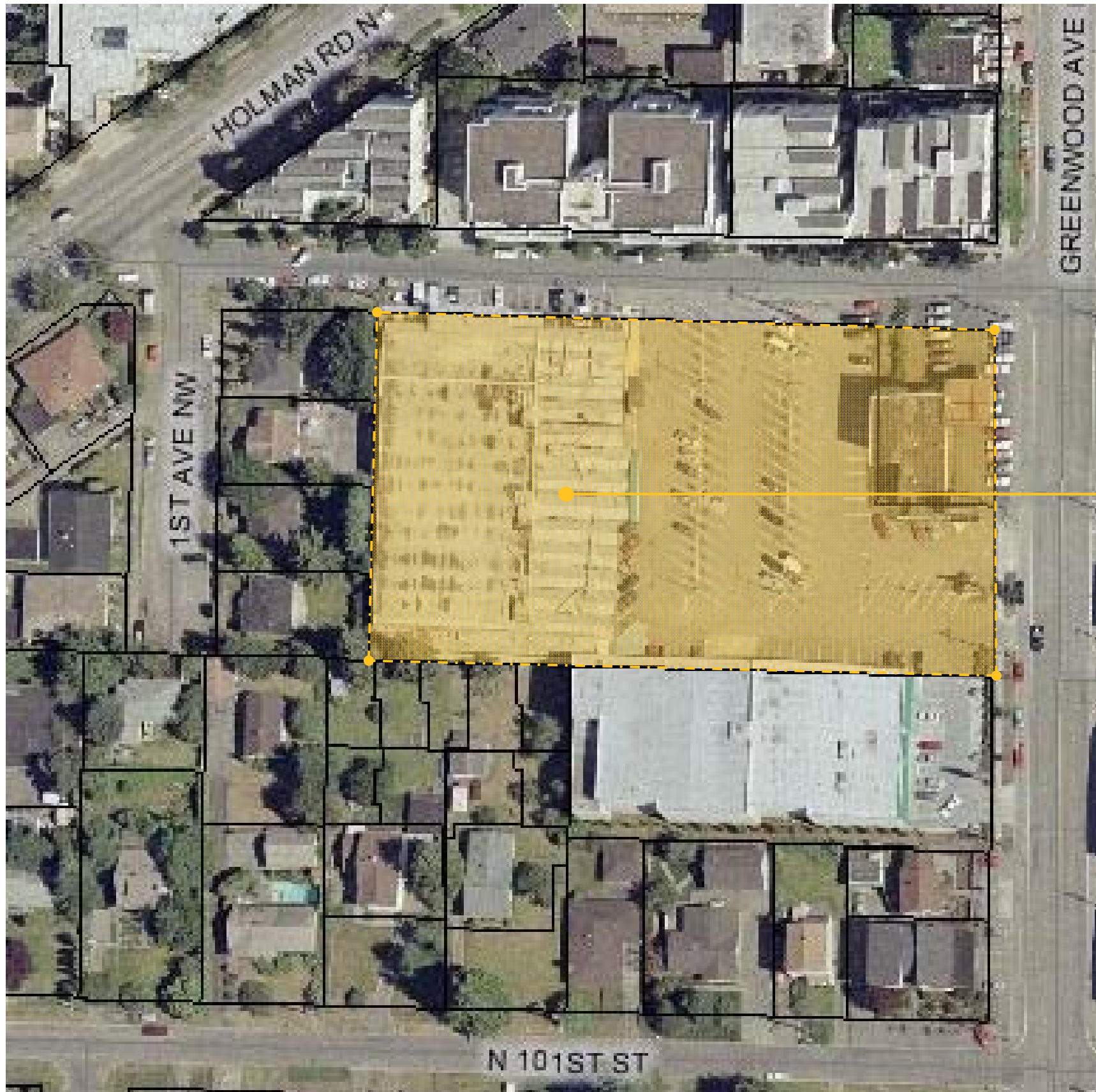


DESIGN REVIEW BOARD FINAL RECOMMENDATIONS

SEPTEMBER 22, 2008



project site

**SITE CONTEXT
PHOTOS
GREENWOOD AVE
VIEWS**



project site



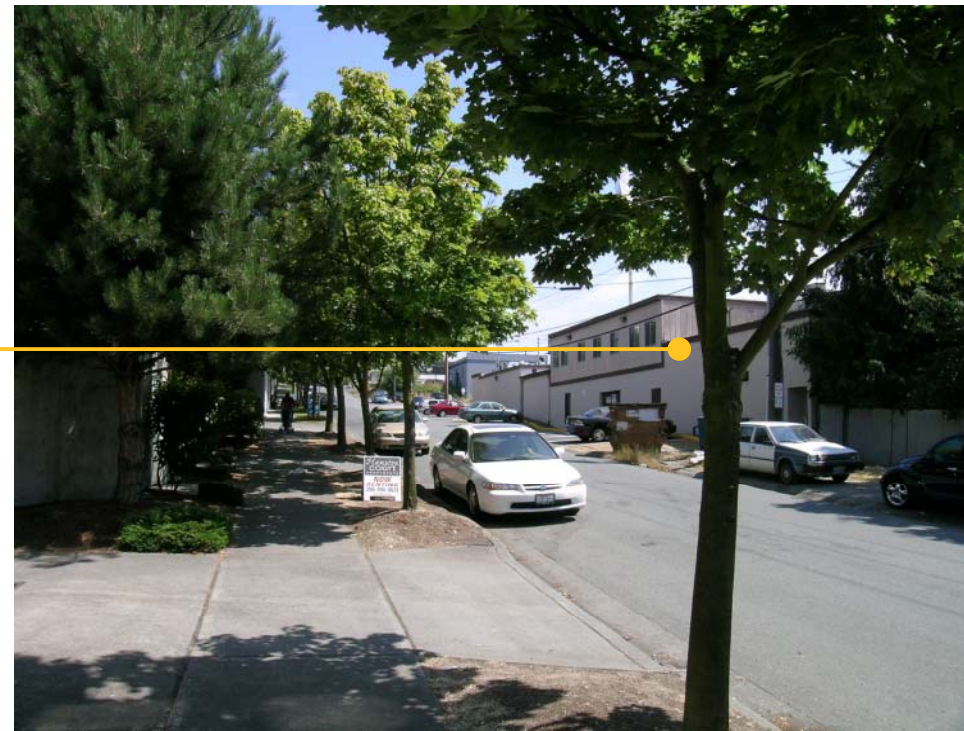
project site

SITE CONTEXT
PHOTOS
N 103RD STREET VIEWS

project site

N 103rd St

Looking East



Looking West

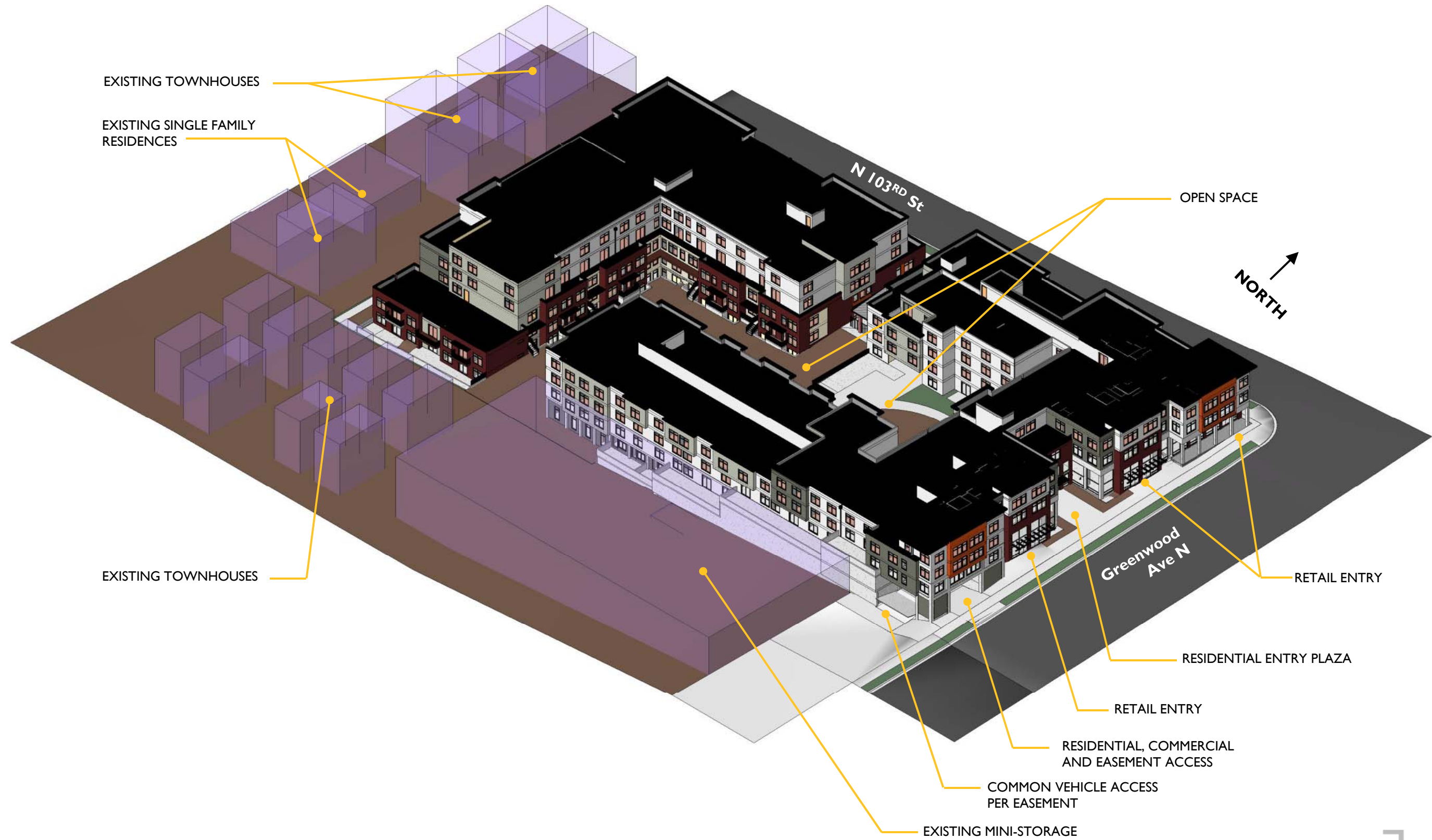


project site

Intersection of
Greenwood ave n &
N 103rd St



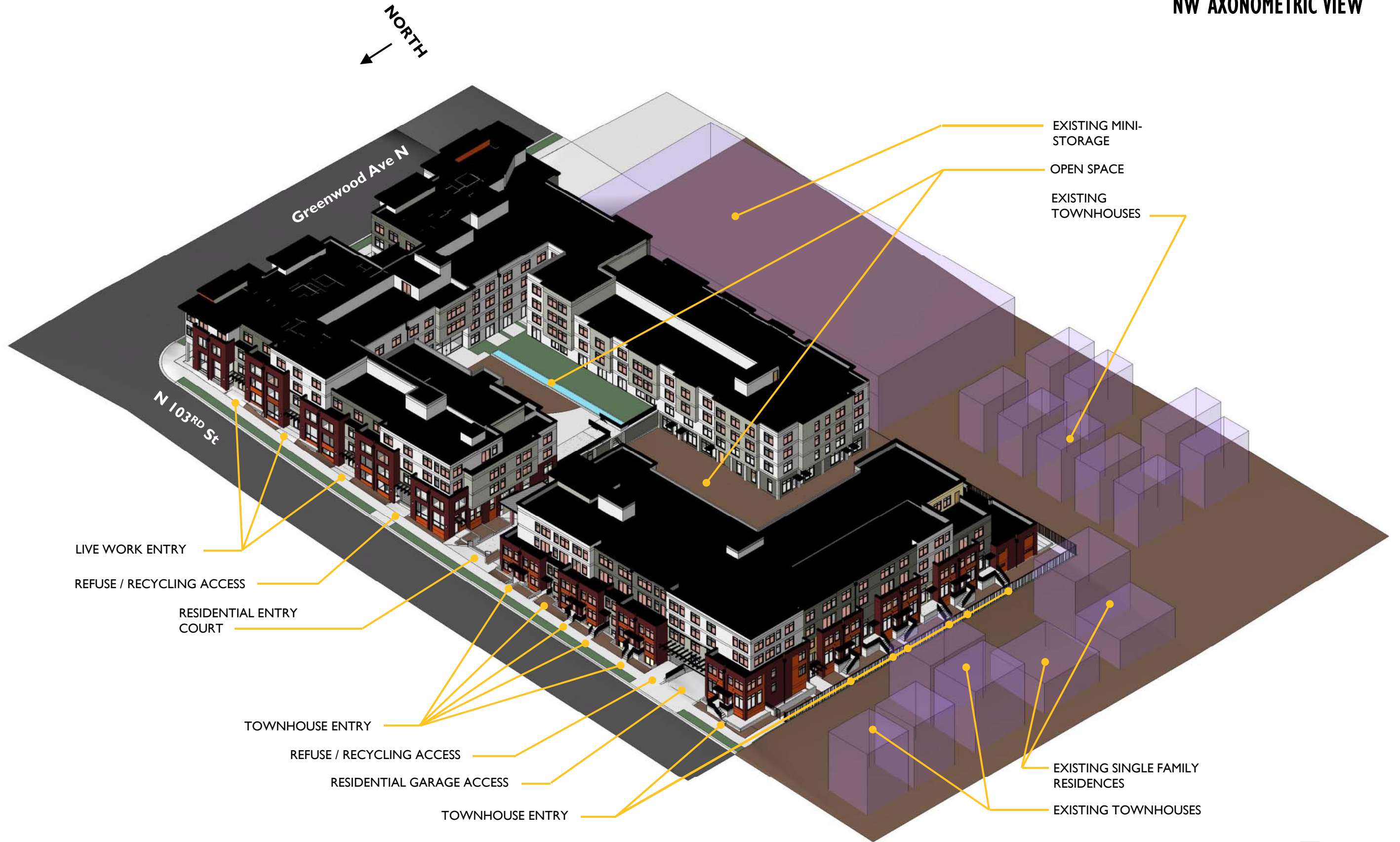
**PROJECT SITE
SE AXONOMETRIC VIEW**



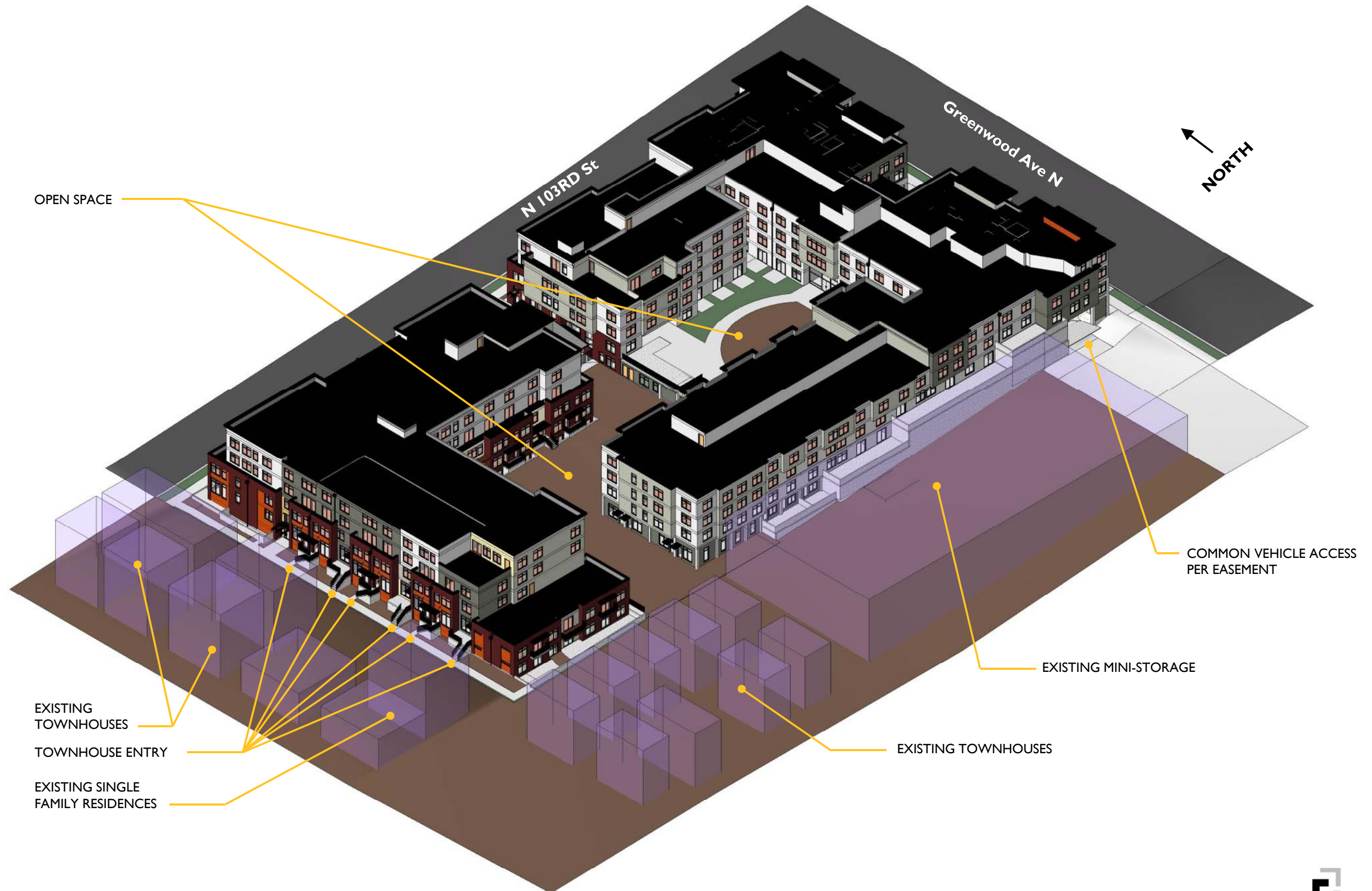
PROJECT SITE NE AXONOMETRIC VIEW



**PROJECT SITE
NW AXONOMETRIC VIEW**



PROJECT SITE
SW AXONOMETRIC VIEW





EAST ELEVATION

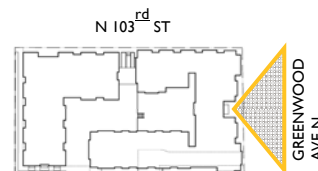
Architectural Concrete

Panel Siding – (B)
Vertical Corrugated Metal
