30 – LID Review and Revision

LID Code Integration Process Description

Per Section S5.C.5.b of the permit, Seattle reviewed, revised and made effective development-related codes, rules and standards, or other enforceable documents to incorporate and require Low Impact Development (LID) Principles and LID Best Management Practices (BMPs). The intent of the revisions was to make LID the preferred and commonly-used approach to site development. The revisions minimize impervious surfaces, native vegetation loss, and stormwater runoff of development situations.

Overall Approach

The City of Seattle began its LID Code Integration process in May 2013 with an orientation meeting for NPDES Coordinators and supervisors in all relevant departments. At that initial kick-off meeting, the permit requirement was outlined, and an official workgroup was chartered to carry out the review-revise-make-effective process for City of Seattle development-related Codes and Standards. Basic elements of the workgroup chartering included:

- Establishing accountability at the Department level to carry out the permit requirement
- Establishing clear roles and responsibilities. Each Department, led by its NPDES Coordinator, was to have decision-making authority over policy decisions affected their Code(s) and was to be responsible/accountable for meeting all regulatory deadlines. If legislative action were to be required, each Department would manage its own outreach and legislative process.
- Law was available to advise on legal questions. The Office of Sustainability was established as the coordinator and facilitator of necessary inter-departmental policy discussions and decision-making.
- A consistent approach (evaluation/reporting form) would be adopted, to ensure both a similar level of inquiry/analysis across departments and a similar approach to reporting.
- The workgroup would meet quarterly for one year and as needed beyond that time. As the process evolved, Department-specific meetings became more useful than large group check-ins, so this approach became the norm.

In September of 2013, this 'bottom-up' approach was further supported with a 'top-down' letter from the Director of Seattle Public Utilities to all relevant department heads, underscoring the seriousness of the Permit requirement, the need for staff to be assigned and given adequate time to work on the integration process, and the risk of penalties associated with failure to meet compliance deadlines. A senior-level policy advisor, with a dual appointment in Seattle Public Utilities and the Office of Sustainability and Environment, was assigned to coordinate the City-wide process. And a senior staff

attorney in the Law Department was assigned to support staff in all relevant departments.

Departments completed their revision processes on time, including passing legislation, where required, by January 15, 2016, the alternative date established in accordance with S5.C.5.a.iii of the permit. Training to support relevant staff's effort to implement revisions will continue throughout 2016.

Following are the review analyses for the documents reviewed. The review considered the LID categories: site planning; soils; landscaping, native vegetation, street landscaping; hard and impervious surfaces; bulk and dimensional considerations; clearing and grading; streets and roads; parking; design guidelines and standards; stormwater management and maintenance; zoning requirements; and critical areas and shoreline management. For each of the categories, a symbol indicates minimization of impervious surface, native vegetation loss, and stormwater runoff.

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Each analysis includes a description, if applicable, of how the requirement was changed to make LID the preferred and commonly-used approach to site development. The review also identified areas that Seattle had already incorporated LID principles into the development requirements.

The following review summaries are identified with the corresponding numbers identified in the header of the document:

1 - Stormwater Code and Manual

2 - Side Sewer Code

3 – Standard Plans

4 – SPU Internal Design Standards and Guidance

5 – Right-of-Way Improvements Manual

6 – Old Street Tree Manual

7 – Shoreline Street Ends

8 – Street Tree Ordinance

9 – Title 15 – Street and Sidewalk Use

10 – Complete Streets

11 – Landscaping Director's Rule

12 – Seattle Building Code

13 – Comprehensive Plan

14 – Environmentally Critical Areas Regulations

15 – Seattle Grading Code

16 – Land Use Code

17 – Shoreline Master Program

18 – Tree Protection Code

19 – Seattle Parks and Recreation (SPR) Design Standards

- 19a – Temporary Tree, Vegetation & Soil Protection
- 19b – Water Feature Design
- 19c – Earthwork
- 19d – Pathway and Pavement Edging
- 19e – Play Area Design
- 19f – Trail Construction and Restoration
- 19g – Irrigation Systems
- 19h – Soil Preparation
- 19i – Landscape Planting Design
- 19j – Site Restoration of Natural Areas
- 19k – P-Patch Water Systems Design
- 19l – Storm Sewer System Design

25 – Seattle Fire Code

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Stormwater Code & Manual

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Sherell Ehlers	Strategic Advisor	Stormwater Policy Advisor	Seattle Public Utilities
Susie Larson	Civil Engineer	Drainage Plan Reviewer	Seattle Public Utilities
Michelle Lange	Strategy Lead	Strategic Planner	Seattle Public Utilities
Ede Courtenay	Site Review Supervisor	Supervisor	Seattle Department of Construction & Inspections

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers / developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Volume 1, Chapter 7	2009 Stormwater Manual included site planning, but added language to re clustering buildings.	X Yes, Vol. 1, pg. 7-4 ☐ No If yes, include language : *Before designing the site and stormwater infrastructure, consider the following:* *Impervious and Pervious Surfaces:* *o Fit development to the terrain to minimize land disturbance* *o For sites with varied soil types, locate impervious areas over less permeable soil* *(e.g., till). Minimize development over more porous soils. Use porous soils by locating bioretention and permeable pavement over them.* *o Cluster buildings together* *o Minimize impervious surfaces (e.g., buildings, sidewalks)* *o Minimize pollution-generating hard surfaces (PGHS) (e.g., areas subject to vehicular use such as driveways and parking strips)* *o Minimize pollution-generating pervious surfaces (PGPS)*	☐ Yes X No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Volume 1, Chapter 7	From 2009 SW Manual: *For sites with varied soil types, locate impervious areas over less permeable soil (e.g., till). Minimize development over more porous soils.*	X Yes ☐ No If yes, include language : *For sites with varied soil types, locate impervious areas over less permeable soil* *(e.g., till). Minimize development over more porous soils. Use porous soils by locating bioretention and permeable pavement over them.*	☐ Yes X No If yes, list document title(s):
	Stormwater management facility locations	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual,	2009 Stormwater Manual included language re placement of stormwater	X Yes ☐ No If yes, include language : Added language to Manual	☐ Yes ☐ No If yes, list document title(s):

	Can/does document require designers / developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?			Volume 1, Chapter 7	facilities, but additional language added.	*Stormwater:* *o Identify the approved point of discharge and conveyance system flow path, both pipe and topographically* *o Manage stormwater runoff (quantity and quality) as close to the point of origin as possible* *o Minimize the quantity of stormwater collection and conveyance systems required* *o Use simple, nonstructural methods for stormwater management* *o <u>Use dispersion, infiltration, rainwater harvesting, and alternative surface BMPs where feasible</u>*	
	Requiring On-site Stormwater Management Do On-site thresholds apply to most development projects in the City of Seattle	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.030.B & 22.805.050.B	Seattle's 2009 Code & Ecology's Manual that required 2,000 sf threshold for On-site (MR#5) allowed a level of projects that were previously one lot to not be required to provide on-site stormwater management. Therefore, Seattle adopted a 750 sf threshold for Single-Family & Parcel-based projects created after January 1, 2016.	X Yes ☐ No If yes, include language : Added language to Code: *22.805.030 MINIMUM REQUIREMENTS FOR SINGLE-FAMILY RESIDENTIAL PROJECTS* *B. On-site Stormwater Management. Single-family residential projects shall meet the Minimum Requirements for On-site Stormwater Management contained in Section 22.805.070, to the extent allowed by law, if:* *1. For a project on a lot most recently created, adjusted, altered, or otherwise amended by a plat or other lawful document recorded with the King County Recorder on or after January 1, 2016, and where that document either created the lot or reduced the size of the lot, either the total new plus replaced hard surface is 750 square feet or more or land disturbing activity is 7,000 square feet or more;* *22.805.050 MINIMUM REQUIREMENTS FOR PARCEL-BASED PROJECTS* *B. On-site Stormwater Management. Parcel-based projects shall meet the Minimum Requirements for On-site Stormwater Management contained in Section 22.805.070, to the extent allowed by law, if:* *1. For a project on a lot most recently created, adjusted, altered, or otherwise amended by a plat or other lawful document recorded with the King County Recorder on or after January 1, 2016,*	

