. The buildings have a service side off of the alley that functions for delivery, trash storage/collection and some limited parking.
- The condition and construction type of the buildings on the site are such that they are unlikely to have historic significance.
- The visual cues from the existing site are limited given the generic treatment of the street facades.
- The existing pedestrian environment along the East side of Westlake in front of the site needs to be enhanced with seating, modulation and nodes for pedestrian activity/interest.
- There is also a tremendous amount of housing being added to the area as well which will increase the density and need for public services and retailers.
- This site, from a zoning perspective, is on the edge and effectively in a transition zone to areas of much higher structures and higher densities.

## Streetscape / Photomontages:





## Context / Design Cues:

## Streetscape / Photomontages:

- Along the west side of Westlake Avenue North, there are some examples of buildings using sustainable materials that retain some of the character of the materials as they might have existed years ago.

- The Sellen Building for example utilizes brick and has nicely articulated entries to give the pedestrian some variation/modulation along the streetscape.

- The brick is of course an accepted sustainable material that recalls the character of the buildings in the area for many years.

- The use of brick in recent buildings is a nice gesture to this historic material while allowing an integration of more contemporary materials. It provides a good bridge between new and old.

- Many of the newly proposed buildings are using more transparent facades.

- The glazing in the Sellen Building and the multi-story building in the next block to the north (See top photomontage at right.) provides some transparency to help break down the scale.

- Avoiding the repetitive nature of the glazing however may be a contrasting way to break down the scale in our project. We are exploring design options of this type as a possible treatment.





## Context / Design Cues:

## Streetscape / Photomontages:

- The existing Athletic Supply building directly to the north of 222 Westlake is vacant.

- The building has a brick veneer reminiscent of some earlier light industrial treatment.

- Though elements of this kind of building type exist in the vicinity it is not predominant in the area. A gesture through material and or form may be tangentially appropriate, but it does not drive the design in terms of a predominant context.

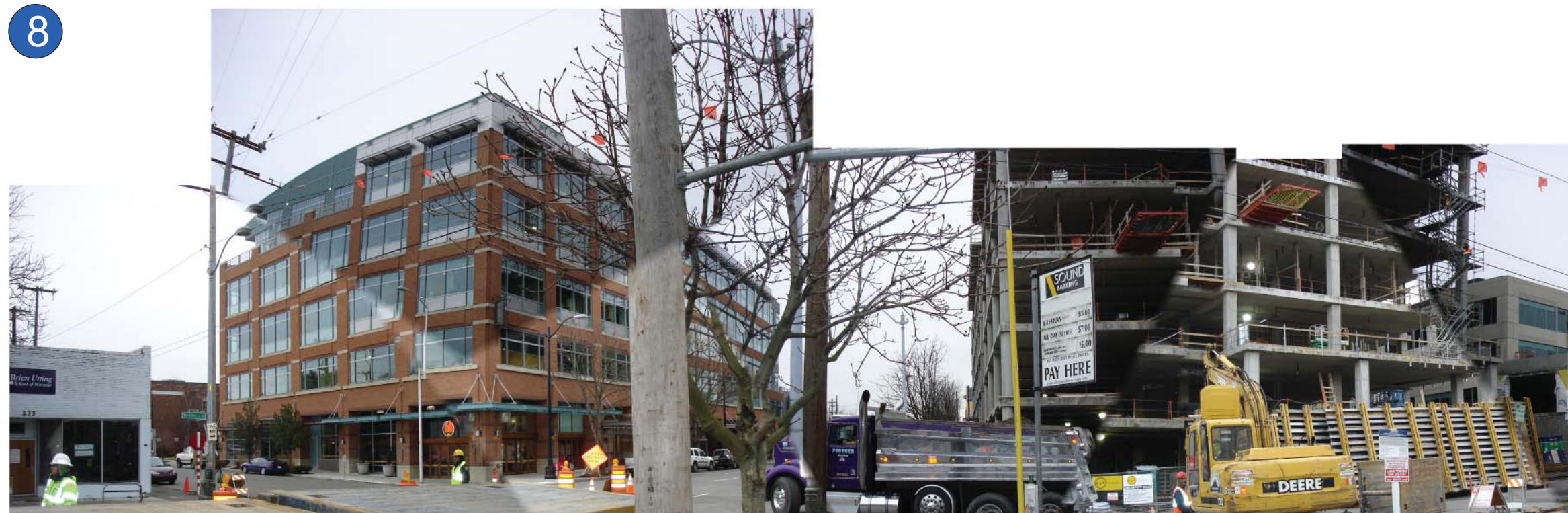
- There is a surface parking lot on the north side that occupies the corner of the the block at the intersection of Westlake Avenue and Thomas Street.

- The block immediately to the north (Group Health) is under construction as shown in the lower photo on the right. The proposed structure is shown on sheet 2.3.

- It utilized a good deal of glazing making the building appear very transparent in the renderings. The building is very streamlined in form with repetitive elements defining its scale.

- In contrast to the some of the repetitive treatments of glazing and facade elements in general, we are thinking of exploring some larger scaled modulation to provide variety and a contrast in massing and street presentation.

- Similar materials are proposed in keeping with the material context of the new structures as well as the historical character of the area.



Looking North up Westlake Avenue with Thomas Street traversing from left (west) to right (east).



# Zoning Analysis:

## Related Zoning Guidelines:

SMC23.48.010 General Structure Height

## Comments

The Zoning designation for this parcel is SM-85 establishing an 85' height limit. That limit is extended by Paragraph B of this section to a limit of 105' subject to the conditions listed. The owner for this project anticipates providing an 18' first floor height, 14' floor to floor for the 2nd floor and 13'-4" floor heights for 3 through 6. The total building height is anticipated to be +/-96'-0. This provides for ample ceiling height for the first two floors in keeping with the SLU height extension option. The building is well within the prescriptive height limits and in keeping with other structures proposed in the area.

SMC23.48.012 Upper Level Setbacks

Map A does not show a requirement for upper level setbacks on the property for this project.

SMC23.48.016B Floor Area Ratios

1. In SM/85 Zones a FAR of 4.5 is the max. GFA permitted for nonresidential uses. (B5 extends the area with an exemption for up to 15% for mechanical equipment.)

Site Area: 25,920 SF  
 Max F.A.R.: 4.5  
 Allowable Floor Area (by F.A.R.): 116,640 SF

- With the 15% allowance the max floor area could be 137,224 SF
- This project shows +/-131,462 SF (w/ +/-11.27% exempt)

SMC 23.48.018 Transparency and blank façade requirements.

The retail tenants on the first floor will have an inviting and transparent facade that is well lit. There is also a perceived transparency of the street wall provided by various modulation along the pedestrian paths along Westlake and John. Blank facades will be very limited due to the nature of the tenants and the modulation provided by the main entries. See Sheet 3.2 for diagrams of the John Street Transparency and Blank Facade configurations.

SMC 23.48.019 Street level uses.

With the exception of the entries for the upper floor uses and the columns, 100% of the first floor uses will be retail or as listed in 23.48.019A. See sheet 3.2 for an explanation of the street level uses along Westlake Avenue North.

SMC 23.48.031 Solid waste and recyclable materials storage space.

A service area is anticipated with access off of the alley on the East side of the building. This area takes advantage of the existing grade and is fully screened by the building itself from Westlake and John Street. It is accessible by service trucks from the alley. The solid waste & recycling area exceeds the 275 SF required area. Provisions have been made for an 18 yard compactor to be provided and stored on the 30" dock. This eliminates the requirement for the overhead clearance. This has been coordinated with Solid Waste Systems and Allied Waste Management.