Color: “Snowdrift White” (W81)
by ms metal sales

Face Brick – (C)
Mutual Materials Inc.
Color: “Vintage”

Panel Siding – (D)
“Hardiboard” & trim
Color: “SW-6202” – “Cast Iron”
by Sherwin Williams

Stained Wood (E)





Awning
 "Matte Black"
 By AEP-Span

Accent Color
 "Matte Black"
 by AEP-SPAN

Windows
 Vinyl "Adobe" (Gray)
 by Atrium

NORTH ELEVATION - EAST BUILDING

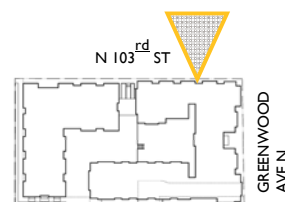
Panel Siding – (A)
 "Hardiboard" & trim
 Color: "SW-6199" - "Rare Gray"
 by Sherwin Williams

Panel Siding – (B)
 Vertical Corrugated Metal
 Color: "Snowdrift White" (W81)
 by ms metal sales

Face Brick – (C)
 Mutual Materials Inc.
 Color: "Vintage"

Panel Siding – (D)
 "Hardiboard" & trim
 Color: "SW-6202" – "Cast Iron"
 by Sherwin Williams

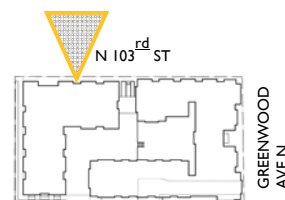
Stained Wood – (E)