						and where that document either created the lot or reduced the size of the lot, either the total new plus replaced hard surface is 750 square feet or more or land disturbing activity is 7,000 square feet or more;	
	Requiring On-site Stormwater Management Do On-site thresholds apply to most development projects in the City of Seattle	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.030.B & 22.805.050.B	Seattle's 2009 Code & Ecology's Manual that required 2,000 sf threshold for On-site (MR#5) allowed a level of projects to not have to provide any on-site stormwater management. Therefore, Seattle adopted a 1,500 sf threshold for Single-Family & Parcel-based projects.	X Yes ☐ No If yes, include language : Added language to Code: *22.805.030 MINIMUM REQUIREMENTS FOR SINGLE-FAMILY RESIDENTIAL PROJECTS* ***B. On-site Stormwater Management. Single-family residential projects shall meet the Minimum Requirements for On-site Stormwater Management contained in Section 22.805.070, to the extent allowed by law, if:*** *1. For a project on a lot most recently created, adjusted, altered, or otherwise amended by a plat or other lawful document recorded with the King County Recorder on or after January 1, 2016, and where that document either created the lot or reduced the size of the lot, either the total new plus replaced hard surface is 750 square feet or more or land disturbing activity is 7,000 square feet or more; or* ***2. For any other project, either the total new plus replaced hard surface is 1,500 square feet or the land disturbing activity is 7,000 square feet or more.*** *22.805.050 MINIMUM REQUIREMENTS FOR PARCEL-BASED PROJECTS* ***B. On-site Stormwater Management. Parcel-based projects shall meet the Minimum Requirements for On-site Stormwater Management contained in Section 22.805.070, to the extent allowed by law, if:*** *1. For a project on a lot most recently created, adjusted, altered, or otherwise amended by a plat or other lawful document recorded with the King County Recorder on or after January 1, 2016, and where that document either created the lot or reduced the size of the lot, either the total new plus replaced hard surface is 750 square feet or more or land*	

						disturbing activity is 7,000 square feet or more; or ***2. For any other project, either the total new plus replaced hard surface is 1,500 square feet or more or the land disturbing activity is 7,000 square feet or more.***	
	Use of On-site BMPs to the maximum extent feasible when other requirements apply	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.080.B & 22.805.090.B	Changed 2009 Code so that GSI no longer referenced and On-site BMPs must be used to Maximum extent feasible to meet Flow Control and Water Quality Treatment requirements	X Yes ☐ No If yes, include language : 22.805.080 MINIMUM REQUIREMENTS FOR FLOW CONTROL *B. Requirements. Flow control facilities shall be installed to the extent allowed by law and maintained pursuant to rules promulgated by the Director to receive flows from that portion of the site being developed. Post-development discharge determination must include flows from dewatering activities. <u>All projects shall use on-site BMPs identified in Section 22.805.070.D to the maximum extent feasible to meet the minimum requirements.</u>* *22.805.090 MINIMUM REQUIREMENTS FOR TREATMENT* *B. Requirements. Water quality treatment facilities shall be installed to the extent allowed by law and maintained pursuant to rules promulgated by the Director to treat flows from the pollution-generating pervious and impervious surfaces on the site being developed. When stormwater flows from other areas, including non-pollution generating surfaces (e.g., roofs), dewatering activities, and off-site areas, cannot be separated or bypassed, treatment BMPs shall be designed for the entire area draining to the treatment facility. <u>All projects shall use on-site BMPs identified in Section 22.805.070.D to the maximum extent feasible to meet the minimum requirements.</u>*	☐ Yes ☐ No If yes, list document title(s):
	Use of BMPs beyond Ecology requirements for MR#5	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.070	Changed 2009 Code from GSI BMP terminology to "On-site BMP" and continued to require evaluation of additional BMPs (e.g. vegetated roofs, bioretention planters, rainwater harvesting).	X Yes No If yes, include language : Parcel-Based Project On-site BMPs included: *Full Dispersion* *Infiltration Trenches* *Dry Wells* *Rain Gardens* *Infiltrating Bioretention*	☐ Yes ☐ No If yes, list document title(s):

						Rainwater Harvesting *Permeable Pavement Facilities* *Permeable Pavement Surfaces* *Sheet Flow Dispersion* *Concentrated Flow Dispersion* *Splashblock Downspout Dispersion* *Trench Downspout Dispersion* *Non-infiltrating Bioretention* *Vegetated Roofs* *Perforated Stub-out Connections* *Newly Planted Trees*	
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.020.D .2 2016 Stormwater Manual, Volume 3, Chapter 5	Existing Requirement: *2. Retain Top Layer. Within the boundaries of the project site, the duff layer, topsoil, and native vegetation, if there is any, shall be retained in an undisturbed state to the maximum extent feasible. If it is not feasible to retain the top layer in place, it should be stockpiled on-site, covered to prevent erosion, and replaced immediately upon completion of the land disturbing activities to the maximum extent feasible.*	X Yes ☐ No If yes, include language : Added requirements for Soil Amendment to each project type: *A. Soil Amendment. Retain and protect undisturbed soil in areas not being developed, and prior to completion of the project, amend all new, replaced, and disturbed topsoil (including construction lay-down areas) with organic matter to the extent required by and in compliance with the rules promulgated by the Director.*	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit, BMP T5-13?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement	2016 Stormwater Manual, Volume 3, Chapter 5	2009 Stormwater Manual included language for compost amending soil that is equivalent to BMP T5-13 that was incorporated into 2016 Stormwater Manual.		
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Stormwater Code, SMC 22.805.020.D .19.b Stormwater Manual, Volume 1, Chapter 7	2009 Stormwater Code had some language regarding limiting compaction, but added language to 2016 Stormwater Code	X Yes ☐ No If yes, include language : Added Code language: *b. Prevent compacting on-site BMPs by excluding construction equipment and foot traffic. Protect completed lawn and landscaped areas from compaction due to construction equipment.* e*. Keep all heavy equipment off existing soils under on-site BMPs that have been*	☐ Yes ☐ No If yes, list document title(s):

						excavated to final grade, to retain the infiltration rate of the soils. Added Manual language: *Minimize or prevent compaction and protect soils*	1 – Stormwater Code and Manual
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Volume 1	2009 Stormwater Manual included some language regarding protecting and planting trees.	X Yes ☐ No If yes, include language : Added language to 2016 Stormwater Manual: *Efforts should be made, as required and encouraged by local development codes, to conserve natural areas, retain native vegetation, reduce impervious surfaces, and integrate stormwater controls into the existing site layout to the maximum extent feasible.* • *Landscaping:* *o Maintain and use natural drainage patterns* *o Preserve and use natural features and resources, including trees* *o Create a multifunctional landscape using the natural site hydrology as a framework for site design* *o Confine and phase construction activities to minimize disturbed areas, and minimize impacts to environmentally critical areas and their associated buffers* *o Plant new trees in proximity to ground level impervious surfaces for on-site stormwater management and/or flow control credit* *o Minimize or prevent compaction and protect soils*	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No X Does not apply					
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping	☐ Yes ☐ No X Does not apply					

	requirements for street frontages?						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No X Does not apply					
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No X Does not apply					
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No X Does not apply					
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Stormwater Code, SMC 22.805.070.D .1	2009 Stormwater Code required GSI/LID to the maximum extent feasible	X Yes ☐ No If yes, include language : Permeable Pavement was added as a Category 2 BMP to the On-site List and is required above many of the other On-site BMPs	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No X Does not apply					
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to	☐ Yes ☐ No X Does not apply					

	minimize site disturbance?						
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No X Does not apply					
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No X Does not apply					
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No X Does not apply					
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement	2016 Stormwater Manual, Volume 1, Chapter 7	*Impervious and Pervious Surfaces:* ○ *Fit development to the terrain to minimize land disturbance* ○ *For sites with varied soil types, locate impervious areas over less permeable soil (e.g., till). Minimize development over more porous soils. Use porous soils by locating bioretention and permeable pavement over them.* ○ *Cluster buildings together* ○ *Minimize impervious surfaces (e.g., buildings, sidewalks)* ○ *Minimize pollution-generating hard surfaces (PGHS) (e.g., areas subject to vehicular use such as driveways and parking strips)* ○ *Minimize pollution-generating pervious surfaces (PGPS)*	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils	X Yes ☐ No ☐ Does not apply	X Yes ☐ No	2016 Stormwater Manual,	2009 Stormwater Manual included some language	X Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):