## Related Zoning Guidelines:

SMC 23.48.032 Required parking and loading.

## Comments

• 4 levels of subsurface parking will provide ample parking for the project regardless of tenant. This area is accessed off the alley providing ideal locations for loading as well.

### Required Parking

Retail	20,480SF @ 1/500	41 Spaces Required
Commercial	>112,000 @ 1/1000	112 Spaces Required

**TOTAL REQUIRED** 153 Spaces Required  
 (Depending on the configuration)

### Parking Provided:

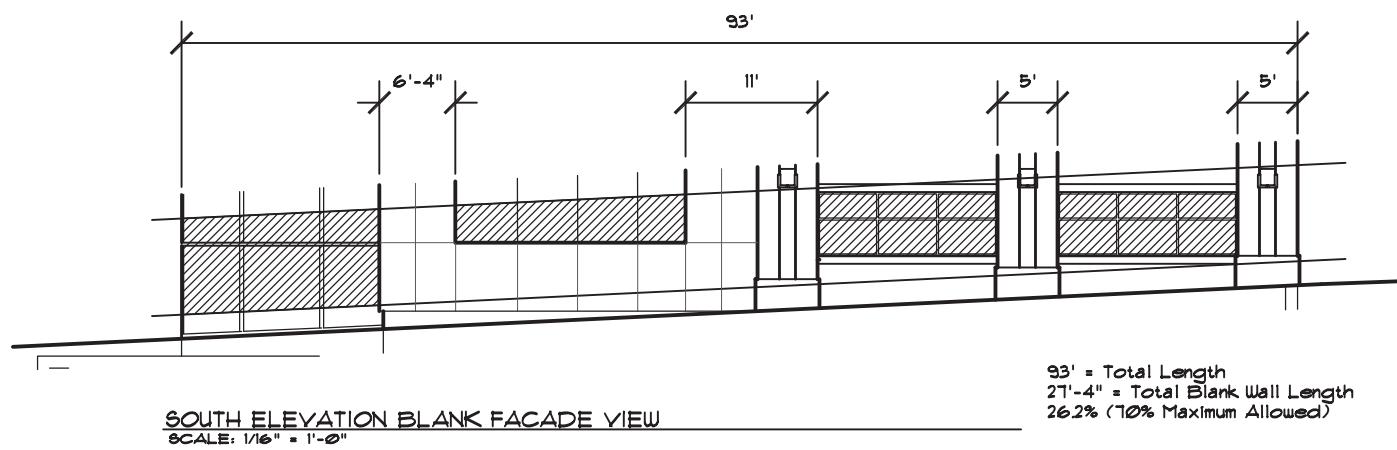
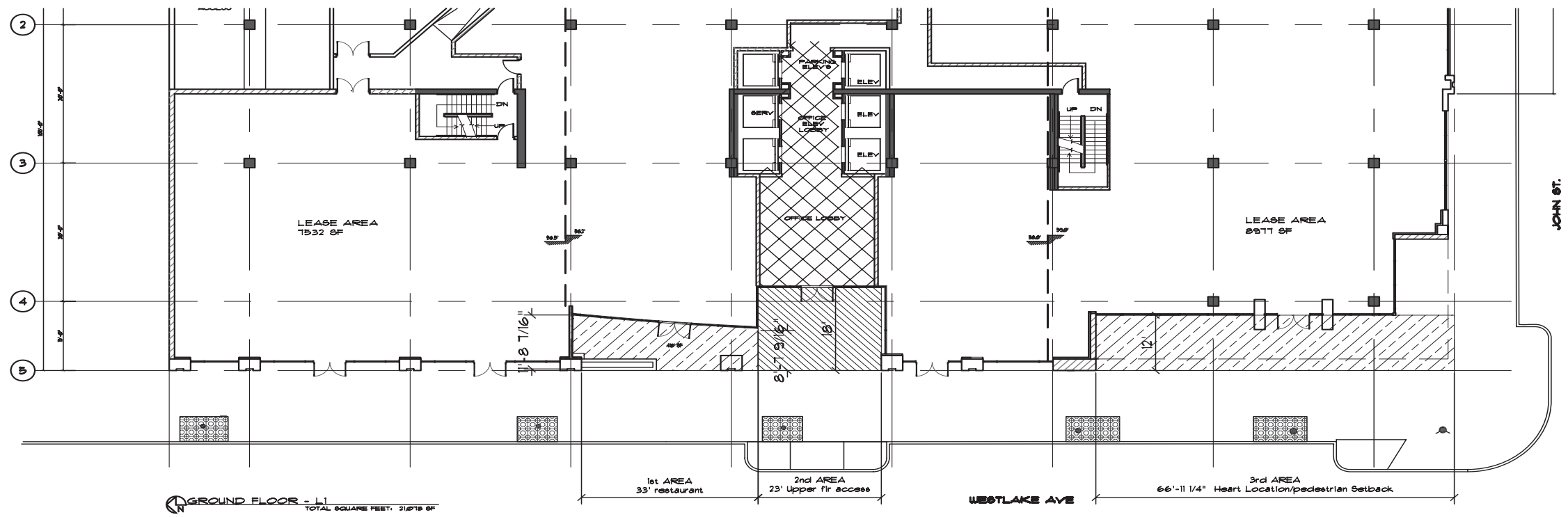
Currently +/- 224 Stalls are provided on 4 staggered floors.

A service area is located on the Alley side of the building with an area for dumpster pick up/delivery, truck access and van access.

SMC 23.48.034 Parking and loading location, access and curbcuts.

The alley provides a screened, safe access point to the below grade parking levels. Space is provided or trash/recycling service there as well. This location means that no vehicular curb cuts are required along Westlake or John.





**STREET LEVEL USES**

The building is built to the property line except for 3 areas.

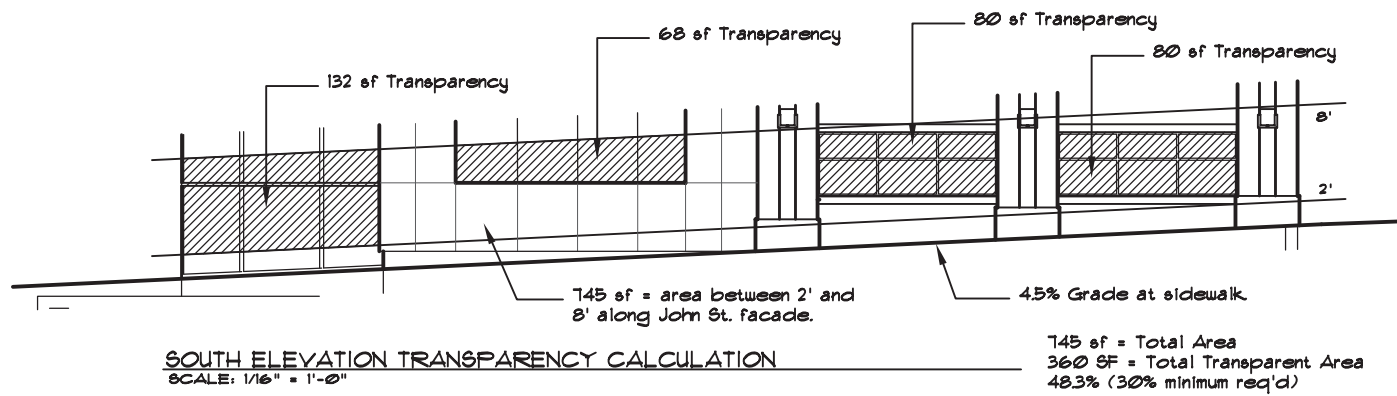
The 1st area has options for outdoor seating or retail activity. This is in keeping the spirit of the SLU Design Guidelines by providing pedestrian activities, modulation and interest along the path of travel.