NORTH ELEVATION - WEST BUILDING

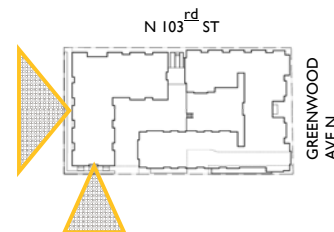
- A
- B
- C
- D
- E





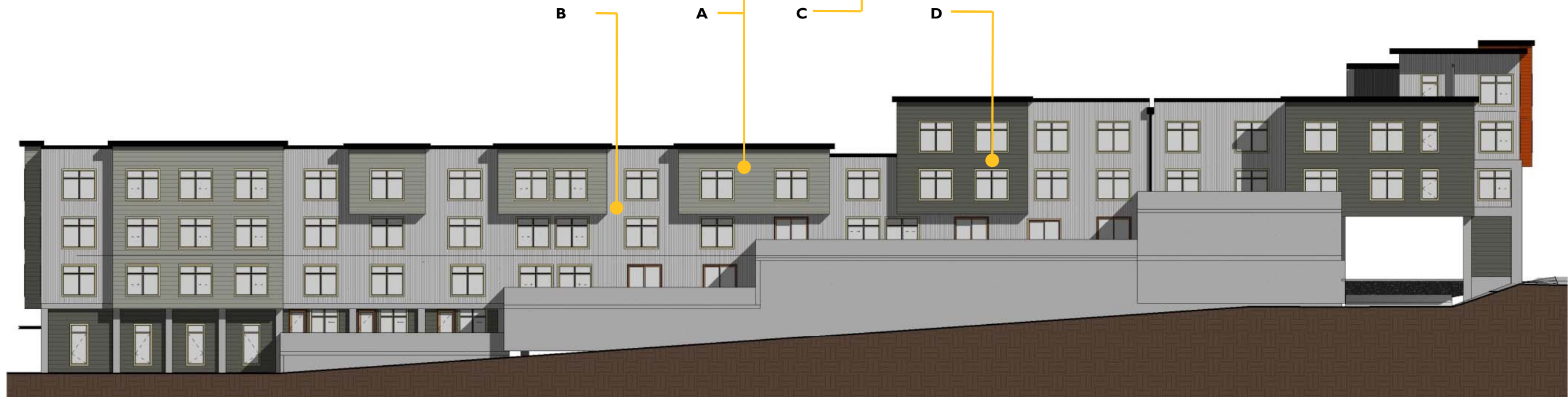
WEST ELEVATION

- A
- B
- C
- D
- E

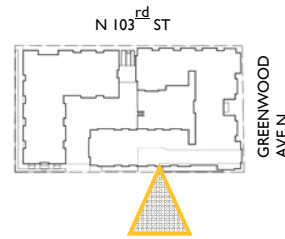




SOUTH ELEVATION - WEST BUILDING



SOUTH ELEVATION - EAST BUILDING

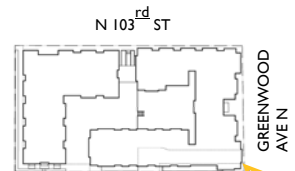


EXTERIOR PERSPECTIVES
GREENWOOD AVE N
SOUTHEAST PERSPECTIVE



**GARAGE ENTRY /
EASEMENT ACCESS**

RETAIL ENTRY



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EXTERIOR PERSPECTIVES
GREENWOOD AVE N
EAST PERSPECTIVE

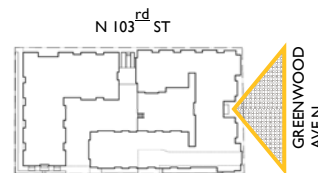


RETAIL ENTRY

RESIDENTIAL ENTRY

RETAIL ENTRY

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SEPTEMBER 22, 2008

FINAL DRB RECOMMENDATIONS

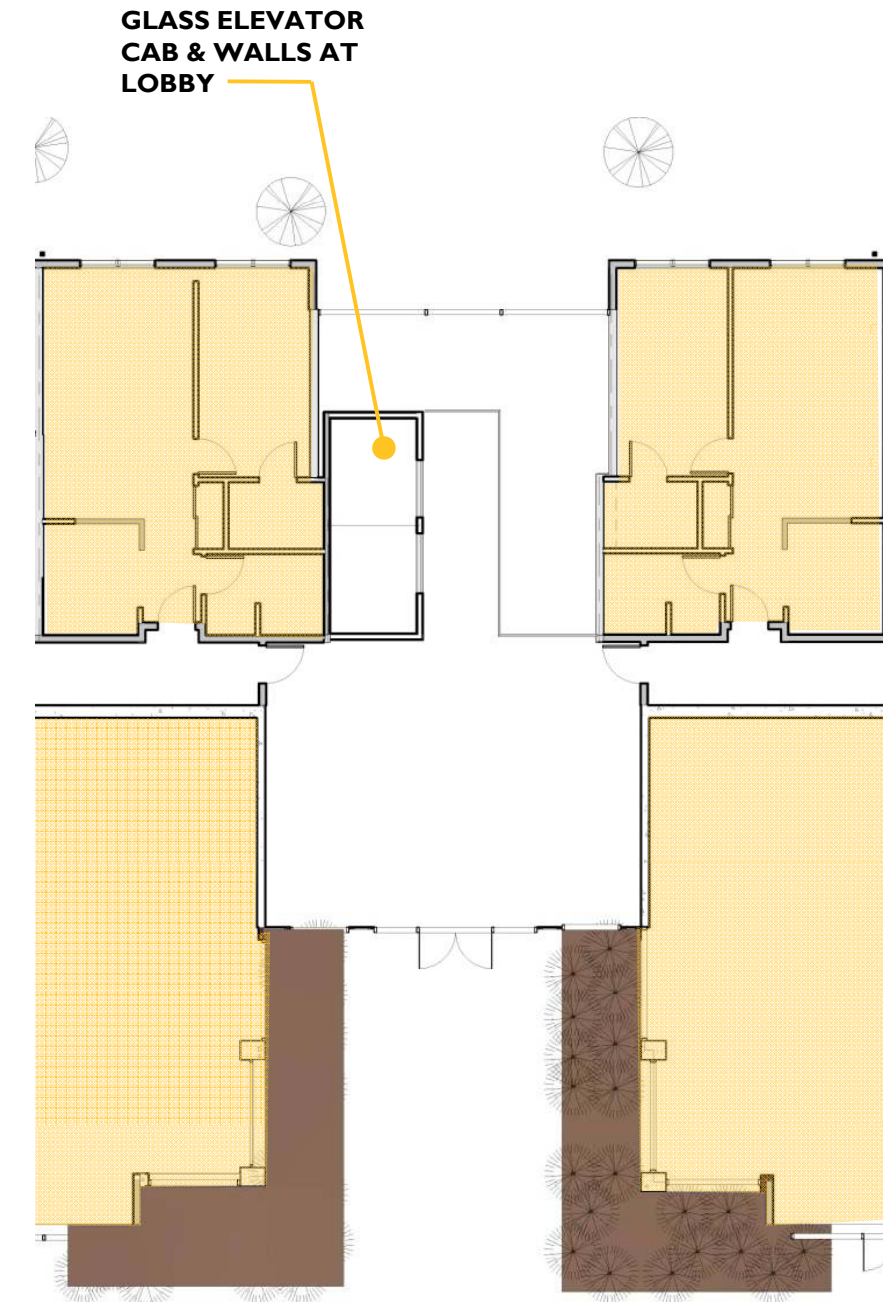

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EXTERIOR PERSPECTIVES
GREENWOOD AVE N
 MAIN RESIDENTIAL ENTRY

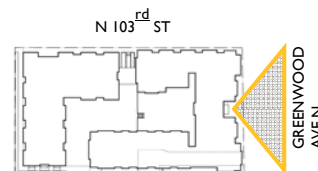


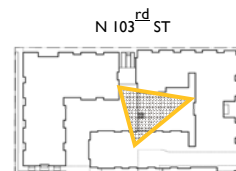
ENTRY AWNING

PERSPECTIVE



GROUND FLOOR PLAN AT ENTRY LOBBY





EXTERIOR PERSPECTIVES
DESIGN OPTION
EAST PERSPECTIVE

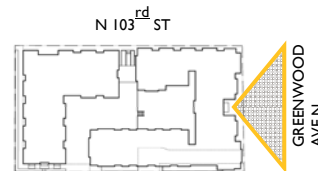


RETAIL ENTRY

RESIDENTIAL ENTRY

RETAIL ENTRY

LEILANI SQUARE 10201 GREENWOOD AVE N, SEATTLE WA



SEPTEMBER 22, 2008

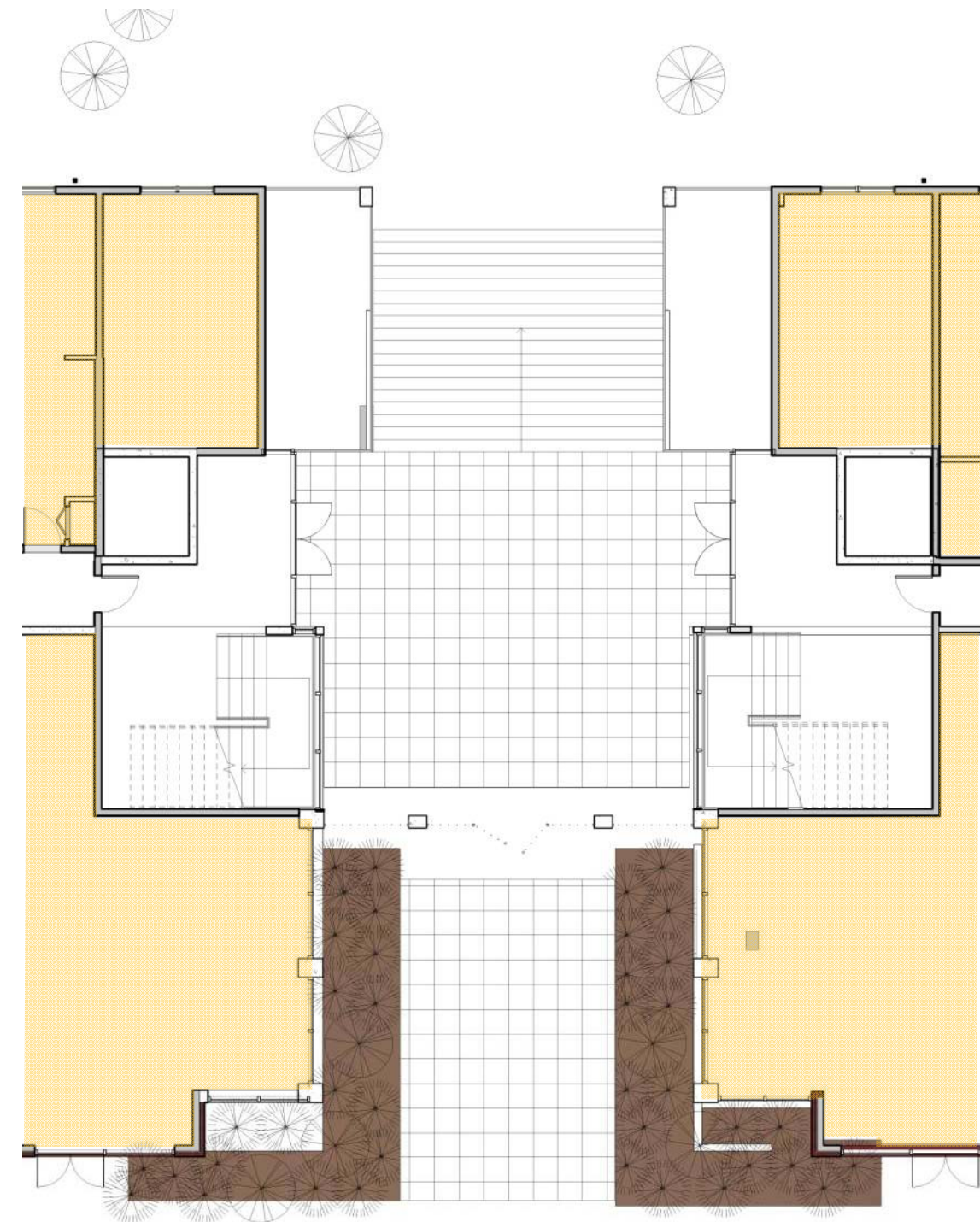
FINAL DRB RECOMMENDATIONS


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EXTERIOR PERSPECTIVES
DESIGN OPTION
MAIN RESIDENTIAL ENTRY

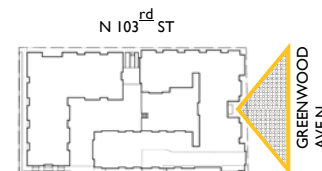


PERSPECTIVE



GROUND FLOOR PLAN AT ENTRY LOBBY

LEILANI SQUARE 10201 GREENWOOD AVE N, SEATTLE WA



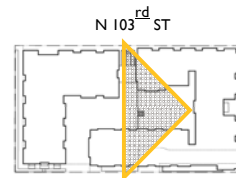
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EXTERIOR PERSPECTIVES
DESIGN OPTION
INTERIOR COURTYARD
FACING GREENWOOD



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GREENWOOD
AVEN

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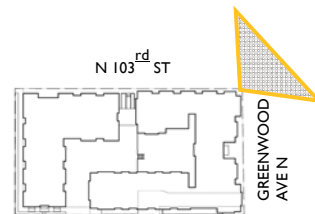