	Can/does document include provisions aimed at conserving native vegetation?		☐ See existing requirement	Volume 1, Chapter 7	regarding protecting and planting trees.	Added language to 2016 Stormwater Manual: *Efforts should be made, as required and encouraged by local development codes, to conserve natural areas, retain native vegetation, reduce impervious surfaces, and integrate stormwater controls into the existing site layout to the maximum extent feasible.* • *Landscaping:* *o Maintain and use natural drainage patterns* *o Preserve and use natural features and resources, including trees* *o Create a multifunctional landscape using the natural site hydrology as a framework for site design* *o Confine and phase construction activities to minimize disturbed areas, and minimize impacts to environmentally critical areas and their associated buffers* *o Plant new trees in proximity to ground level impervious surfaces for on-site stormwater management and/or flow control credit* *o Minimize or prevent compaction and protect soils*	
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Volume 2, Chapter 2	2009 Stormwater Manual had existing language regarding sequencing	X Yes ☐ No If yes, include language : Additional language added to Chapter 2, Volume 2 of 2016 Stormwater Manual: *The Construction Stormwater and Erosion Control Plan applies BMPs that fall within the19 elements of water quality, air quality, and downstream resource protection and are required by the Stormwater Code (SMC, Chapter 22.805.020.D). These 19 elements (refer to Volume 1) cover general water and air quality protection strategies, including:* • *Limiting project site impacts* • *Protecting the public drainage system, combined and sanitary sewers, and downstream receiving waters* • *Preventing erosion and sedimentation* • *Managing activities and sources Project designers must review the applicable elements of SMC 22.805.020.D and ensure the specific requirements under each of the 19 elements in the code are fully addressed by the project site stormwater pollution prevention controls.*	☐ Yes ☐ No If yes, list document title(s):

	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No X Does not apply					
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No X Does not apply					
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.070.D .5	Requirement missing in 2009 Stormwater Code	X Yes ☐ No If yes, include language : Added requirement to evaluate permeable pavement roadways (non-arterial/non-collector) and alleys for: Projects Discharging to a Receiving Water Not Designated by Section 22.801.050, or its Basin	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No X Does not apply					
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No X Does not apply					
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low	☐ Yes ☐ No X Does not apply					

	pedestrian volumes (industrial, etc.)?						
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.070.D .1	In 2009 Stormwater Code, dispersion not required.	X Yes ☐ No If yes, include language : Various dispersion BMPs added to 2016 Stormwater Code as requirement to mitigate hard surfaces, including sidewalks.	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No X Does not apply					
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No X Does not apply					
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No X Does not apply					
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.805.D.1	2009 Stormwater Code required GSI/LID to the maximum extent feasible	X Yes ☐ No If yes, include language : Permeable Pavement was added as a Category 2 BMP to the On-site List and is required above many of the other On-site BMPs	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No X Does not apply					

	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No X Does not apply					
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No X Does not apply					
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Appendix E	In 2009 Stormwater Manual, compatible trees were not identified	X Yes ☐ No If yes, include language : Compatible trees added to 2016 Stormwater Manual, Appendix E	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No X Does not apply					
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No X Does not apply					
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement	2016 Stormwater Code, SMC 22.803.030.F	Some language in 2009 Stormwater Code	X Yes ☐ No If yes, include language : *F. Provide Oversight and Training for Staff. ((Train at least)) For businesses and public entities, annually train all employees responsible for the operation, maintenance, or inspection of BMPs, assign oversight responsibilities, and maintain records.*	☐ Yes ☐ No If yes, list document title(s):

	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2016 Stormwater Manual, Appendix G	Some language in 2009 Stormwater Manual	X Yes ☐ No If yes, include language : Additional/revised language for LID BMPs in 2016 Stormwater Manual.	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No X Does not apply					
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No X Does not apply					
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No X Does not apply					
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No X Does not apply					
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas / shorelines when compatible Are there opportunities to revise critical areas	☐ Yes ☐ No X Does not apply					

	ordinance(s) to permit specific LID BMP's where appropriate?						

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: SMC 21.16 Side Sewers

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
George Sidles	Strategic Advisor	Policy Analyst	Seattle Public Utilities
Cris Horbelt	Strategic Advisor	Policy Analyst	Seattle Public Utilities
Sherell Ehlers	Strategic Advisor	Policy Analyst	Seattle Public Utilities

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No X Does not apply					
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No X Does not apply					
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No X Does not apply					
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No X Does not apply					
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit, BMP T5-13?	☐ Yes ☐ No X Does not apply					
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	X Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC 21.16.260	Could add language to minimize compaction when backfilling trenches.	☐ Yes X No If yes, include language : If no, explain why: Defer to 2016 Stormwater Code & Manual requirements regarding prevention of soil compaction.	X Yes ☐ No If yes, list document title(s): *22.805.020*

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No X Does not apply However, code does require restoration per specifications of SDOT.					
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No X Does not apply					

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No X Does not apply					
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No X Does not apply					
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No X Does not apply					
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No X Does not apply					
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No X Does not apply					
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No X Does not apply					
	Land disturbing activities **Other** Should On-site BMPs apply to utility projects?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement	SMC 21.16.260 SMC 22.800.040. A.2.Exemptions	Language to require on-site BMPs associated with utility projects such as side sewer construction no included.	☐ Yes X No If no, explain why: Defer to 2016 Stormwater Code that exempts utility work and is consistent with Ecology requirements. Utility work needs to be protected and match utility requirements.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Drainage of Hard Surfaces	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	SMC 21.16.220	Could add language to encourage or require on-site BMPS for drainage of hard-surface or graded areas. **21.16.220 - Drainage of hard-surfaced or graded areas.** Hard-surfaced or graded areas such as parking lots, service station yards and storage yards shall be drained in such manner as will protect adjacent public and private property from damage and such drainage shall enter the public sewer system or other outlet approved by the Director of Seattle Public Utilities and as required by Chapters 22.800 through 22.808 of the Seattle Municipal Code. Such stormwater shall not be conveyed to or enter a sanitary sewer.	☐ Yes X No If no, explain why: On list to update when Side Sewer Code is updated.	☐ Yes ☐ No If yes, list document title(s):
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No X Does not apply					
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No X Does not apply					
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No X Does not apply					

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No X Does not apply					
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No X Does not apply					
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No X Does not apply					
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No X Does not apply					
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No X Does not apply					
	Right-of-way widths & **Drive way widths** Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No X Does not apply					
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No X Does not apply					
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No X Does not apply					
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No X Does not apply					

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No X Does not apply					
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No X Does not apply					
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No X Does not apply					
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No X Does not apply					
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No X Does not apply					
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No X Does not apply					
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No X Does not apply					
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No X Does not apply					

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No X Does not apply					
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No X Does not apply (Perhaps by reference if SDOT standards are revised.					
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No X Does not apply					
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No X Does not apply					
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No X Does not apply					
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No X Does not apply					
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No X Does not apply					
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No X Does not apply					

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No X Does not apply					
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No X Does not apply					
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No X Does not apply					

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: City of Seattle Standard Plans

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Wan-Yee Kuo	Supervising Civil Engineer, CIP Design	Lead	Seattle Public Utilities (SPU)
Erich Ellis (and delegates)	Program Manager, Engineering/Design	Review/redline/ concurrence	Seattle Dept. of Transportation (SDOT)
Mary Rutherford	Executive Liaison between SPU & SDOT	Process facilitation	Seattle Public Utilities
Randy Earlywine	Citywide Standards Program Manager	Review/Concurrence Coordinator with Citywide Standard Plans & Specs. Team	Seattle Public Utilties

Step 2 – WHAT topics did you review?

City Standard Plans were reviewed to identify opportunities to minimize impervious surface and vegetation loss. Given that on-site stormwater management best management practices such as bioretention are an effective strategy for minimizing stormwater runoff, City Standard Plans were also reviewed with the intent of updating or adding plans to facilitate and standardize the use of these approaches where feasible/indicated.

Step 3 – WHERE are the gaps?

See reporting form that follows.

Step 4 – What steps did you take to FILL THE GAPS?

See attached set of redlined Standard Plans that were added or modified in this process.
The new/updated plans are also available online here:
www.seattle.gov/util/cs/groups/public/@spu/@engineering/documents/webcontent/1_048312.pdf
These updates will be included in the next published (paper) version of City of Seattle Standard Plans. In the interim, the online amendments are final and applicable.