The 2nd is the upper floor pedestrian access which we are allowed by section 23.48.019.B. This is subtracted from the total area of street front uses.

The 3rd is the setback at the heart location at the corner of Westlake and John Street.

We are discounting the 23' for the pedestrian access only in calculation. By percentage, the street level uses occupy 90.42% of the Street front.

$$217 \text{ LF} / 240 \text{ LF} = 90.42\%$$

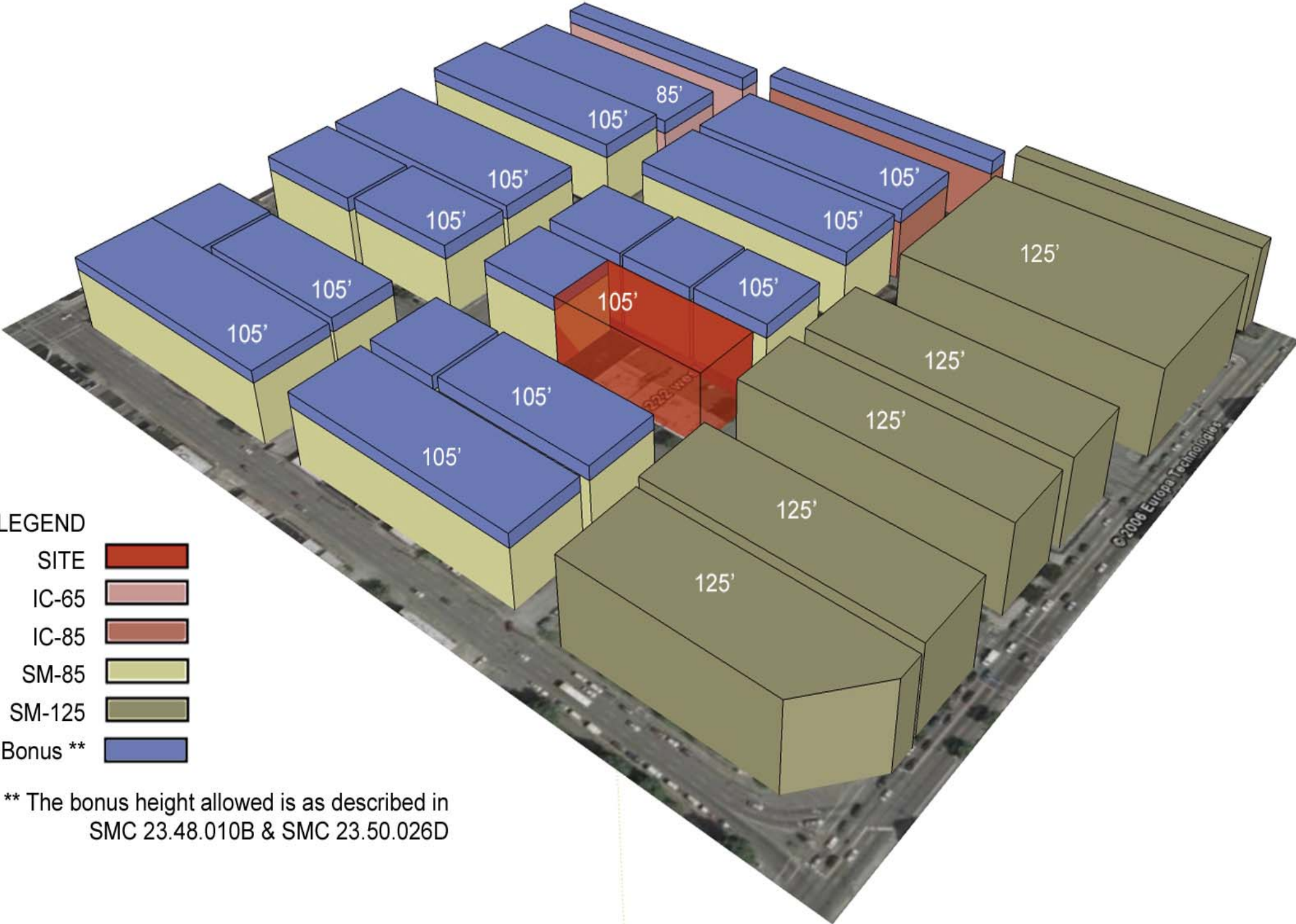




# Design Cues:

# 9-Block Zoning Volume Axonometric:

- The site sits on the southeastern extent of the SM-85 zone. Immediately to the east there is an IC-85 zone. Both zones allow a height of up to 105' per SMC23.48.01B.
- The zoning immediately to the south of the site is SM-125.
- On the site immediately to the south, the Rollin Street Flats project will be considerably taller than that allowed on 202 Westlake Ave site.
- From a massing perspective, the context would allow some freedom from the perspective of higher, more dense zoning limits immediately to the South.
- The existing topography at the alley slopes down to the north from John Street allowing below grade access to the parking levels. This effectively screens the parking entrance/exit from Westlake Avenues and John Street.
- Locating the parking access on the alley also reduces the vehicle/pedestrian conflict potential by exiting in an area of reduce traffic.