EXTERIOR PERSPECTIVES
GREENWOOD AVE N
INTERSECTION OF
GREENWOOD AVE N AND
N 103RD STREET



RETAIL CORNER

LIVE WORK ENTRY

LEILANI SQUARE 10201 GREENWOOD AVE N, SEATTLE WA



SEPTEMBER 22, 2008 **FINAL DRB RECOMMENDATIONS**

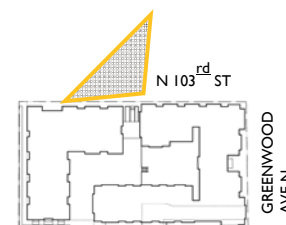

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EXTERIOR PERSPECTIVES
N 103RD STREET
EAST BUILDING @ LIVE-WORK



**REFUSE / RECYCLING
ENTRY**

**COMMON NORTH
ENTRY**



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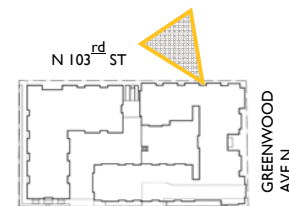
EXTERIOR PERSPECTIVES

N 103RD STREET

LIVE-WORK ENTRY



LEILANI SQUARE 10201 GREENWOOD AVE N, SEATTLE WA



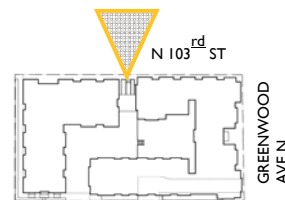
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EXTERIOR PERSPECTIVES
N 103RD STREET
NORTH COMMON ENTRY AWNING



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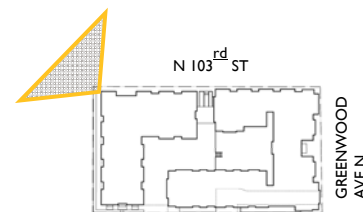
EXTERIOR PERSPECTIVES

N 103RD STREET
NORTHWEST CORNER
OF WEST BUILDING



GARAGE ENTRANCE

TOWNHOUSE ENTRY



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EXTERIOR PERSPECTIVES

N 103RD STREET

TOWNHOUSE / WALK-UP UNIT ENTRY



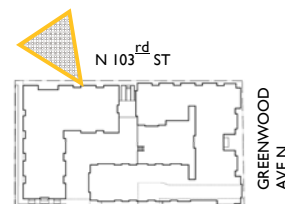
Unit Entry Awning



Outdoor Wall Lantern



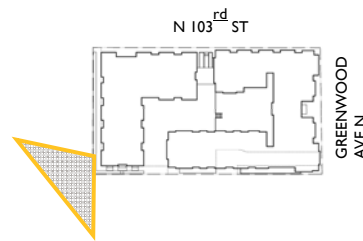
Patio and Unit Entry Railing



EXTERIOR PERSPECTIVES
N 103RD STREET
SOUTHWEST PERSPECTIVE



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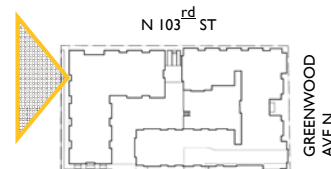
SEPTEMBER 22, 2008 **FINAL DRB RECOMMENDATIONS**


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EXTERIOR PERSPECTIVES

N 103RD STREET

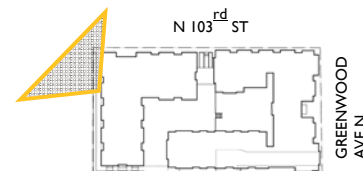
WEST ENTRY OF
WEST BUILDING



EXTERIOR PERSPECTIVES
N 103RD STREET
WEST TOWNHOUSE STOOPS
AND LANDSCAPING



LEILANI SQUARE 10201 GREENWOOD AVE N, SEATTLE WA



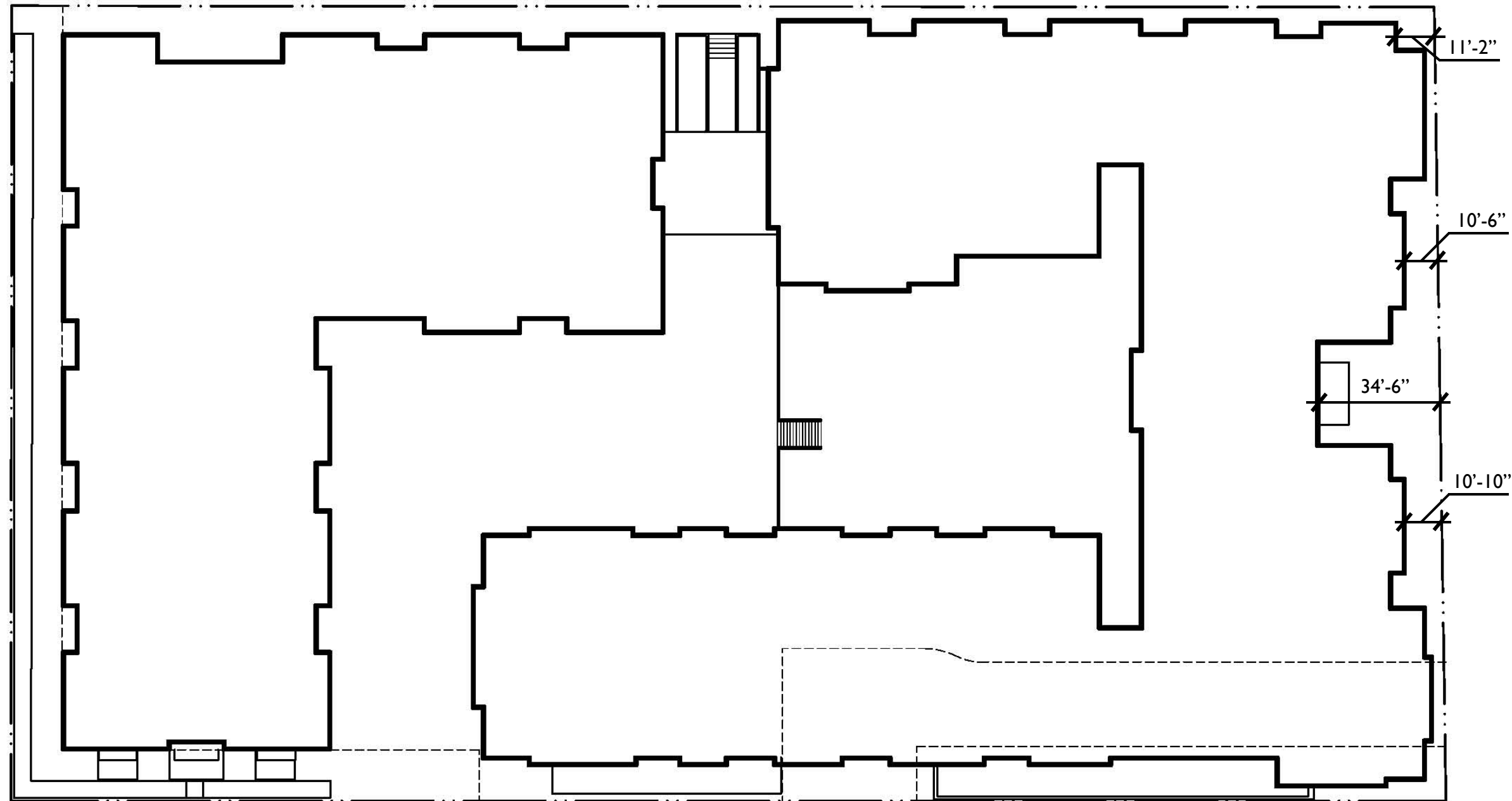
SEPTEMBER 22, 2008 **FINAL DRB RECOMMENDATIONS**