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	X Yes ☐ No ☐ Does not apply	☐ Yes ☐ No X See existing requirement City of Seattle Standard Plans already includes street tree planting plans and details. See: www.seattle.gov/util/cs/groups/public/@spu/@engineering/documents/webcontent/01_029211.pdf			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	OTHER:	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			X Yes ☐ No	
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			X Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Standard Plans 403 and 425; Also, 003f and 003g	There was not an existing Plan for the use of Pervious Pavement in Alleys. Notes clarifying pervious pavement can be used for walkways were lacking.	X Yes ☐ No If yes, include language : See attached redlined drawings and notes	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						

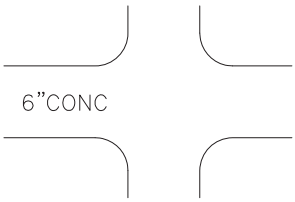
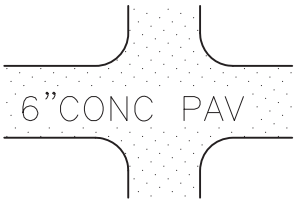
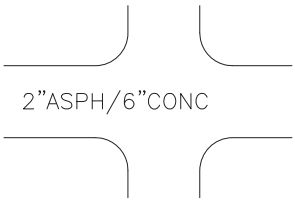
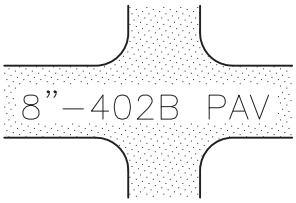
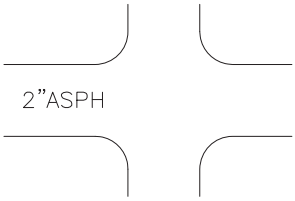
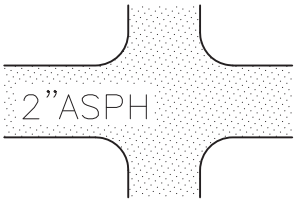
Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	X Yes ☐ No If yes, list document title(s): SPU Design Standards and Guidelines was updated to include SPU's GSI Design Manual (for Utility-led capital green stormwater infrastructure pojects). The GSI Design Manual includes an appendix that gives designers guidance for integrating street trees and bioretention in roadside bioretention capital projects as well as detailed bioretention design guidance. See: https://seattlegov.sharepoint.com/sites/SPU-T1/DSG/DSG%20Working%20Files/VolII I_GSI_Design_withAppendices.pdf
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	X Yes ☐ No ☐ Does not apply Standard Plans does not define requirements but can provide design/construction guidance for standard curb cuts	X Yes ☐ No ☐ See existing requirement	Standard Plans, Sewer-Drainage Appurtenances section (200 series)	Lacking standard details for bioretention curb cuts in Sewer-Drainage Appurtenances section (200 series)	X Yes ☐ No If yes, include language : See attached redlined drawings 295a-295d	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	OTHER: Bioretention Design/Construction	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Standard Plans, Sewer-Drainage Appurtenances section (200 series)	Lacking standard details for bioretention in Sewer-Drainage Appurtenances section (200 series)	X Yes ☐ No If yes, include language: See attached redlined drawings 292, 293a-b, 294	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

REV DATE: FEB 2016

ITEM	EXISTING	PROPOSED
Cement Concrete Pavement		
Asphalt Concrete Pavement		
Asphalt Concrete Surfacing		
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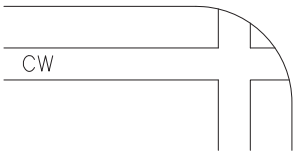
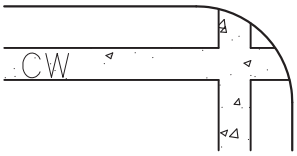
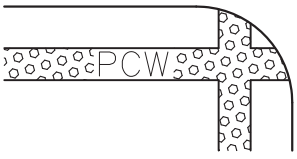
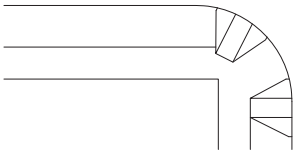
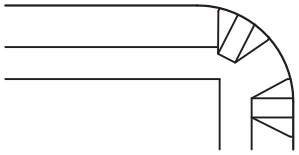
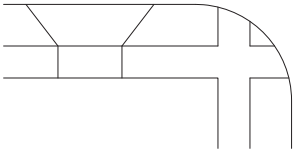
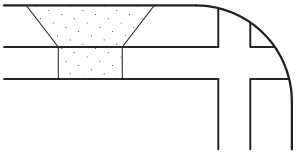
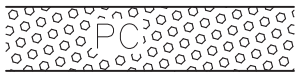
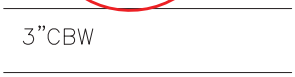
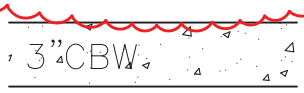
Cement Concrete Walk		
Pervious Concrete Walk	added	

REF STD SPEC SEC

City of Seattle	NOT TO SCALE	STANDARD SYMBOLS PAVING

REV DATE: FEB 2016

ITEM	EXISTING	PROPOSED
Curb Ramp		
Conc Dwy		
Pervious Concrete Surface	added	
Cement Concrete Bike Way		
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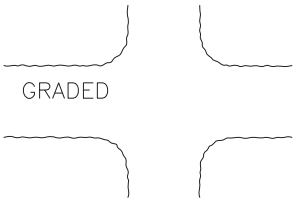
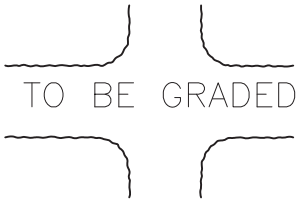
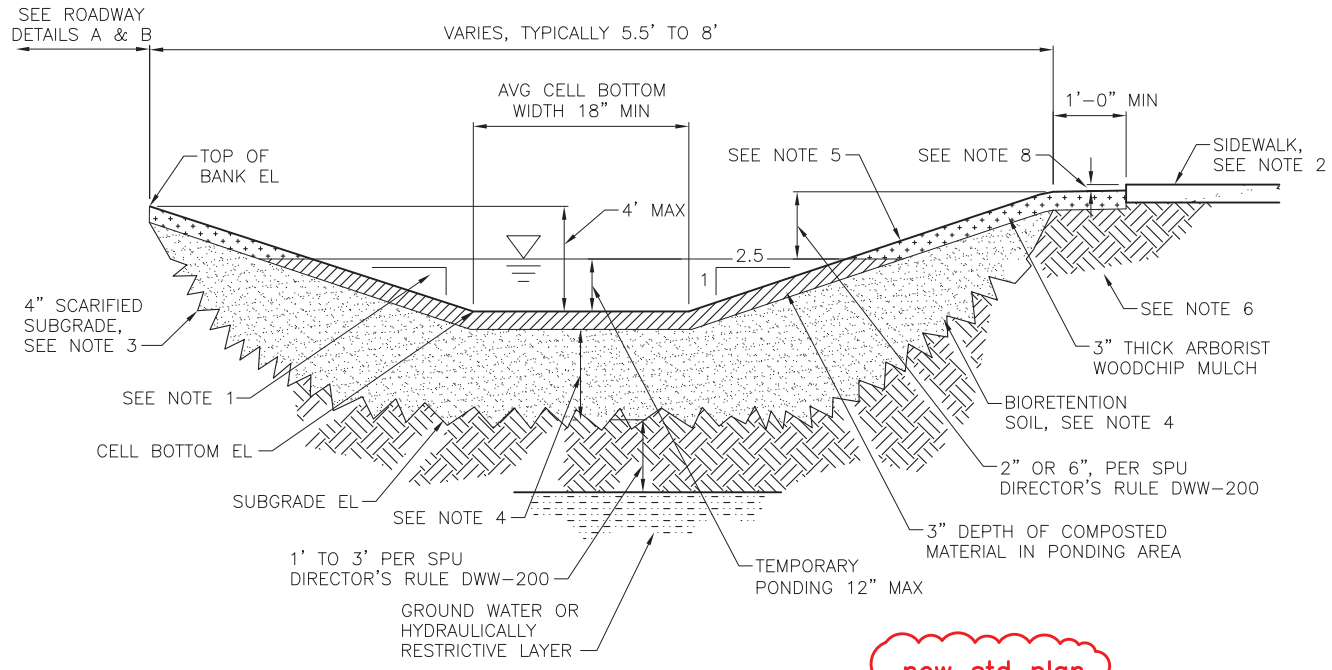
Grading		