LEGEND

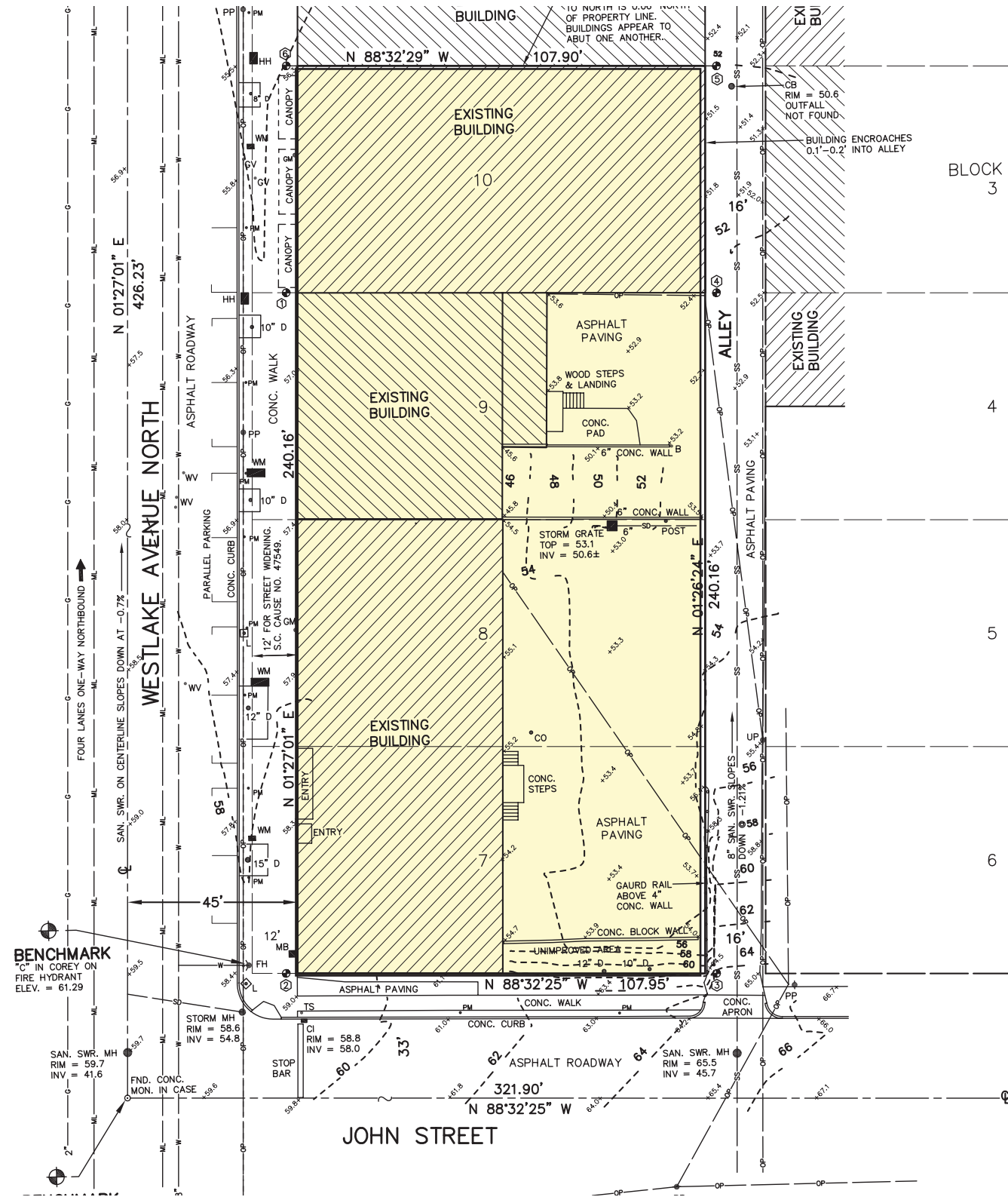
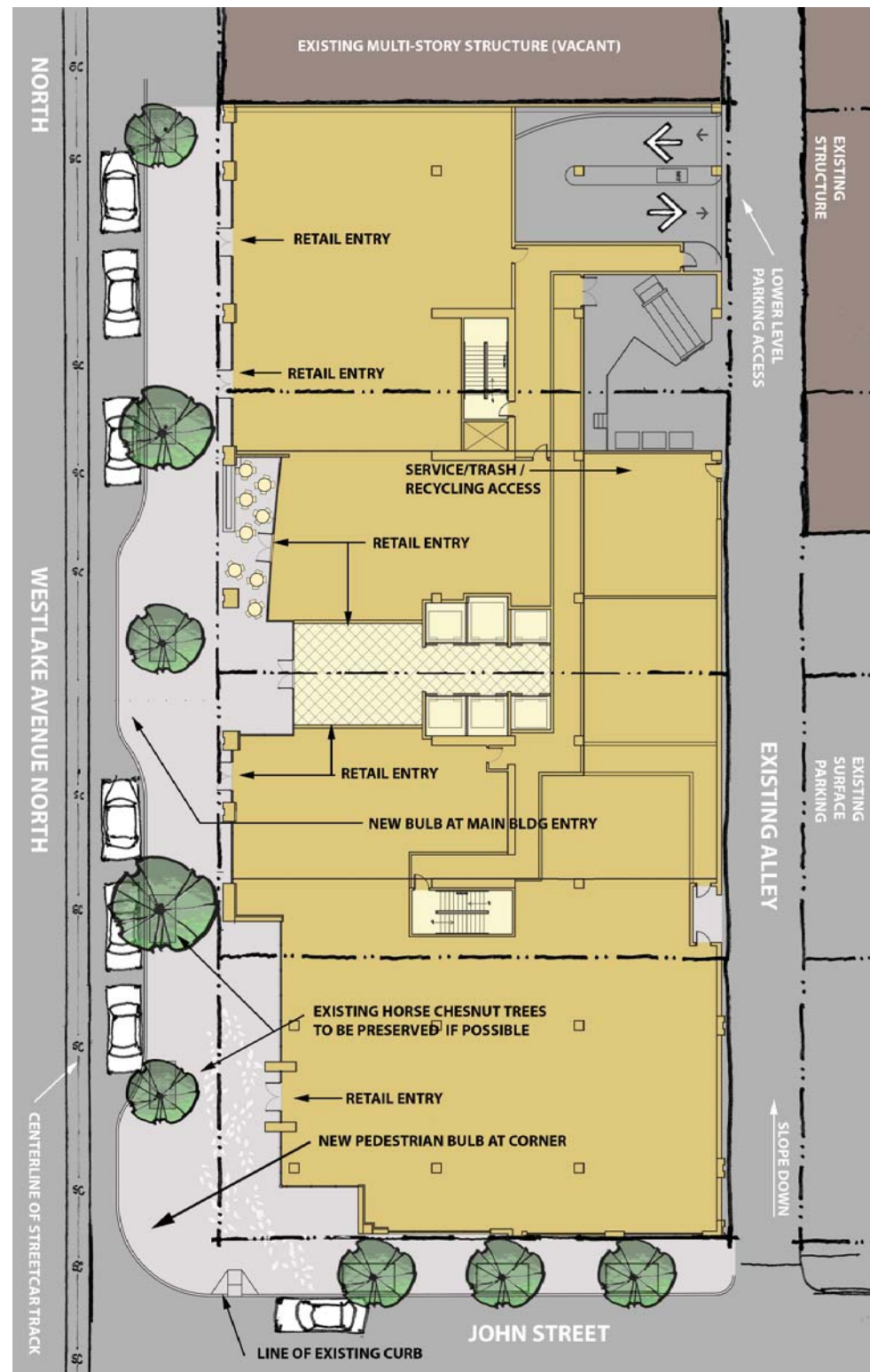
SITE	<span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span>
IC-65	<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span>
IC-85	<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span>
SM-85	<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span>
SM-125	<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span>
Bonus **	<span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black;"></span>

\*\* The bonus height allowed is as described in SMC 23.48.010B & SMC 23.50.026D



# Prospective Site Plan Sketch:

# Topography / Survey Information:



View of Site from SW



View of Site from SE



Looking North on Alley







VIEW FROM SOUTHWEST



WESTLAKE AVENUE STREETScape







WESTLAKE RETAIL LEVEL



WESTLAKE & JOHN HEART LOCATION PLAZA/GATHERING SPACE

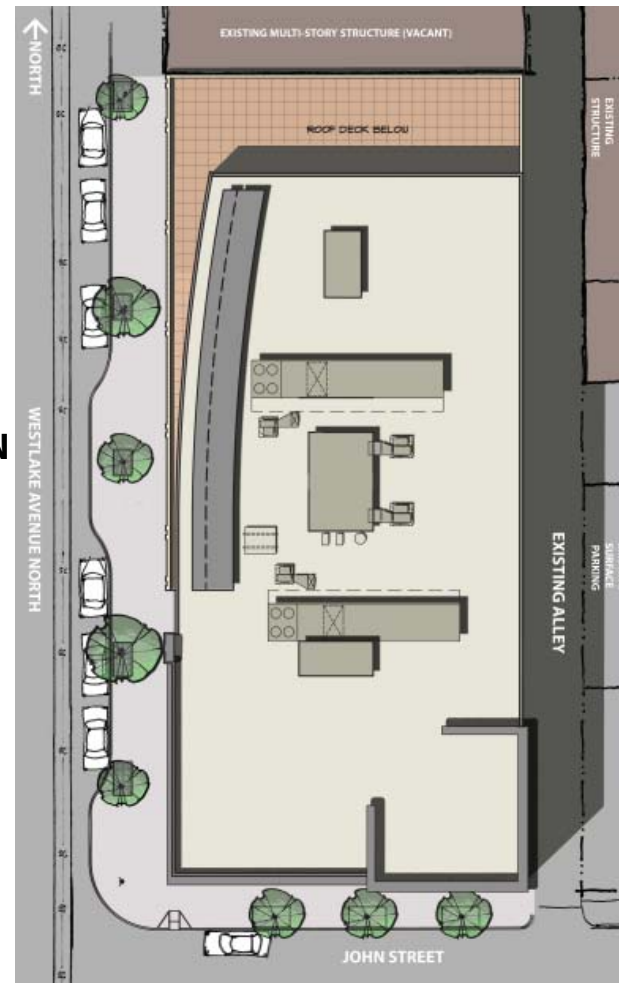




WESTLAKE STREET CAFE/RETAIL



WESTLAKE STREETScape AT DUSK



**5TH ELEVATION INFORMATION**

5th Elevation Notes:

1. Mechanical equipment (Air handlers / chillers / etc.) is screened by roof element on western portion of roofscape.
2. Level changes are provided for interest.
3. High reflectance, low-e roofing for 75% of roof area to control heat island effect. LEED strategy.
4. Potential exterior activity space is provided based on tenant needs.
5. Material changes are provided to create interest.