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* DEPARTURE NUMBERS 1 AND 7 NOT USED

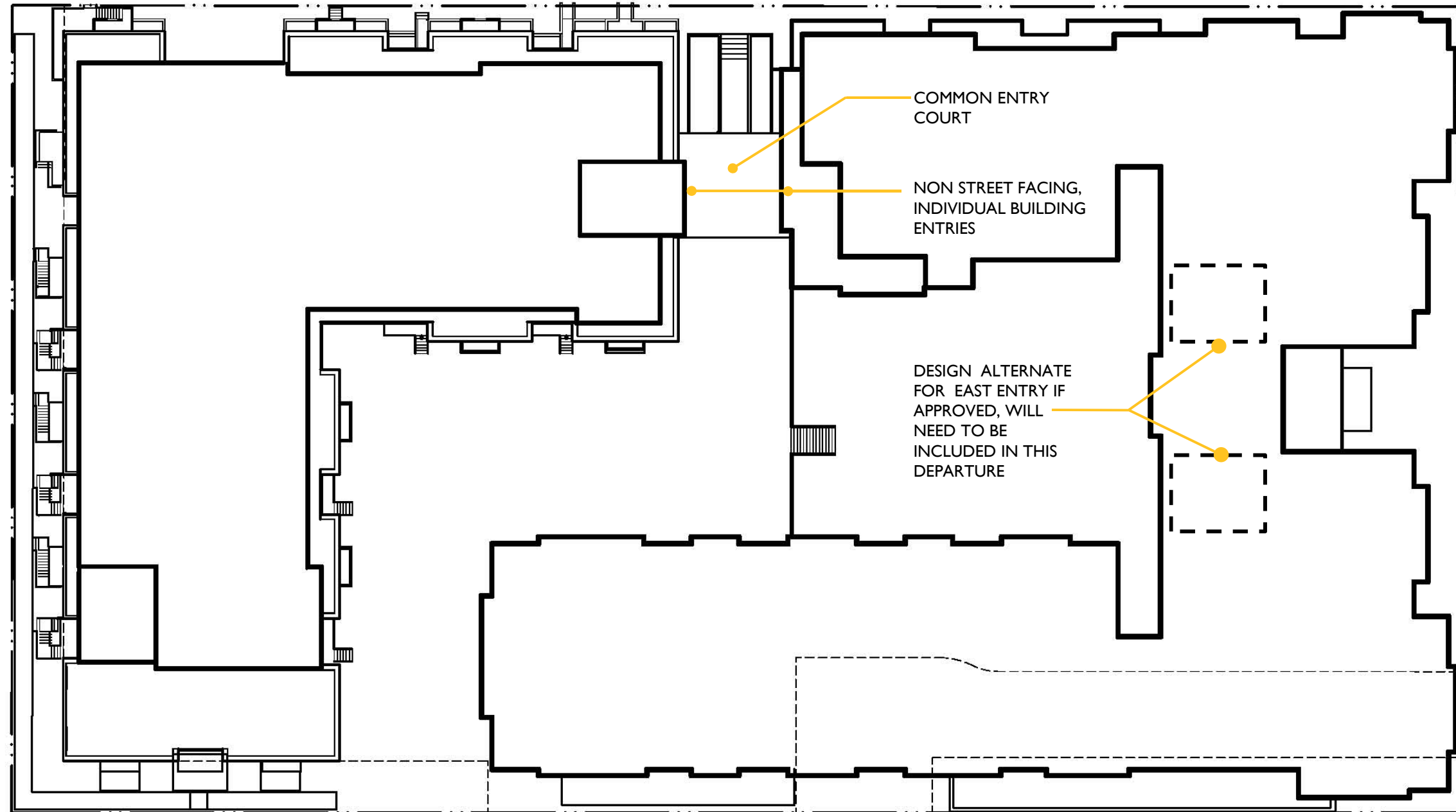
DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
2	SMC 23.47A.008A3 STREET-LEVEL STREET-FACING FACADES MUST BE LOCATED WITHIN 10' OF THE STREET LOT LINE UNLESS WIDER SIDEWALKS, PLAZAS, OR OTHER APPROVED LANDSCAPED OR OPEN SPACES ARE PROVIDED.	GREENWOOD AVENUE SETBACKS RANGE FROM 10'-6" AT RETAIL FACADES TO 34'-6" AT RESIDENTIAL ENTRY.	PROPOSED MODULATION CREATES A GENEROUS PLAZA AND THE APPEARANCE OF TWO BUILDINGS WHILE SEPARATING THE RESIDENTIAL ENTRY FROM RETAIL SPACES. THIS FULLY LANDSCAPED AREA REDUCES BUILDING SCALE BUT NECESSITATES GREATER SEPARATION FROM SIDEWALK THAN ALLOWED UNDER CODE.
3	SMC 23.47A.008D1 FOR ALL RESIDENTIAL USES, AT LEAST ONE STREET-LEVEL STREET-FACING FAÇADE MUST HAVE A VISUALLY PROMINENT ENTRY.	VISUALLY PROMINENT COMMON ENTRY COURT W/ CANOPY FACES 103 RD STREET WHICH SERVES ENTRIES TO BOTH EAST AND WEST BUILDINGS FACES 103 RD STREET, BUT INDIVIDUAL BUILDING ENTRIES DO NOT FACE STREET AT THIS LOCATION.	COMMON ENTRY COURT AND CANOPY ALLOW LARGER ENTRY AND ADDITIONAL BUILDING SEPARATION WHICH EMPHASIZES SMALLER SCALE RESIDENTIAL ELEMENTS.
4	SMC 23.47A.032A1c IF THE LOT DOES NOT ABUT AN IMPROVED ALLEY BUT ABUTS TWO OR MORE STREETS, ACCESS TO PARKING MUST BE FROM THE STREET WITH THE FEWEST LINEAL FEET OF COMMERCIAL ZONED FRONTAGE.	PARKING GARAGE ACCESS PROPOSED FROM BOTH GREENWOOD AVENUE AND 103 RD STREET.	PROPOSED PARKING ACCESS REPLACES EXISTING ACCESS ON BOTH STREETS WHILE SERVING AN ACCESS EASEMENT OFF GREENWOOD AVENUE. SIZE OF PROPOSED PROJECT ALSO WARRANTS MULTIPLE ACCESS POINTS TO LIMIT TRAFFIC IMPACT.
5	SMC 23.54.030G2 FOR TWO-WAY DRIVEWAYS OR EASEMENTS 22 FEET WIDE, A SIGHT TRIANGLE ON THE SIDE OF THE DRIVEWAY USED AS AN EXIT SHALL BE PROVIDED, AND SHALL BE KEPT CLEAR OF ANY OBSTRUCTION FOR A DISTANCE OF 10 FEET FROM THE INTERSECTION OF THE DRIVEWAY OR EASEMENT WITH A DRIVEWAY, EASEMENT, SIDEWALK, OR CURB INTERSECTION.	PARABOLIC MIRROR PROPOSED AT EXIT DRIVEWAY ACCESS / SIDEWALK INTERSECTION OFF GREENWOOD AVENUE IN LIEU OF REQUIRED SIGHT TRIANGLE.	STRICT IMPLEMENTATION OF REQUIRED SIGHT TRIANGLE PROHIBITS PLACEMENT OF STRUCTURAL COLUMNS AT BUILDING EDGE. THEREFORE, COLUMNS IMPLEMENTED TO MAINTAIN REQUIRED OVERHEAD CLEARANCES AT ACCESS EASEMENT AND BALANCE FACADE.
6	SMC 23.47A.008 A2b / B2a THE TOTAL OF ALL BLANK FAÇADE SEGMENTS MAY NOT EXCEED FORTY (40) PERCENT OF THE WIDTH OF THE FAÇADE OF THE STRUCTURE ALONG THE STREET. SIXTY (60) PERCENT OF THE STREET-FACING FAÇADE BETWEEN TWO (2) AND EIGHT (8) FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT.	PROJECT PROPOSES 41.2% BLANK FAÇADE AND 58.8% TRANSPARENT FAÇADE ON THE NORTH SIDE OF THE EAST BUILDING.	ALL STREET FACING FACADES COMBINED ARE 35.8% BLANK FAÇADE AND 64.2% TRANSPARENT. THE PROJECT ON WHOLE COMPLIES WITH CODE REQUIREMENTS.
8	SMC 23.54.030 F1b FOR RESIDENTIAL STRUCTURE IN NON-SF / MF ZONES, CURBCUTS ARE LIMITED TO 20' MAX WIDTH FOR ONE TWO-WAY DRIVEWAY.	PROJECT PROPOSES A 30'-0" WIDE CURBCUT ALONG N 103 RD STREET AT THE WEST BUILDING.	CURBCUT FOR THE WEST BUILDING PROVIDES SERVICE TO BOTH RESIDENTIAL PARKING GARAGE (BELOW GRADE) AND THE REFUSE / RECYCLING ROOM AT STREET LEVEL. CURBCUT WIDTH IN EXCESS OF 20' IS REQUIRED TO PROVIDE LEVEL TRANSITION AT MIN. 10' WIDE CURBCUT FOR REFUSE CONTAINERS PER REQUIREMENTS OUTLINED BY SPU CONTRACTORS.