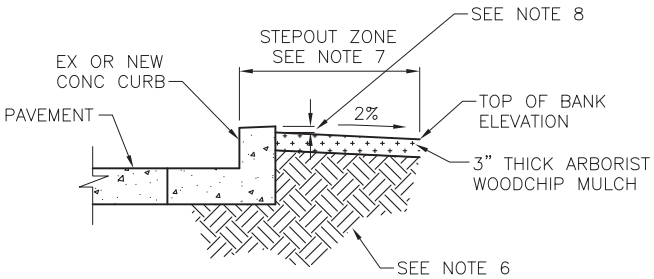
REF STD SPEC SEC

City of Seattle	NOT TO SCALE	STANDARD SYMBOLS PAVING

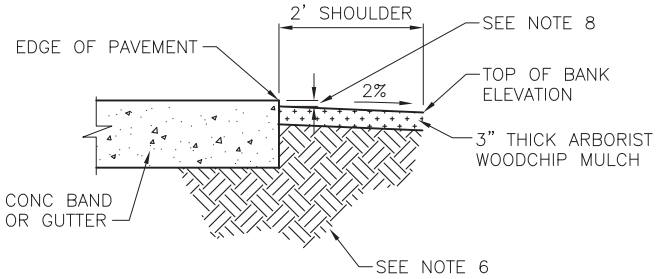
REV DATE: DEC 2015



new std plan



DETAIL A
CURBED ROADWAY
(ADJACENT TO PARKING ZONE)



DETAIL B
CURBLESS ROADWAY

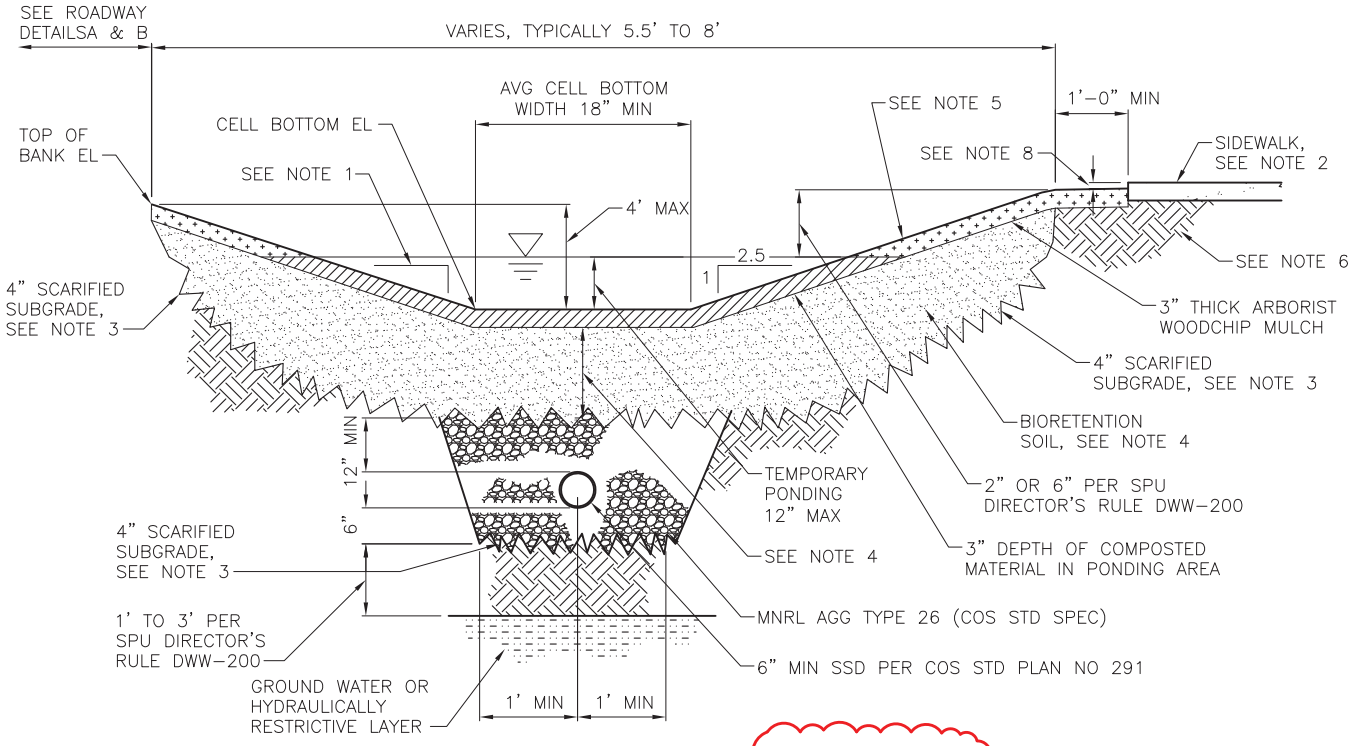
NOTES:

1. TYPICAL MAXIMUM SLOPE ALLOWED IS 2.5H=1V, 3H=1V MAX WHEN WITHIN 50-FEET OF INTERSECTIONS OR CURBLESS ROADWAY.
2. BIORETENTION OVERFLOW ELEVATIONS MUST BE SET BELOW SIDEWALK ELEVATION.
3. SCARIFY SUBGRADE 4" MIN IN THE AREA SUBJECT TO TEMPORARY PONDING BEFORE BIORETENTION SOIL INSTALLATION.
4. PROVIDE 1.5' MIN BIORETENTION SOIL FOR WATER QUALITY TREATMENT PER STORMWATER CODE REQUIREMENT.
5. CELL SHALL BE PLANTED PER APPROVED LANDSCAPE PLAN.
6. SOIL AT THE EDGE SHALL BE UNDISTURBED NATIVE SOIL OR APPROVED SOIL COMPACTED TO 95% DENSITY.
7. FACE OF CURB TO TOP OF SLOPE SHALL BE MIN 2'-0" FOR NON-MAJOR ARTERIAL STREET, MIN 4'-0" FOR MAJOR ARTERIAL STREET.
8. PROVIDE MIN ONE INCH GAP BETWEEN TOP OF WALKS, CURBS, PAVEMENTS AND DRIVEWAYS AND TOP OF ARBORIST WOODCHIP MULCH.

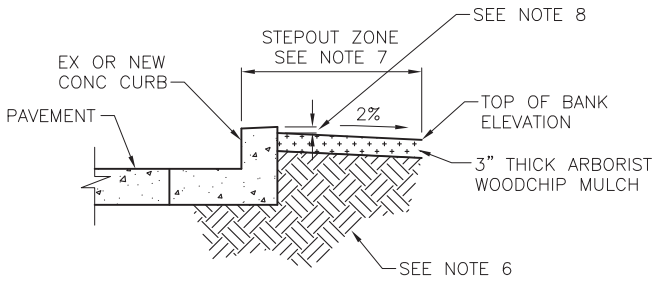
REF STD SPEC SEC 7-21

City of Seattle	NOT TO SCALE	INFILTRATING BIORETENTION WITH SLOPED SIDES

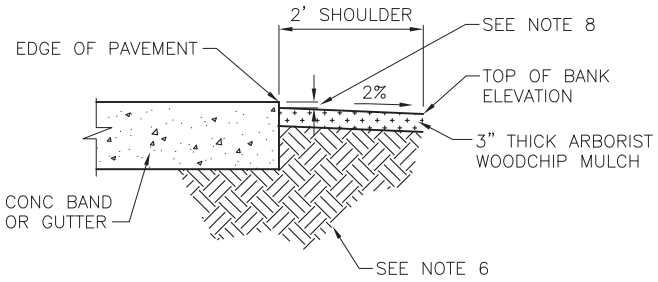
REV DATE: DEC 2015



new std plan



DETAIL A
CURBED ROADWAY
(ADJACENT TO PARKING ZONE)