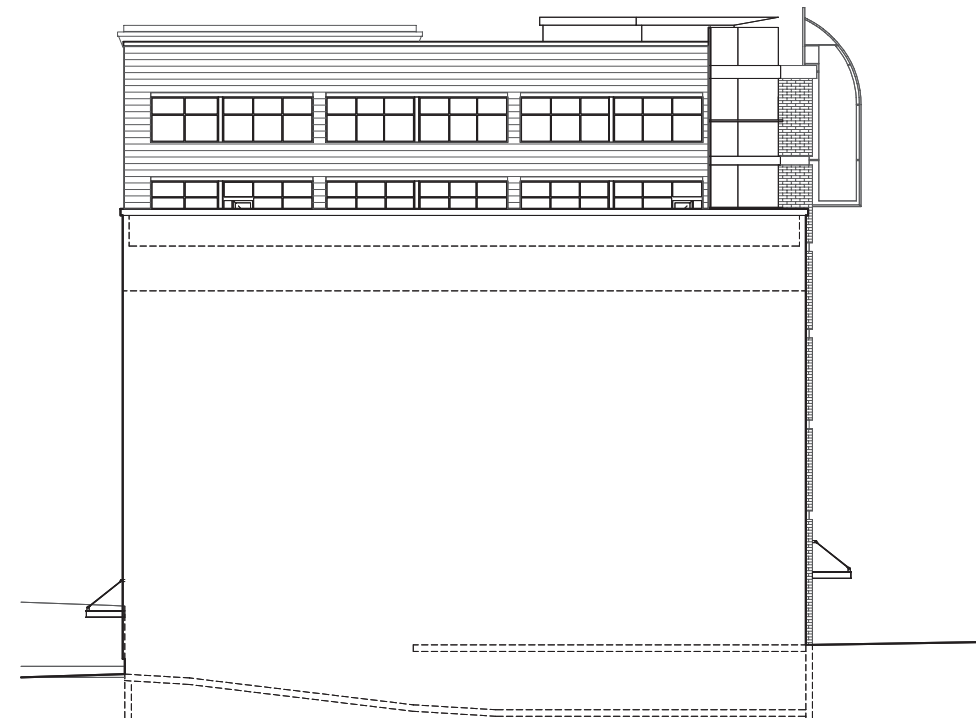




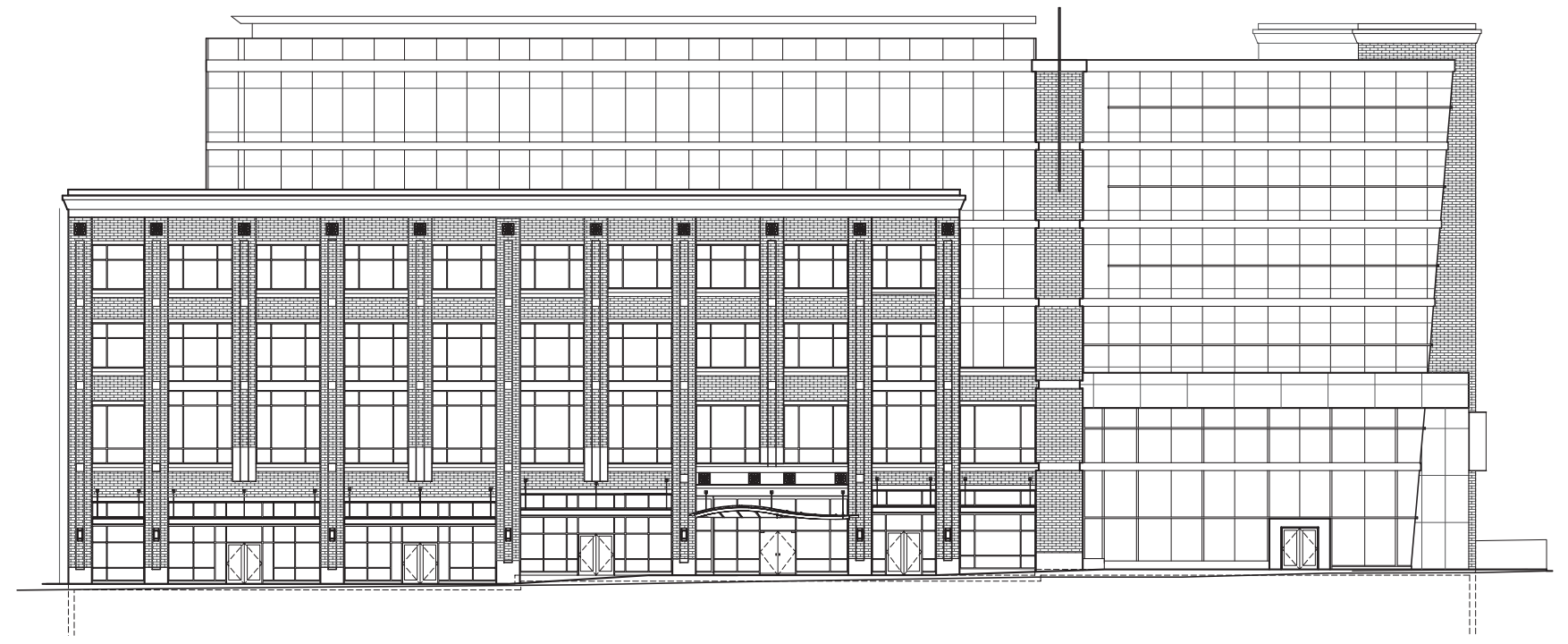
**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**