**DEPARTURE 2:
FAÇADE
SETBACK**



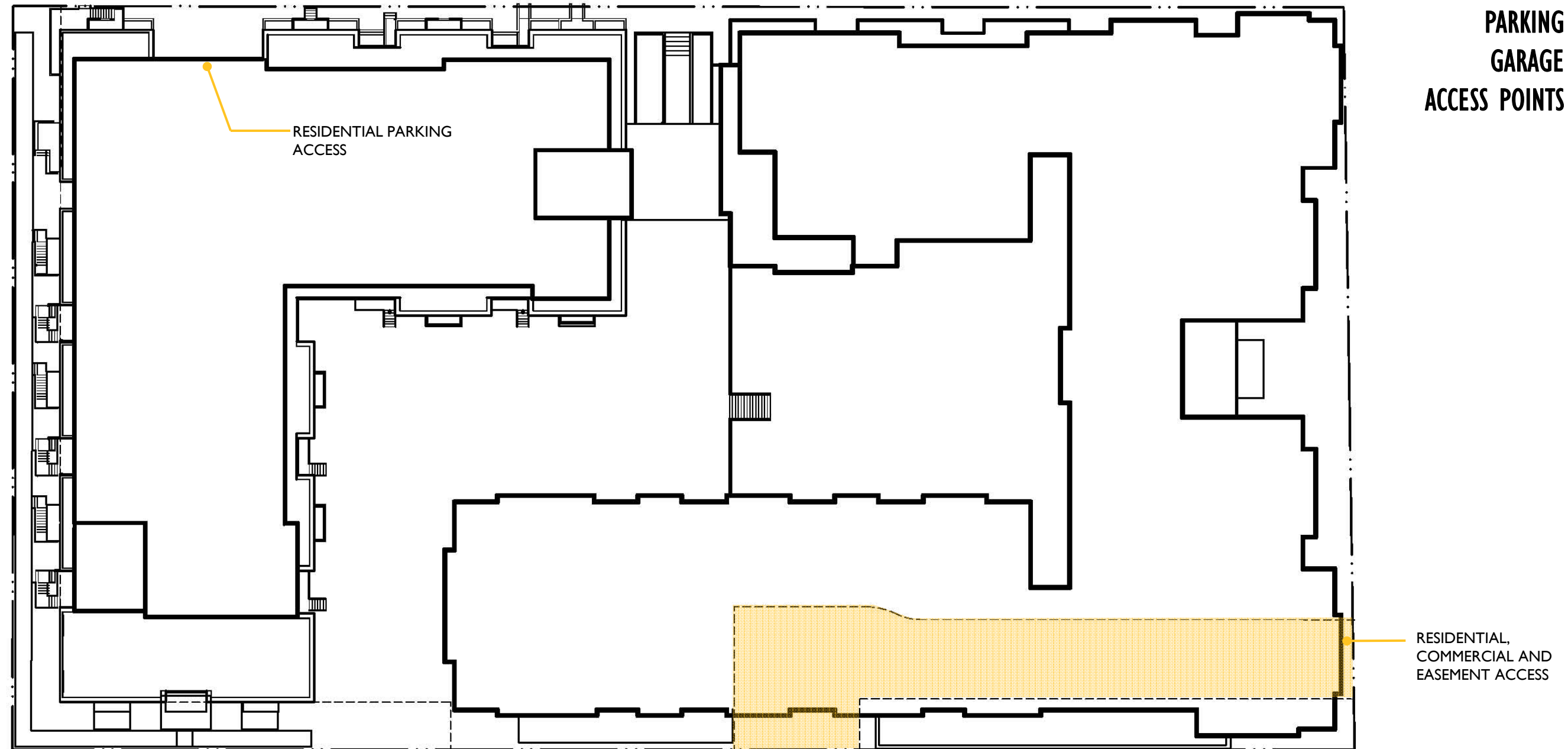
DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
2	SMC 23.47A.008A3 STREET-LEVEL STREET-FACING FACADES MUST BE LOCATED WITHIN 10' OF THE STREET LOT LINE UNLESS WIDER SIDEWALKS, PLAZAS, OR OTHER APPROVED LANDSCAPED OR OPEN SPACES ARE PROVIDED.	GREENWOOD AVENUE SETBACKS RANGE FROM 10'-6" AT RETAIL FACADES TO 34'-6" AT RESIDENTIAL ENTRY.	PROPOSED MODULATION CREATES A GENEROUS PLAZA AND THE APPEARANCE OF TWO BUILDINGS WHILE SEPARATING THE RESIDENTIAL ENTRY FROM RETAIL SPACES. THIS FULLY LANDSCAPED AREA REDUCES BUILDING SCALE BUT NECESSITATES GREATER SEPARATION FROM SIDEWALK THAN ALLOWED UNDER CODE.

**DEPARTURE 3:
VISUALLY
PROMINENT
ENTRY**



DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
3	SMC 23.47A.008D1 FOR ALL RESIDENTIAL USES, AT LEAST ONE STREET-LEVEL STREET-FACING FAÇADE MUST HAVE A VISUALLY PROMINENT ENTRY.	VISUALLY PROMINENT COMMON ENTRY COURT W/ CANOPY FACES 103 RD STREET WHICH SERVES ENTRIES TO BOTH EAST AND WEST BUILDINGS FACES 103 RD STREET, BUT INDIVIDUAL BUILDING ENTRIES DO NOT FACE STREET AT THIS LOCATION.	COMMON ENTRY COURT AND CANOPY ALLOW LARGER ENTRY AND ADDITIONAL BUILDING SEPARATION WHICH EMPHASIZES SMALLER SCALE RESIDENTIAL ELEMENTS.

**DEPARTURE 4:
PARKING
GARAGE
ACCESS POINTS**

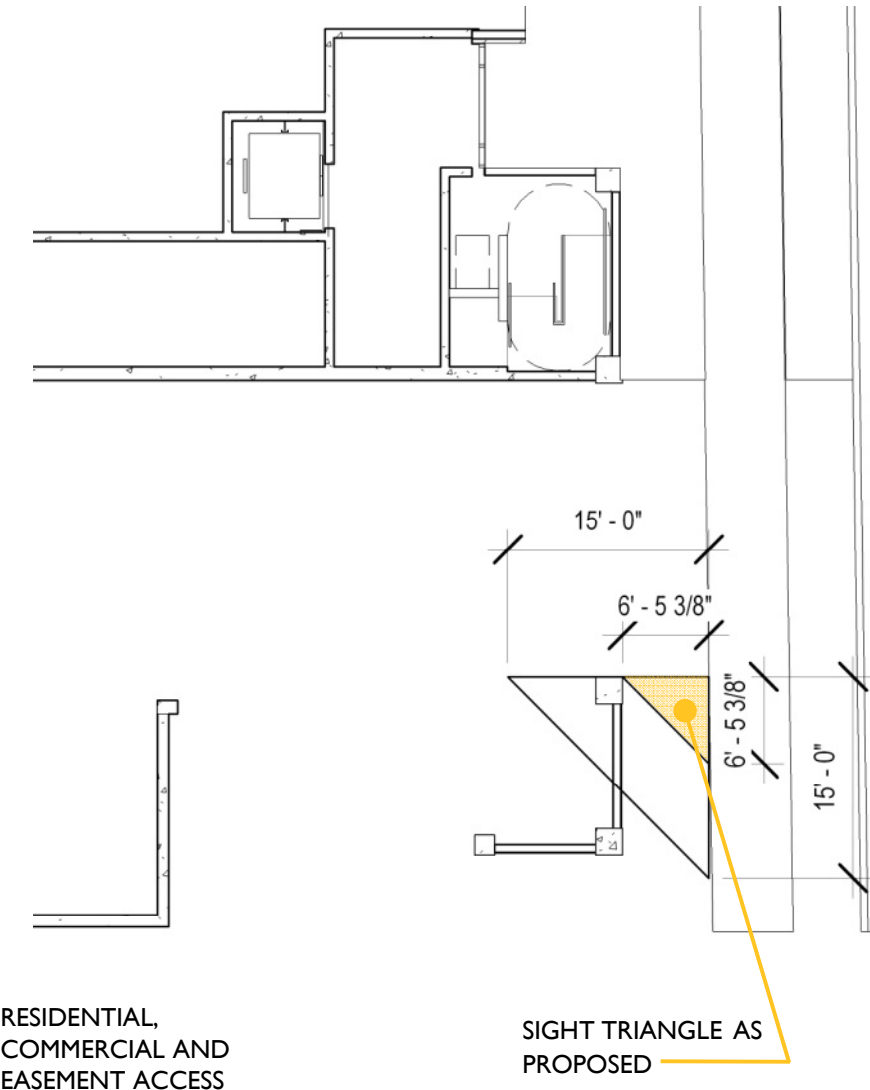


DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
4	SMC 23.47A.032A1c IF THE LOT DOES NOT ABUT AN IMPROVED ALLEY BUT ABUTS TWO OR MORE STREETS, ACCESS TO PARKING MUST BE FROM THE STREET WITH THE FEWEST LINEAL FEET OF COMMERCIAL ZONED FRONTAGE.	PARKING GARAGE ACCESS PROPOSED FROM BOTH GREENWOOD AVENUE AND 103 RD STREET.	PROPOSED PARKING ACCESS REPLACES EXISTING ACCESS ON BOTH STREETS WHILE SERVING AN ACCESS EASEMENT OFF GREENWOOD AVENUE. SIZE OF PROPOSED PROJECT ALSO WARRANTS MULTIPLE ACCESS POINTS TO LIMIT TRAFFIC IMPACT.