DETAIL B
CURBLESS ROADWAY

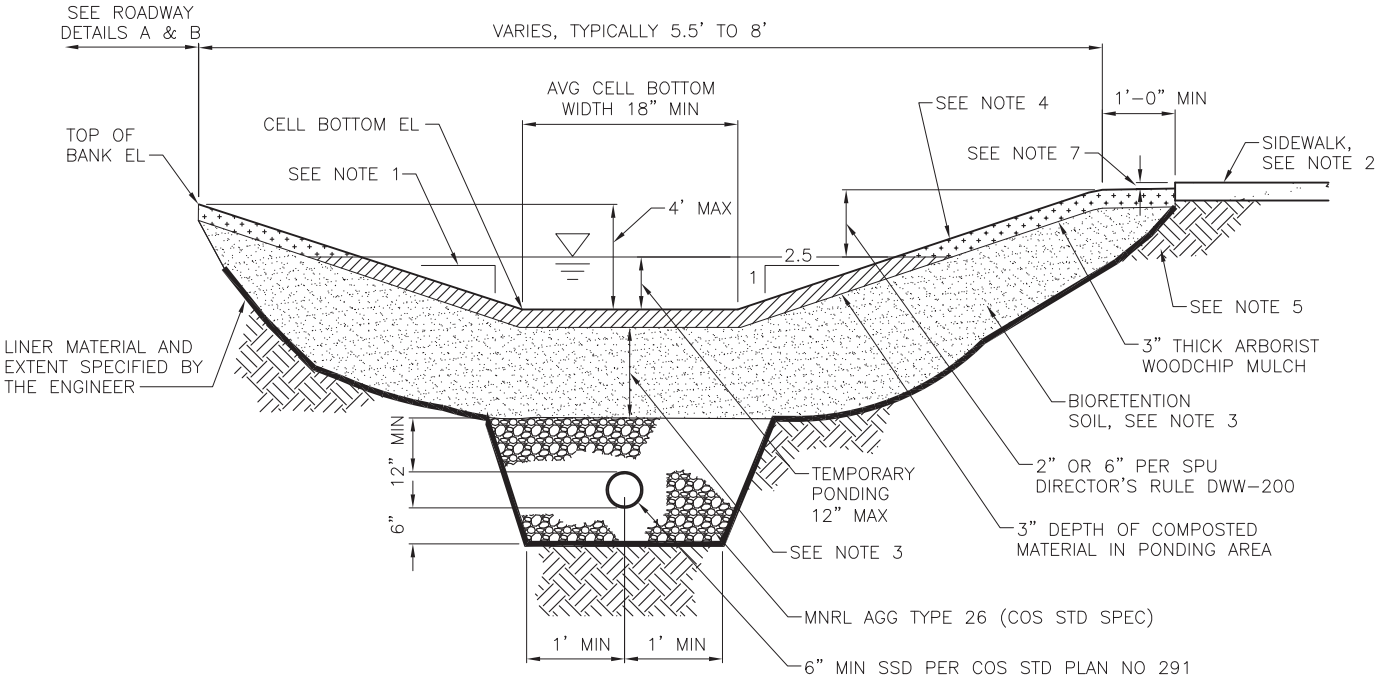
NOTES:

1. TYPICAL MAXIMUM SLOPE ALLOWED IS 2.5H=1V, 3H=1V MAX WHEN WITHIN 50-FEET OF INTERSECTIONS OR CURBLESS ROADWAY.
2. BIORETENTION OVERFLOW ELEVATIONS MUST BE SET BELOW SIDEWALK ELEVATION.
3. SCARIFY SUBGRADE 4" MIN IN THE AREA SUBJECT TO TEMPORARY PONDING BEFORE BIORETENTION SOIL INSTALLATION.
4. PROVIDE 1.5' MIN BIORETENTION SOIL FOR WATER QUALITY TREATMENT PER STORMWATER CODE REQUIREMENT.
5. CELL SHALL BE PLANTED PER APPROVED LANDSCAPE PLAN.
6. SOIL AT THE EDGE SHALL BE UNDISTURBED NATIVE SOIL OR APPROVED SOIL COMPACTED TO 95% DENSITY.
7. FACE OF CURB TO TOP OF SLOPE SHALL BE MIN 2'-0" FOR NON-MAJOR ARTERIAL STREET, MIN 4'-0" FOR MAJOR ARTERIAL STREET.
8. PROVIDE MIN ONE INCH GAP BETWEEN TOP OF WALKS, CURBS, PAVEMENTS AND DRIVEWAYS AND TOP OF ARBORIST WOODCHIP MULCH.

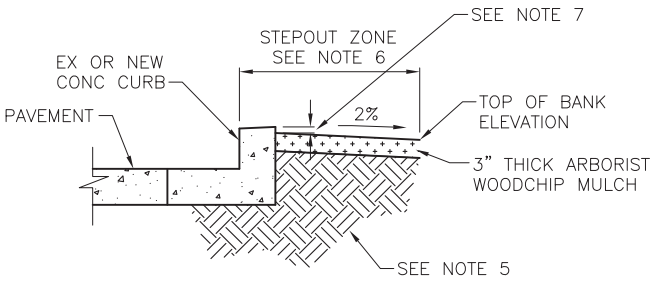
REF STD SPEC SEC 7-21

City of Seattle | NOT TO SCALE | **INFILTRATING BIORETENTION WITH SLOPED SIDES & UNDER DRAIN**

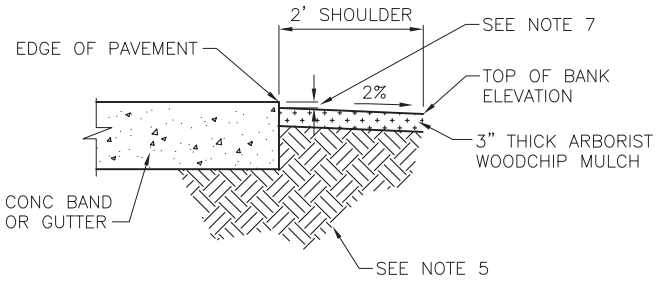
REV DATE: DEC 2015



new std plan



DETAIL A
CURBED ROADWAY
(ADJACENT TO PARKING ZONE)



DETAIL B
CURBLESS ROADWAY

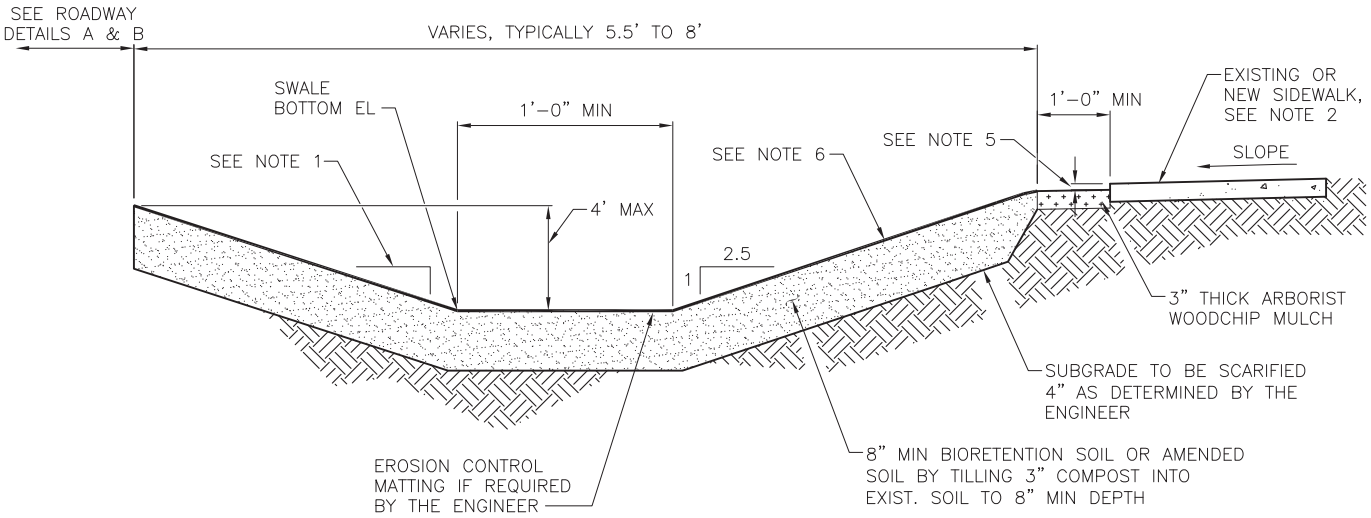
NOTES:

1. TYPICAL MAXIMUM SLOPE ALLOWED IS 2.5H=1V, 3H=1V MAX WHEN WITHIN 50-FEET OF INTERSECTIONS OR CURBLESS ROADWAY.
2. BIORETENTION OVERFLOW ELEVATIONS MUST BE SET BELOW SIDEWALK ELEVATION.
3. PROVIDE 1.5' MIN BIORETENTION SOIL FOR WATER QUALITY TREATMENT PER STORMWATER CODE REQUIREMENT.
4. CELL SHALL BE PLANTED PER APPROVED LANDSCAPE PLAN.
5. SOIL AT THE EDGE SHALL BE UNDISTURBED NATIVE SOIL OR APPROVED SOIL COMPACTED TO 95% DENSITY.
6. FACE OF CURB TO TOP OF SLOPE SHALL BE MIN 2'-0" FOR NON-MAJOR ARTERIAL STREET, MIN 4'-0" FOR MAJOR ARTERIAL STREET.
7. PROVIDE MIN ONE INCH GAP BETWEEN TOP OF WALKS, CURBS, PAVEMENTS AND DRIVEWAYS AND TOP OF ARBORIST WOODCHIP MULCH.