**WEST ELEVATION**





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202 WESTLAKE AVE NORTH

Scheme with Straight/Vertical Wall at Corner

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202 WESTLAKE AVE NORTH

Scheme with Sloped Wall at Corner

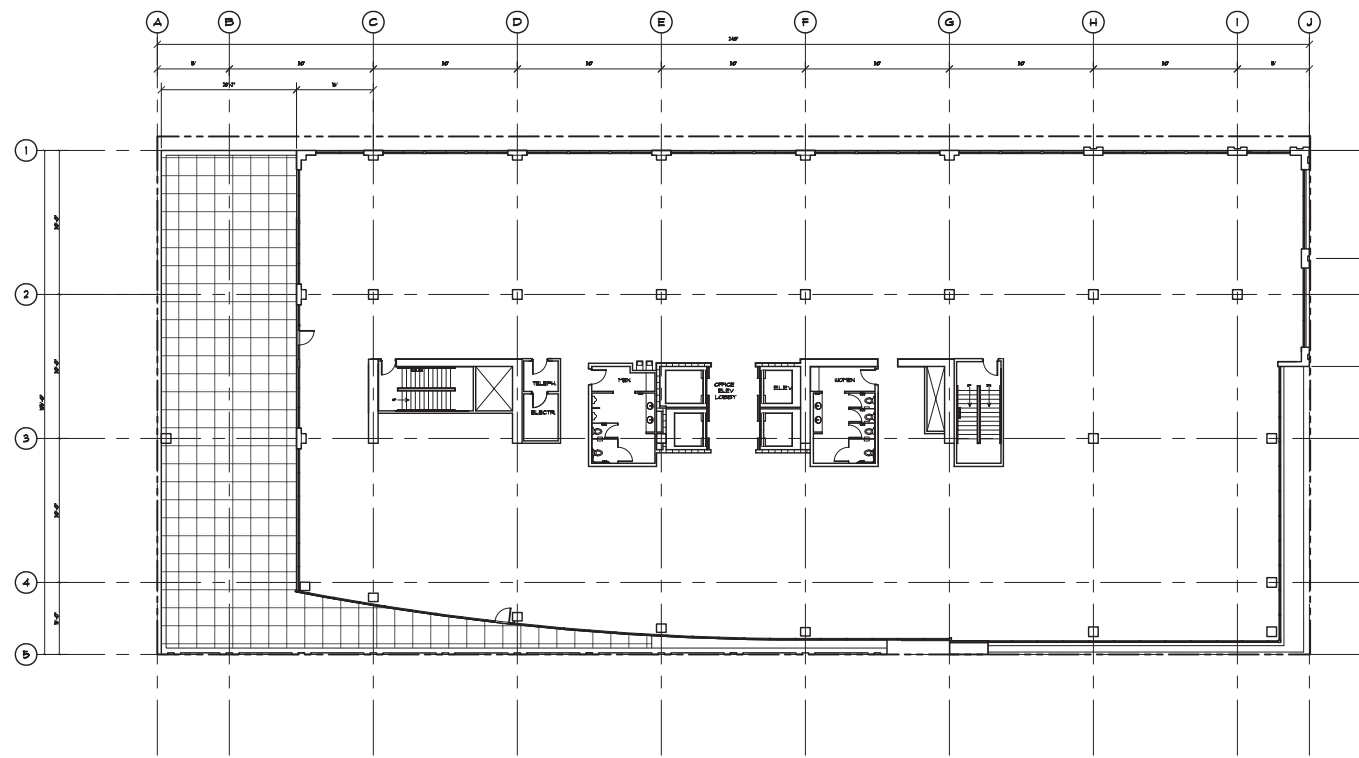
PREFERRED SOUTH ELEVATION



PREFERRED WEST ELEVATION

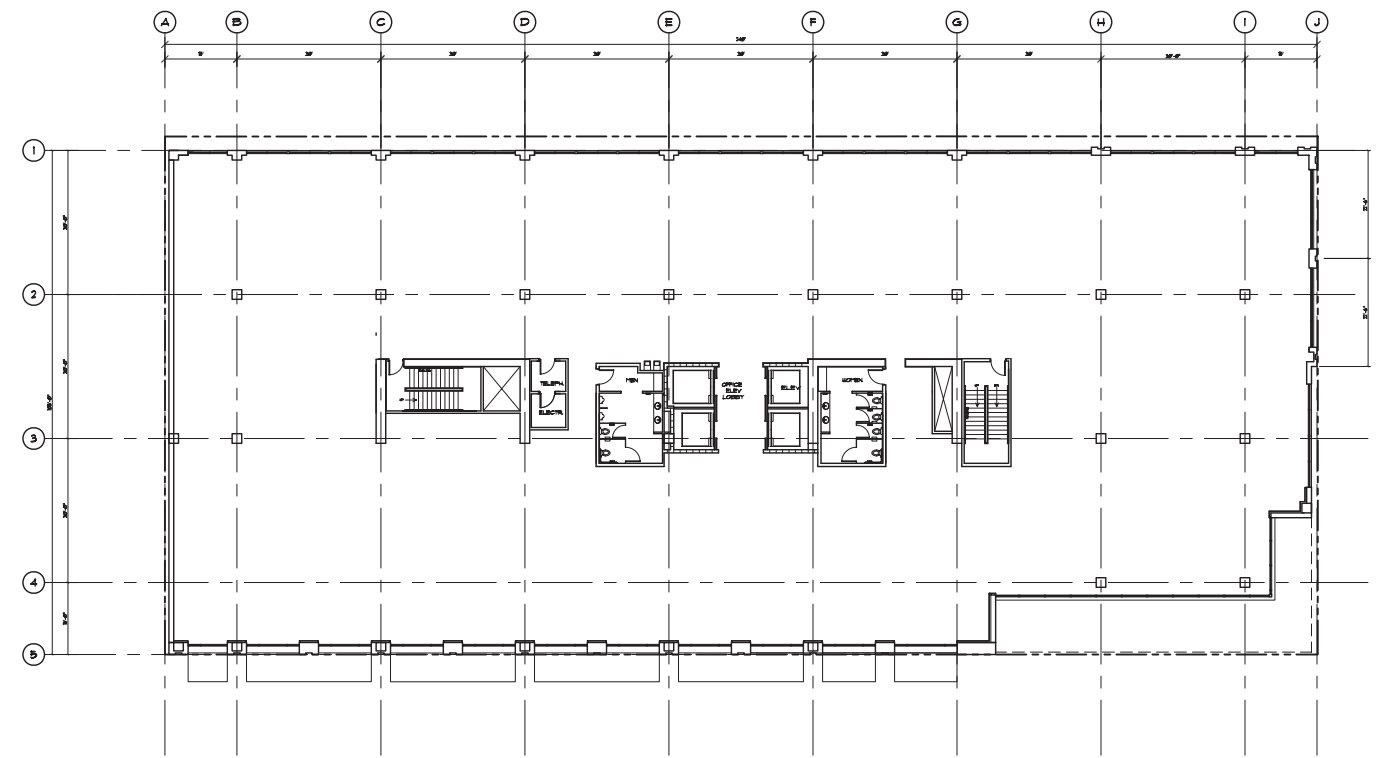






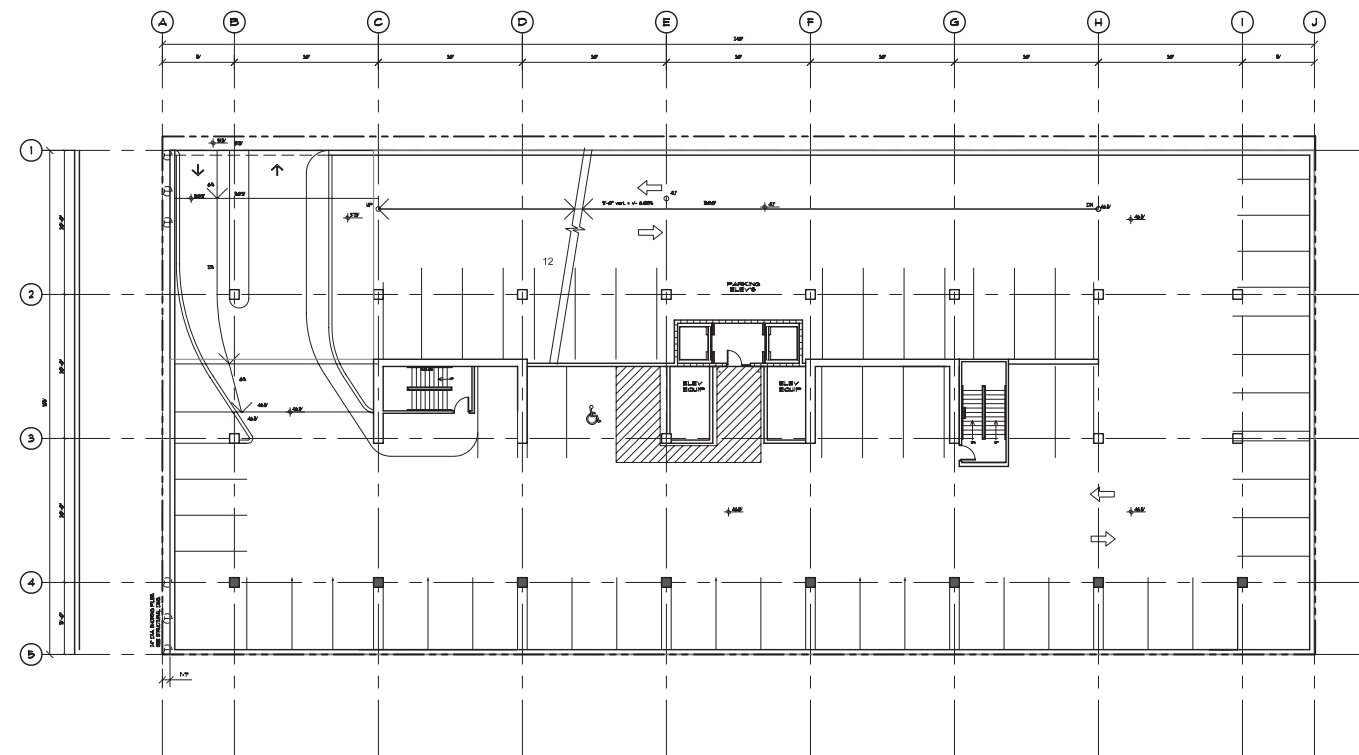
FIFTH FLOOR

Typical Floor Plan at 5th & 6th Floors



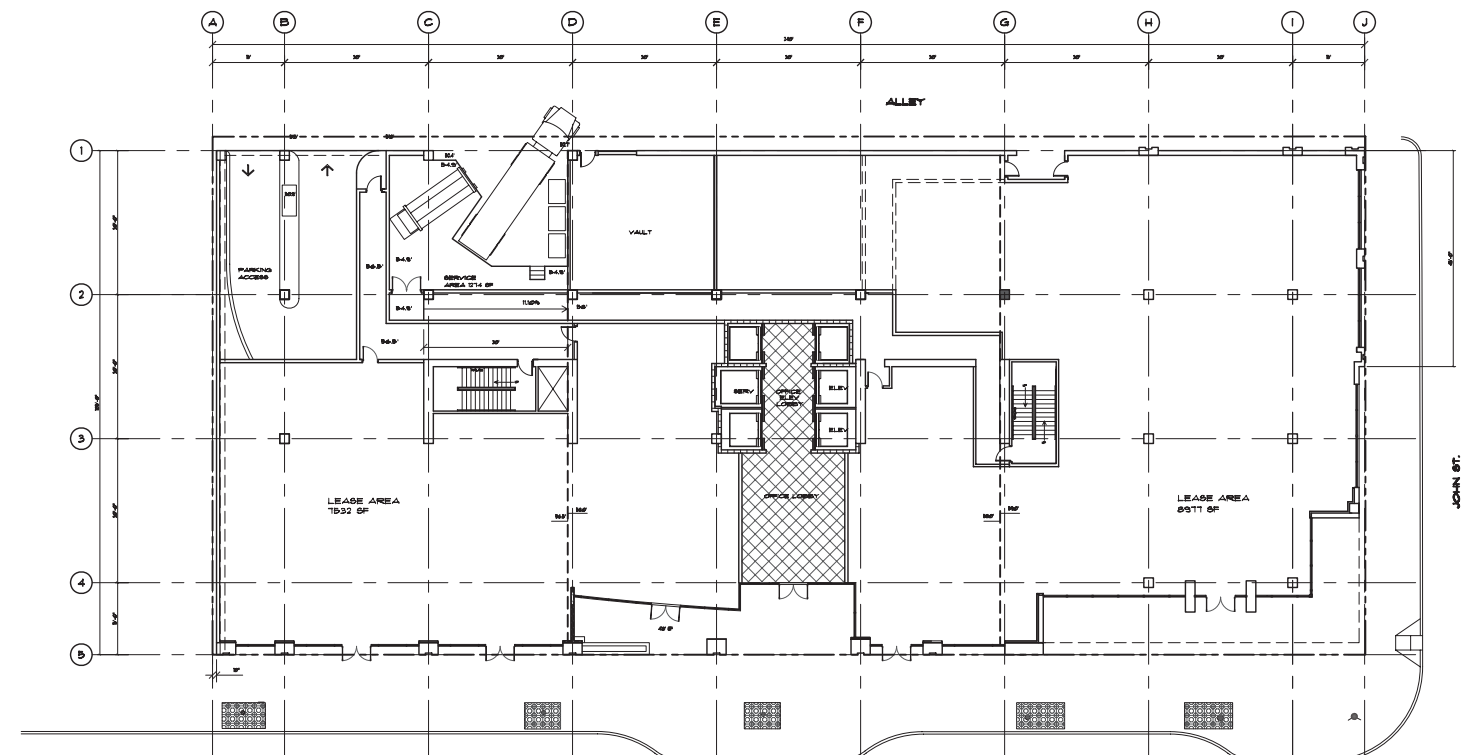
SECOND FLOOR

Typical Floor Plan at 2nd to 4th Floors



P1 PARKING LEVEL

Parking Level Plan



GROUND FLOOR - L1

Ground Floor and Site Plan



## Application of South Lake Union Design Guidelines:

## Comments:

### A-1: Responding to Site Characteristics.

- The site is generally flat along Westlake Avenue.
- The Alley slopes down allowing access to the below grade parking areas.
- There are no required setbacks at the ground level though some setback strategies will be used to create an interactive pedestrian experience.
- Some local views are available to the southeast. More extended views are available to the southwest which will open up from upper levels.

### A-2: Streetscape Compatibility

- This project will be sensitive to the traditional materials in the area as well as provide an interactive pedestrian experience.
- The tenants will have a visual presence for the pedestrians as they access the building circulation.

#### EDG Comments:

The Board noted that Westlake Ave is identified as a "Heart Location". Heart locations serve as a perceived center of commercial and social activity and therefore have a high priority for public realm improvements.

- Further development of the presented building setback at the intersection of Westlake Ave North and John Street, at the recessed and open building entry at the approximate center of the site, and with a full length of permeable and transparent retail uses along Westlake Ave North;