**DEPARTURE 5:
SIGHT TRIANGLE**



PERSPECTIVE



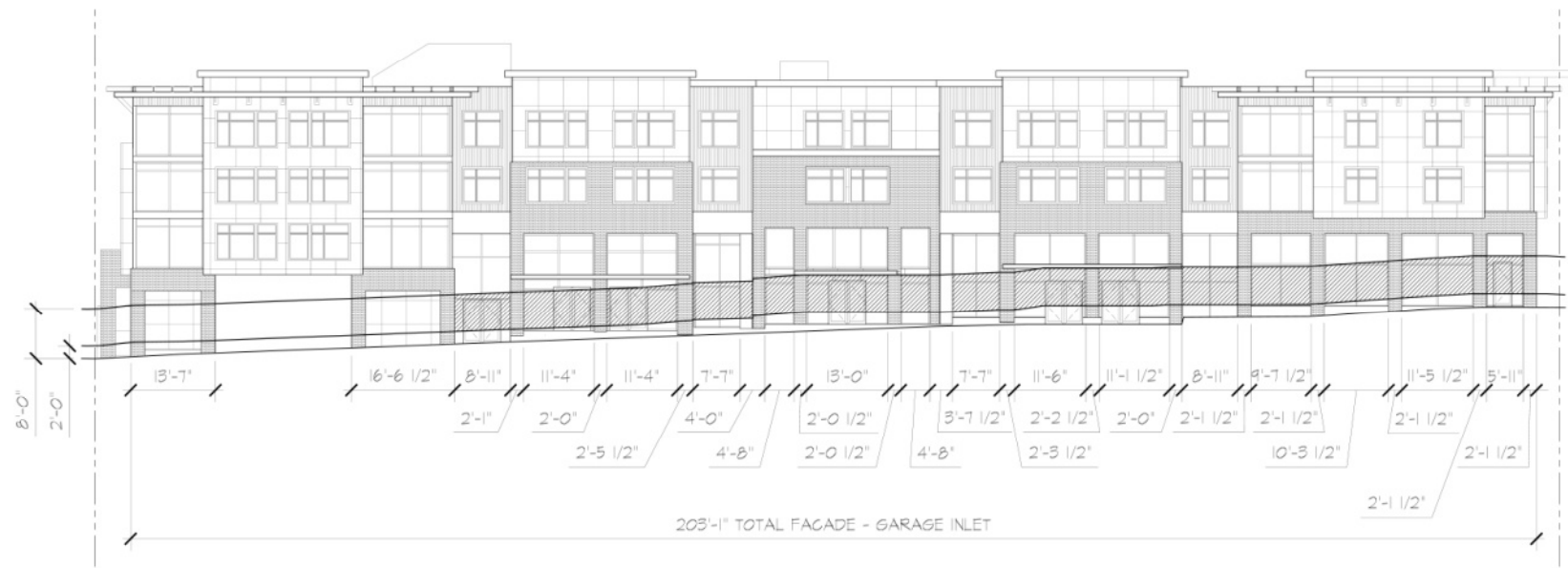
RESIDENTIAL,
COMMERCIAL AND
EASEMENT ACCESS

SIGHT TRIANGLE AS
PROPOSED

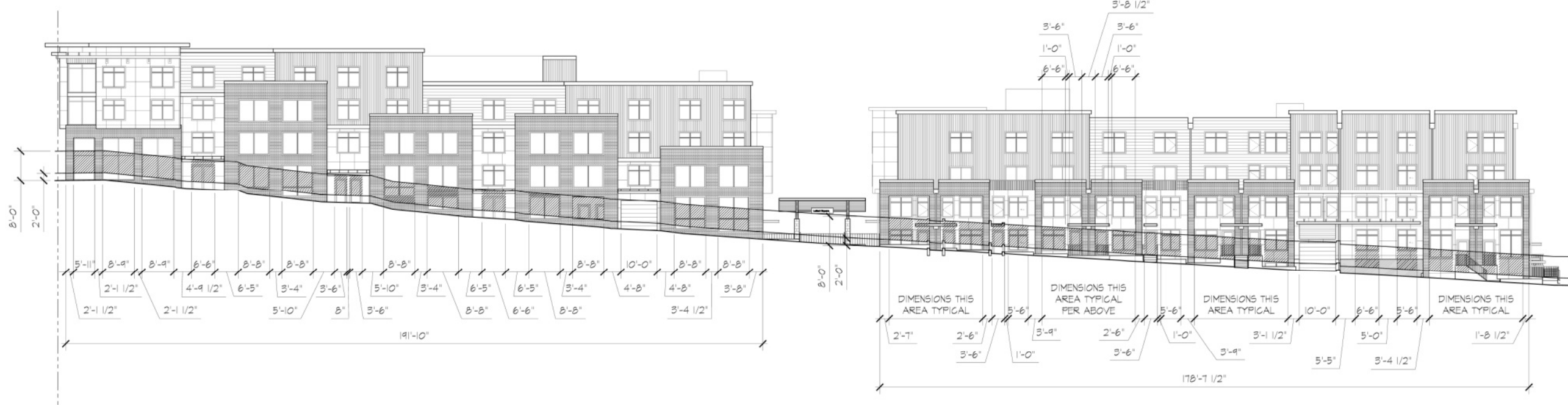
GROUND FLOOR PLAN AT GARAGE ENTRY

DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
5	SMC 23.54.030G2 FOR TWO-WAY DRIVEWAYS OR EASEMENTS 22 FEET WIDE, A SIGHT TRIANGLE ON THE SIDE OF THE DRIVEWAY USED AS AN EXIT SHALL BE PROVIDED, AND SHALL BE KEPT CLEAR OF ANY OBSTRUCTION FOR A DISTANCE OF 10 FEET FROM THE INTERSECTION OF THE DRIVEWAY OR EASEMENT WITH A DRIVEWAY, EASEMENT, SIDEWALK, OR CURB INTERSECTION.	PARABOLIC MIRROR PROPOSED AT EXIT DRIVEWAY ACCESS / SIDEWALK INTERSECTION OFF GREENWOOD AVENUE IN LIEU OF REQUIRED SIGHT TRIANGLE.	STRICT IMPLEMENTATION OF REQUIRED SIGHT TRIANGLE PROHIBITS PLACEMENT OF STRUCTURAL COLUMNS AT BUILDING EDGE. THEREFORE, COLUMNS IMPLEMENTED TO MAINTAIN REQUIRED OVERHEAD CLEARANCES AT ACCESS EASEMENT AND BALANCE FACADE.

DEPARTURE 6:
BLANK /
TRANSPARENT
FAÇADE
NORTH FAÇADE



EAST ELEVATION – FAÇADE COMPLIANT



NORTH ELEVATION BUILDING 1 – FAÇADE OF PROPOSED DEPARTURE



NORTH ELEVATION BUILDING 2 – FAÇADE COMPLIANT

DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
6	SMC 23.47A.008 A2b / B2a THE TOTAL OF ALL BLANK FAÇADE SEGMENTS MAY NOT EXCEED FORTY (40) PERCENT OF THE WIDTH OF THE FAÇADE OF THE STRUCTURE ALONG THE STREET. SIXTY (60) PERCENT OF THE STREET-FACING FAÇADE BETWEEN TWO (2) AND EIGHT (8) FEET ABOVE THE SIDEWALK SHALL BE TRANSPARENT.	PROJECT PROPOSES 41.2% BLANK FAÇADE AND 58.8% TRANSPARENT FAÇADE ON THE NORTH SIDE OF THE EAST BUILDING.	ALL STREET FACING FAÇADES COMBINED ARE 35.8% BLANK FAÇADE AND 64.2% TRANSPARENT. THE PROJECT ON WHOLE COMPLIES WITH CODE REQUIREMENTS.

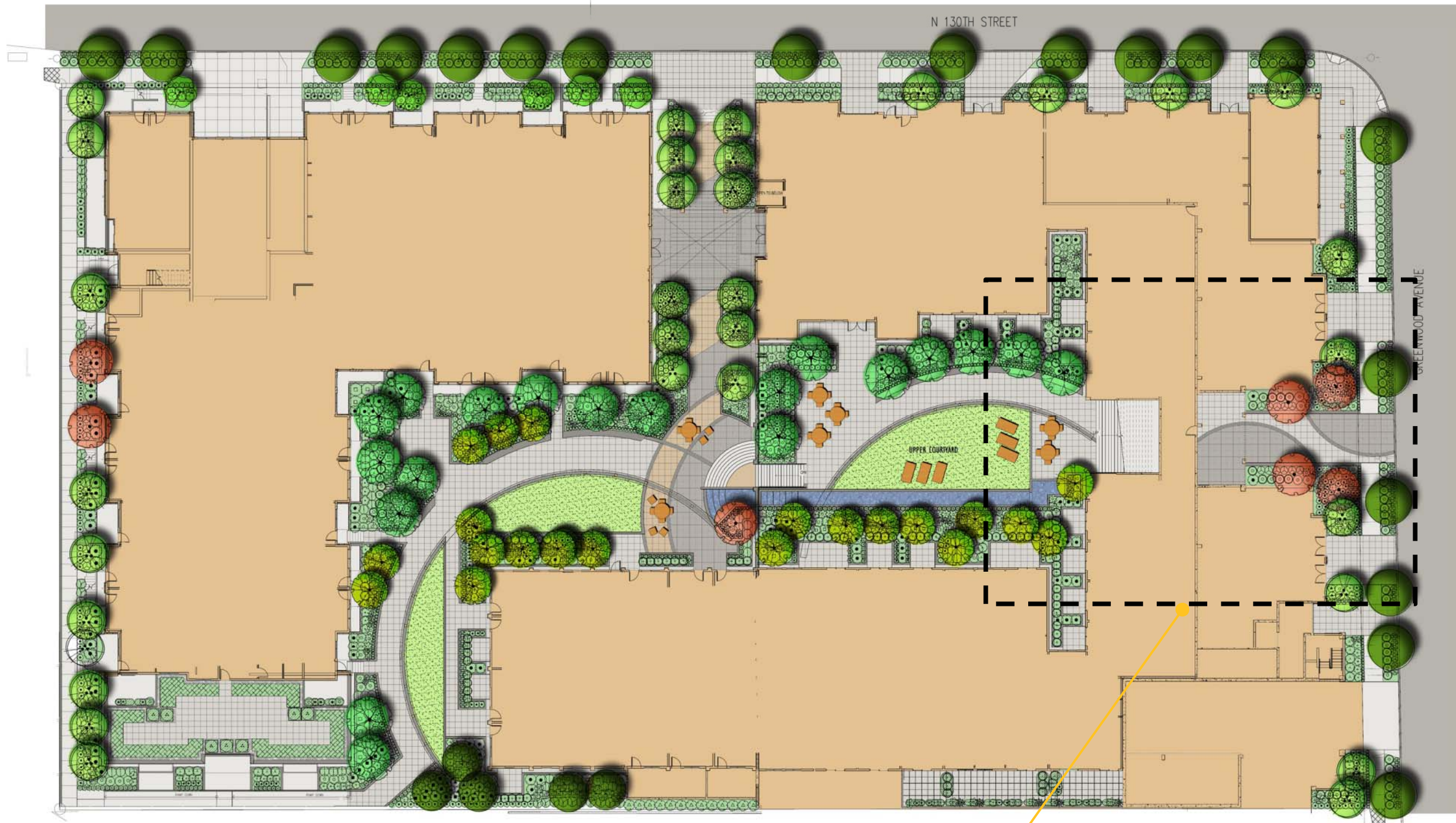


**DEPARTURE 8:
CURBCUT
WIDTH**



DEPARTURE	CODE REQUIREMENT	PROJECT PROPOSAL	RATIONALE
8	SMC 23.54.030 F1b FOR RESIDENTIAL STRUCTURE IN NON-SF / MF ZONES, CURBCUTS ARE LIMITED TO 20' MAX WIDTH FOR ONE TWO-WAY DRIVEWAY.	PROJECT PROPOSES A 30'-0" WIDE CURBCUT ALONG N 103 RD STREET AT THE WEST BUILDING.	CURBCUT FOR THE WEST BUILDING PROVIDES SERVICE TO BOTH RESIDENTIAL PARKING GARAGE (BELOW GRADE) AND THE REFUSE / RECYCLING ROOM AT STREET LEVEL. CURBCUT WIDTH IN EXCESS OF 20' IS REQUIRED TO PROVIDE LEVEL TRANSITION AT MIN. 10' WIDE CURBCUT FOR REFUSE CONTAINERS PER REQUIREMENTS OUTLINED BY SPU CONTRACTORS.