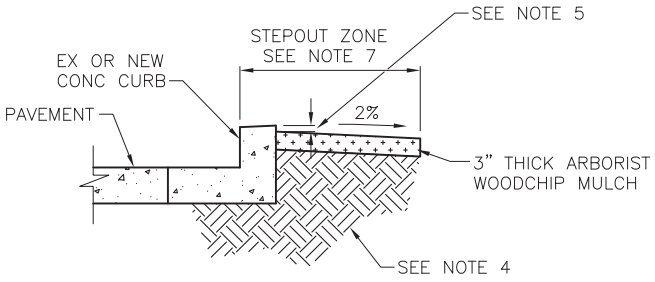
REF STD SPEC SEC 7-21

City of Seattle	NOT TO SCALE	NON-INFILTRATING BIORETENTION WITH SLOPED SLIDES & UNDER DRAIN

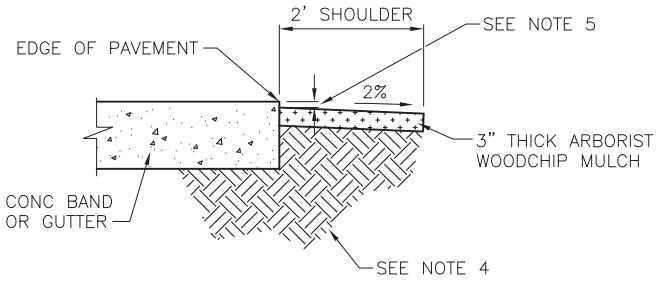
REV DATE: DEC 2015



new std plan



DETAIL A
CURBED ROADWAY
(ADJACENT TO PARKING ZONE)



DETAIL B
CURBLESS ROADWAY

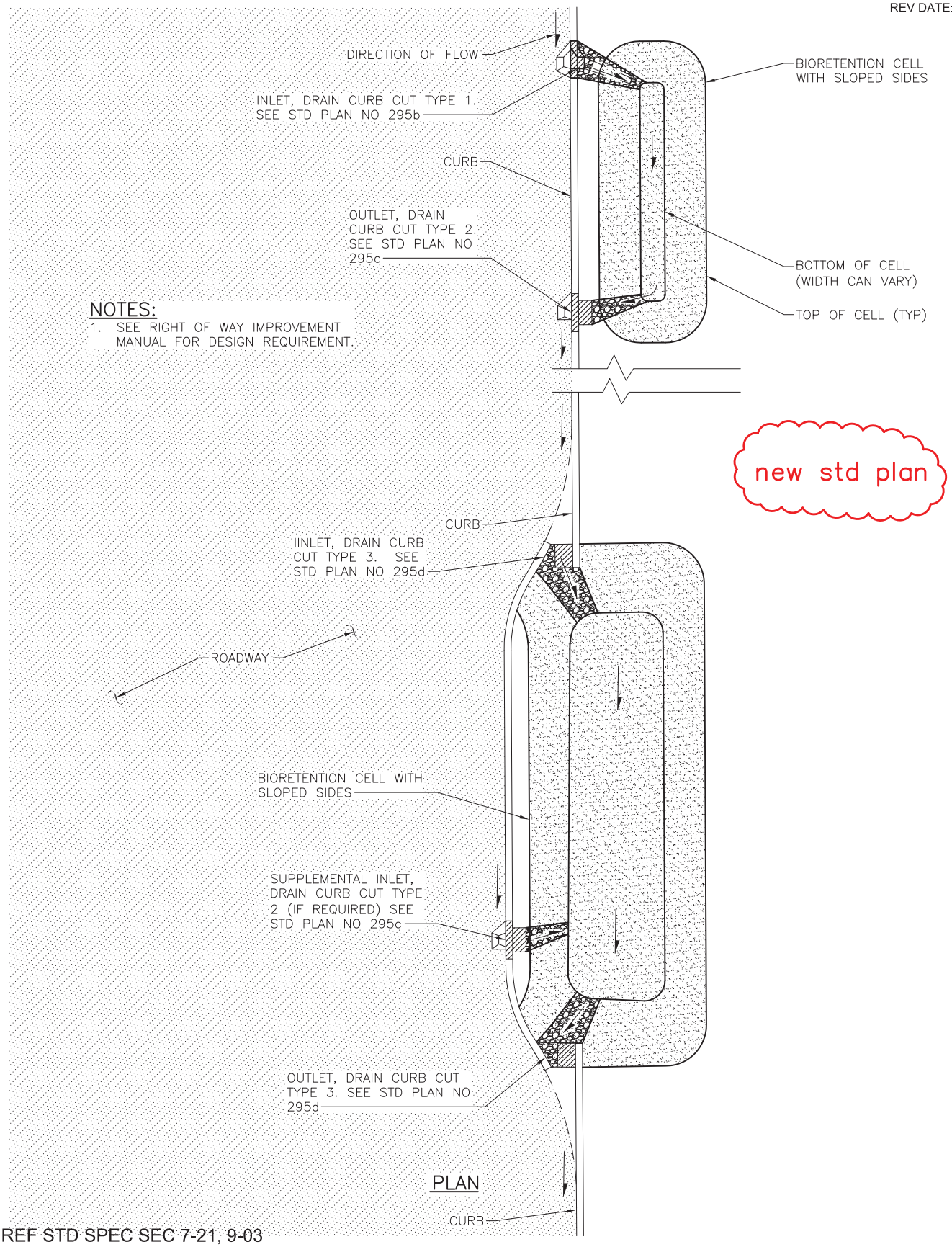
NOTES:

1. TYPICAL MAXIMUM SLOPE ALLOWED IS 2.5H=1V, 3H=1V MAX WHEN WITHIN 50-FEET OF INTERSECTIONS OR CURBLESS ROADWAY.
2. CONVEYANCE SWALE OVERFLOW ELEVATIONS MUST BE SET BELOW SIDEWALK ELEVATION.
3. LONGITUDINAL SLOPE GREATER THAN OR EQUAL TO 4%, CHECK DAM REQUIRED.
4. UNDISTURBED NATIVE SOIL OR APPROVED SOIL COMPACTED TO 95% DENSITY.
5. PROVIDE MIN ONE INCH GAP BETWEEN TOP OF WALKS, CURBS, PAVEMENTS AND DRIVEWAYS AND TOP OF TREATMENT LAYER.
6. PLANTING PER APPROVED LANDSCAPE PLAN.
7. FACE OF CURB TO TOP OF SLOPE SHALL BE MIN 2'-0" FOR NON-MAJOR ARTERIAL STREETS, MIN 4'-0" FOR MAJOR ARTERIAL STREETS.

REF STD SPEC SEC 7-21

City of Seattle	NOT TO SCALE	VEGETATED CONVEYANCE SWALE (NOT FOR WATER QUALITY TREATMENT)