- Continuation of the introduced two-story retail façade expression;
- Integration of an appropriate variety of the amenities listed in the Heart Location section of the SLU Design Guidelines, such as public art, special paving, landscaping, and curb bulbs; and
- Configuring the proposed retail to allow the interior uses to "spill-out" onto the sidewalk.

### A-4: Human Activity

- Responding to the needs of the increased residential density, this project will provide professional services, retail as well as opportunities for employment.
- These services are provided within a short walk of many new residential units, providing and cultivating a sense of energy, ownership and care in the community.
- The new streetcar will help populate an active pedestrian environment at the street which will contribute to the symbiotic relationship around the retail uses.

### A-10: Corner Lots

- Special attention will be paid to the corner condition. Building entries and landscape elements will help articulate this area.
- We anticipate the use of special paving features as well as a bulb possibly at the corner to enhance the experience.
- Westlake Avenue North is a Heart Location and special attention will be paid to provide street level pedestrian amenities. This can occur and the corner of Westlake and John Street.

#### EDG Comments:

- The preliminary design concept that included an open and transparent retail frontage, recessed corner for an enlarged sidewalk area, and open and inviting central lobby should be continued.
- The preliminary design correctly places emphasis on its corner lot character by proposing to recess the building at this location. This area should be enlarged to assure that it can be more than a "wider sidewalk" and is an adequately sized space for pedestrian travel and lingering.