LANDSCAPE
GROUND LEVEL
PLANTING PLAN



ENTRY DESIGN
OPTIONS SHOWN ON
NEXT SLIDE

**LANDSCAPE
GROUND LEVEL
PLANTING PLAN**

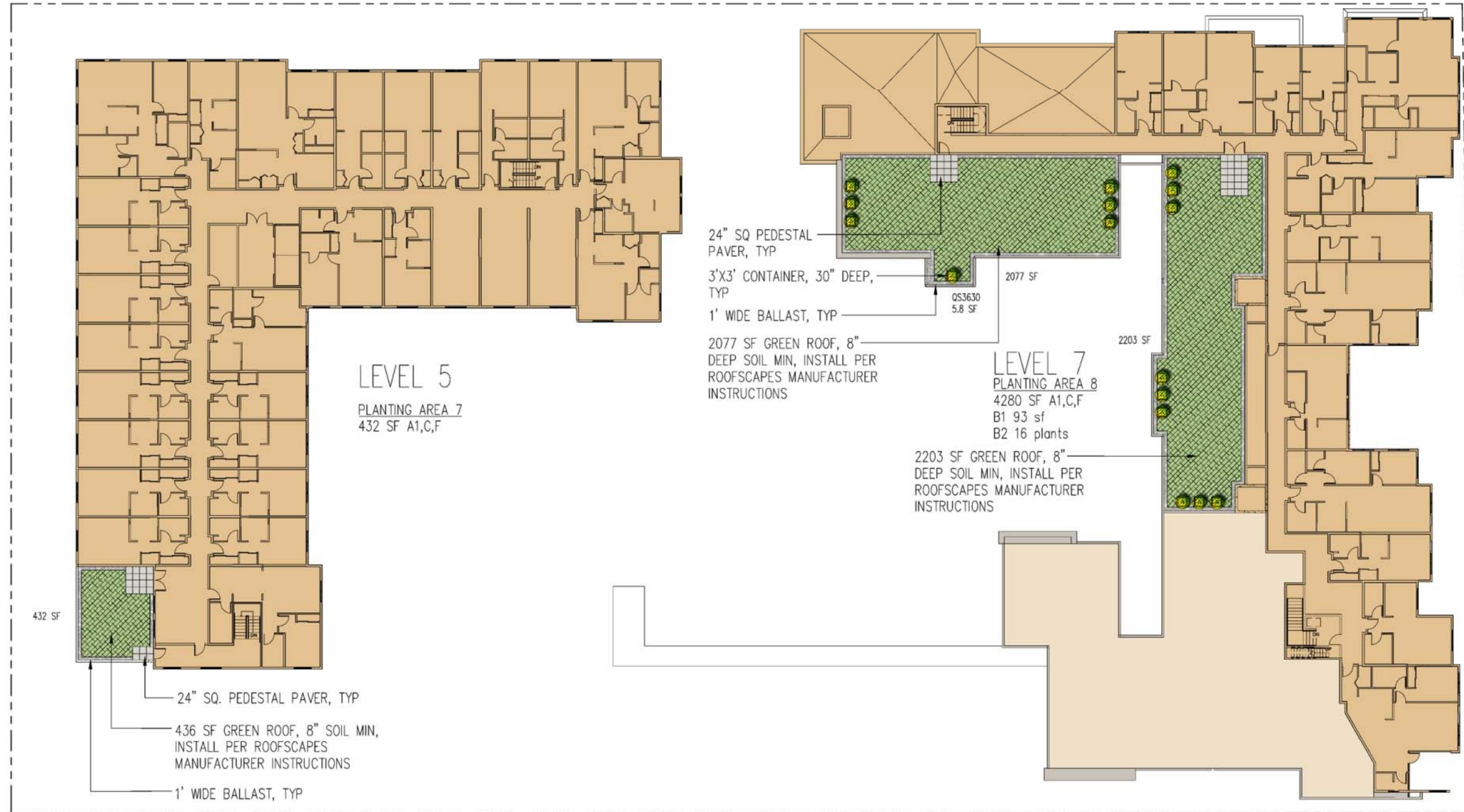


PRIMARY DESIGN



DESIGN OPTION

**LANDSCAPE
ROOF LEVEL
DETAIL PLAN**



LANDSCAPE
PLANTING SELECTIONS



BLUE OAT GRASS



MEXICAN ORANGE



STEWARTIA



JAPANES BLOOD GRASS



LIRIOPE



BOXWOOD



HEAVENLY BAMBOO



HELEBORES



NEW ZEALAND FLAX



KOUSA DOGWOOD



ROSEMARY



HOSTA



MAGNOLIA



MISCANTHUS



EUPHORBIA



PIERIS



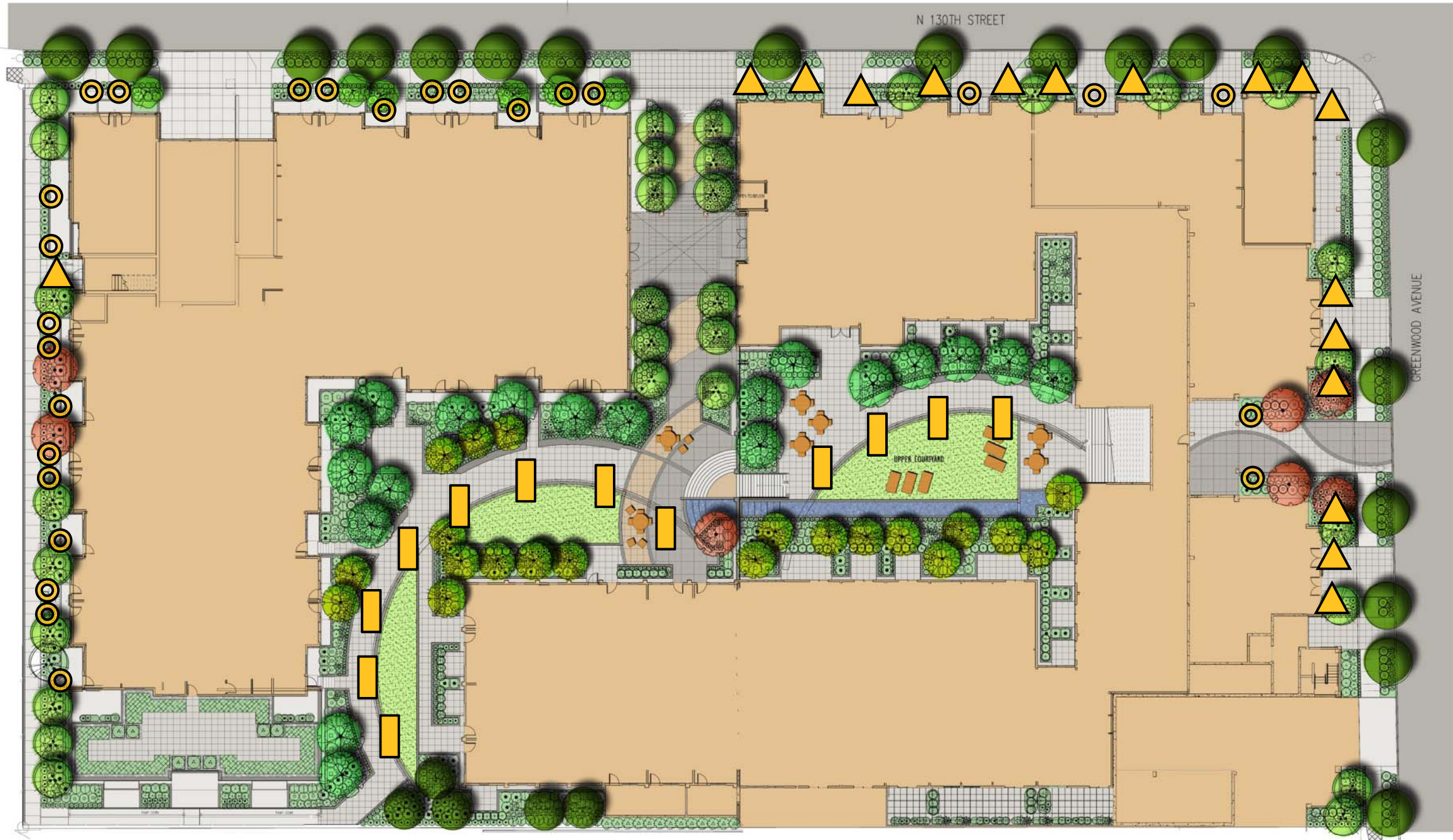
SERVICEBERRY



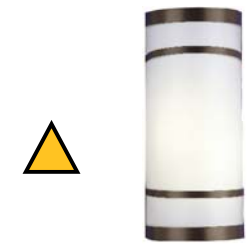
LAVENDER

Lighting Locations:
 - these locations represent a mixture of
 landscape and building lighting for
 aesthetics and security.

LIGHTING PLAN



Outdoor Wall Lantern



Outdoor Sconce



Outdoor Post Lantern

Note: reference plans
 for exact lighting fixture
 locations