- The Plaza at the corner has been enlarged and enhanced to provide incentives for interaction and lingering. Seating has been provided as well landscaping and possibly a sculptural element. Options exist for artful pavement patterns and inlays. Particular attention has been paid to the pedestrian paths around the corner.
  - Please see the refined design schemes and views for the treatment along Westlake Avenue North.

## Application of South Lake Union Design Guidelines:

## Comments

### B-1: Height, Bulk and Scale

- The site sits in the middle of an area zoned SM85. Immediately to the south the zoning increases to SM125 and DMC 240 beyond that so the scale of the buildings is transitioning upward as you move to the south.
- This building was originally proposed to be +/- 102' which is under the prescriptive limit as modified in 23.48.010B. However in the scheme presented the building will be +/-97' tall.
- Despite the relatively minor scale intrusions on lesser zones, bulk mitigation techniques such as formal and material modulation will be used to reduce the impact on pedestrians.
- Landscape elements will also be used to mitigate the effect of the size of the building.

*EDG COMMENTS: Whether the proposal contains an upper floor of residential use or not, the one (at a minimum) upper floor should be setback similar to that presented in Schemes A and B. The setback should be shaped to not only reduce the building scale, but to provide modulation, preserve the size of the view corridor north along Westlake Avenue, and allow morning and afternoon sunlight to penetrate to the street level.*

*The design should also include façade articulation and the use of detailing, accent trim, and other appropriate techniques to achieve a visually compatible bulk and scale.*

### C-1: Architectural Context

*"The project design should develop from and refer to the remaining worthy historical architectural character of the area. There is room for that expression to range from modern (the NBBJ headquarters to the east) to more traditional and masonry clad designs, such as the Sellen Building."*

### C-2: Architectural Concept and Consistency

- In the current scheme the owner has elected to eliminate the 7th floor completely, allowing maximum light and views across that upper portion of the previously proposed massing.
- The top of the building is detailed in a fashion to provide some modulation at the 6th floor.
- Various material and formal modulations have been provided at a range of scales to mitigate the massing.

- There is quite a range of visual cues and precedents in the area. The design of this building has drawn on those in a manner that allows for expression of this unique use. Please refer to the attached illustrations.
- The project has utilized traditional materials and forms in part to coexist with the forms to the north of the site. A transition to more contemporary forms is made in the middle of the project and upper portions as a gesture to similar treatment in the area.

- The integration of the upper and lower section is articulated in the rendering. The 4-story brick treatment along Westlake Avenue has been extended further to the south.
- An alternate scheme has been provided at Art Pederson's request to show an option to the sloped wall facade at the heart location. The owner feels however that the sloped element is more interesting at the heart location and that the straight scheme is indistinct from other recent projects in the area. The design strategy employed to separate the impact from the curve and slope shapes was the extension of the brick along Westlake as suggested by the Design Review Board

### C-3: Human Scale

- Strategies will be employed at the pedestrian level to ease the impact of the massing allowed in this SM zone. This will include the careful placement of overhead protective canopies, landscaping and both formal and material modulation
- Some of the strategies promoted in the Seattle Green Factor program will also further promote a human scale for pedestrians and visitors to the building.



## Application of South Lake Union Design Guidelines:

### Comments

#### C-4: Exterior Finish Materials

- Tie together these upper level masses with the now seemingly unrelated first and second floor podium. One suggestion is the continuation of the middle portions curvilinear shape down to the lobby entrance area.
- Although a secondary street relative to Westlake Avenue, a similar approach should be given to the John Street façade.
- Regardless of the intended use for the upper level, this “fifth elevation” should be developed to be visually interesting.
- Look to local building forms and features for direction on materials.

- The upper and lower masses and materials have been integrated into a workable whole. Elements of the upper more contemporary form come down at the corner (heart location).
- The relatively steep grade along John Street presents some challenges for retail entries. Windows and material modulation are used to create interest leading the pedestrian a short distance to the heart location on the corner.
- Please see the illustrations of the 5th elevation provided in this set.
- Several precedent materials have been used in the composition of this structure.

#### D-1: Pedestrian Open Spaces and Entrances

- The façade will be a mix of transparent glazing, masonry and well defined entries. Reference Sheet 3.2 for transparency and blank wall treatment along John Street.
- Pedestrian nodes will be created at the entries that will provide places to gather and sit.
- These can be enhanced through the use of bulbs at the curblin creating a unique and dynamic path up Westake Avenue.
- Planting elements will be incorporated to give shade, shelter and help establish a human scale.

#### D-6: Screening of Dumpsters, Utilities and Service Areas.

- Utilities are all underground.
- Dumpsters and recycling are provided in an enclosure accessed off the alley on the east side of the property.

#### D-9: Commercial Signage

- Potential sign opportunities are shown on the latest scheme in this package. Various opportunity for banner .
- Signs locations are provided on the canopies at the pedestrian level. There is also an opportunity for blade signs right at the individual tenant locations. Larger sign opportunities are provided if the building were going to one primary tenant.

#### D-10: Commercial Lighting.

- Specific lighting is provided to accentuate the tenant entries. Ambient light will be provided from a number of sources at the street level including but not limited to retail interior lighting, street lighting and entry lighting.
- It is anticipated that the entry to the upper floors will be well illuminated to announce that event at the street level.

## Application of South Lake Union Design Guidelines:

### Comments

#### E-1: Reinforce Existing Landscape Character of Neighborhood

- These trees will be preserved to the extent possible in keeping with the South Lake Union / Westlake Avenue strategy to protect and preserve the Horse Chesnuts in this area.
- One conflicting existing street tree was originally anticipated to be removed and replaced with two new trees that flank the upper story building entry. However at this point the owner intends to protect and maintain all of the existing trees along Westlake Avenue.
- Supplemental planting is anticipated to enhance the pedestrian experience in the area. Green walls and planters are shown to enhance the plaza area at the heart location at corner of Westlake and John.
- Three (3) street trees have been added along John Street pursuant to discussions with Bill Ames. These are shown on the site plan on sheet 4.2

### Design Departures:

### Comments

#### 1. Solid Waste & Recycling Material Storage Space. 23.48.031 D2, c.

The scheme shown does not provide the overhead clearance required in the zoning code (21' overhead clearance.). This is not possible with the grade and floor to floor dimensions.

**Proposed Mitigating Solution:** The compactor scheme is such that the trucks are not required to tilt to service the dumpsters. The compactor/dumpster combination unit is stored on the 30” dock. This is specifically in response to the requirements provided by Allied Waste Management and directly related to the types of trucks used to service this area. This is similar to numerous other installations in the South Lake Union area, including but not limited to the Group Health project located 1-block to the north, accessed via the same alley.

A 14’-8” clear height is provided in the service area where the compactor and recycling center is located.

#### 2. Street Level Uses - 23.48.019D.

*D. Required street level uses must be located within ten (10) feet of the street property line or abut an open space permitted in subsection B.*

There are 2 areas that are set back >10’. One area is to provide an outdoor eating area for a restaurant. This was encouraged by the design guidelines and is intended to create interest and variety for the pedestrians as they continue along Westlake Avenue. The further setback area is +/- 12’ from the property line.

The other area is at the heart location at the corner of Westlake and John Street. This setback additional setback is encouraged in the South Lake Union Design Guidelines. This facade is located 12’ from the property line.

If these active areas are considered to be an extension of the retail and restaurant uses and in keeping with the intent to provide uses as described in subsection B, then >90% of the facade is located within 10’ of the property line. (75% is required)