REV DATE: DEC 2015



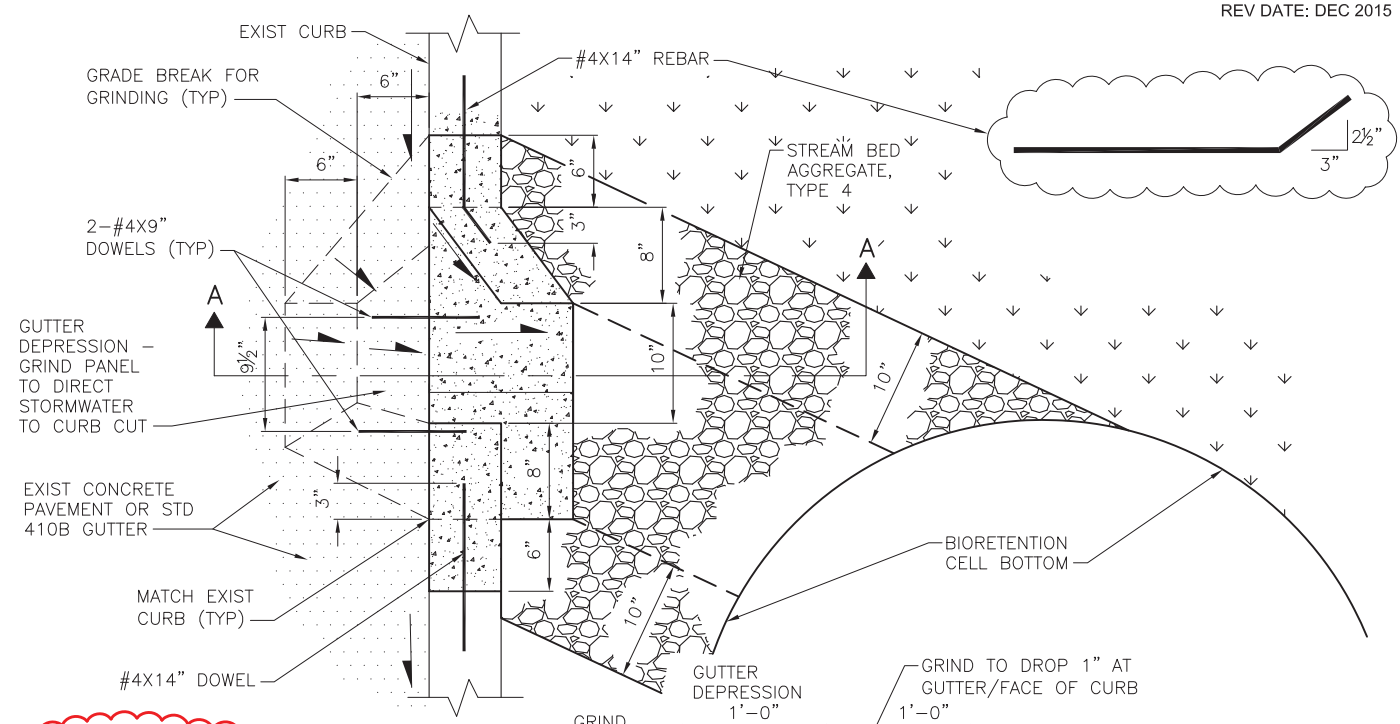
REF STD SPEC SEC 7-21, 9-03

City of Seattle

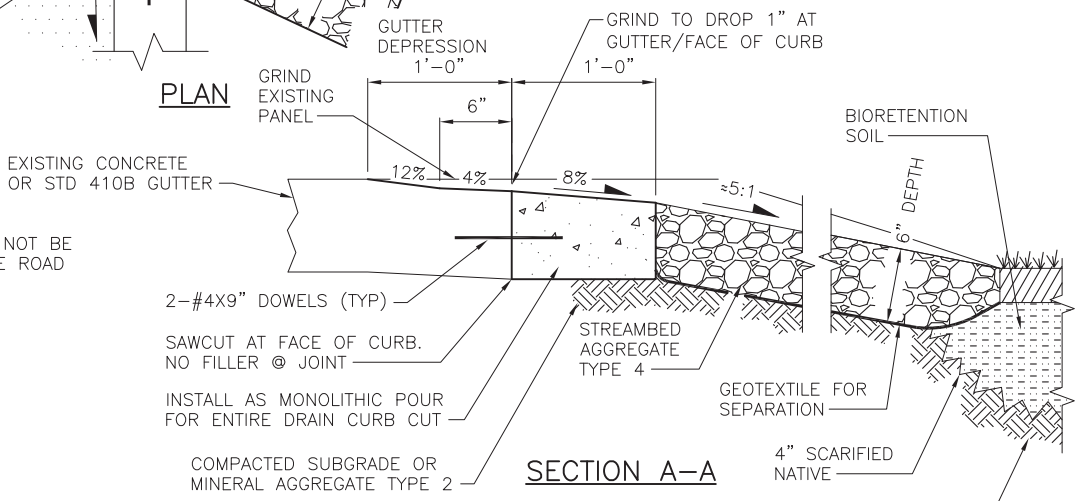
NOT TO SCALE

TYPICAL DRAIN CURB CUT LOCATION FOR BIORETENTION WITH SLOPED SIDES

REV DATE: DEC 2015



PLAN

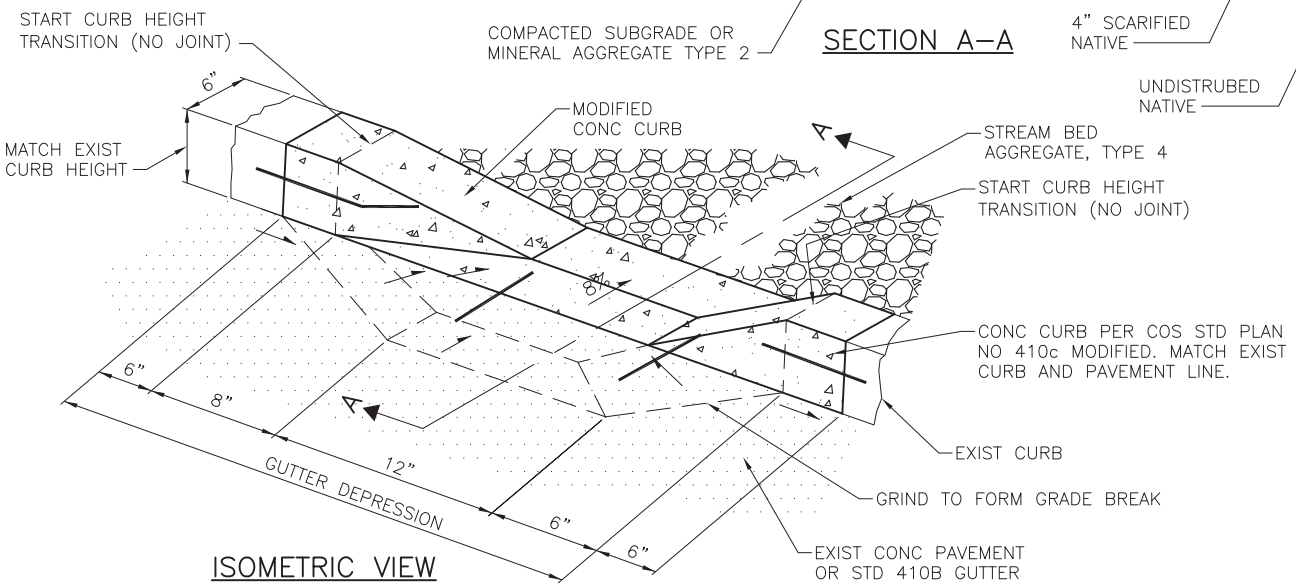


SECTION A–A

new std plan

NOTES:

1. DRAIN CURB CUTS SHALL NOT BE LOCATED WITHIN CONCRETE ROAD PANEL JOINT.

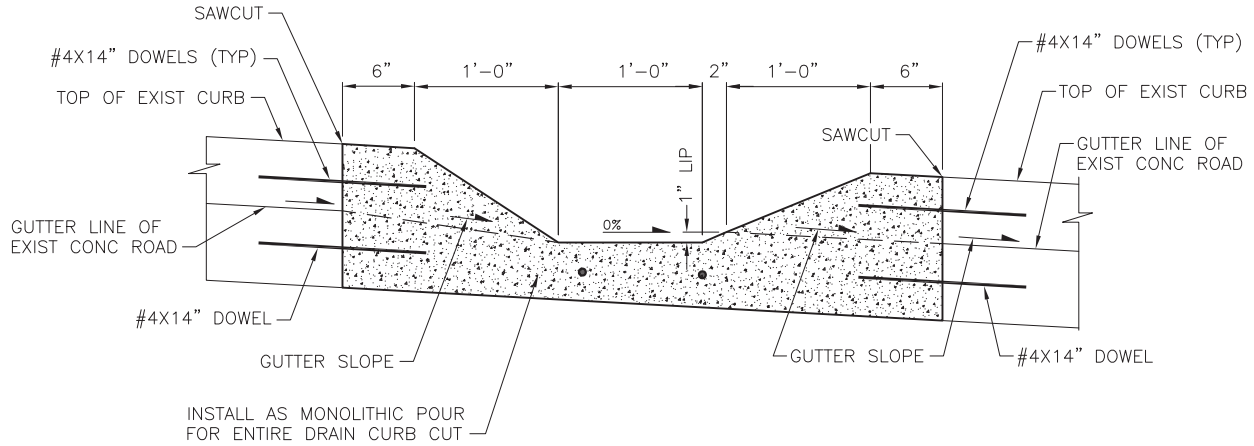


ISOMETRIC VIEW

REF STD SPEC SEC 7-21, 9-03

City of Seattle	NOT TO SCALE	DRAIN CURB CUT TYPE 1

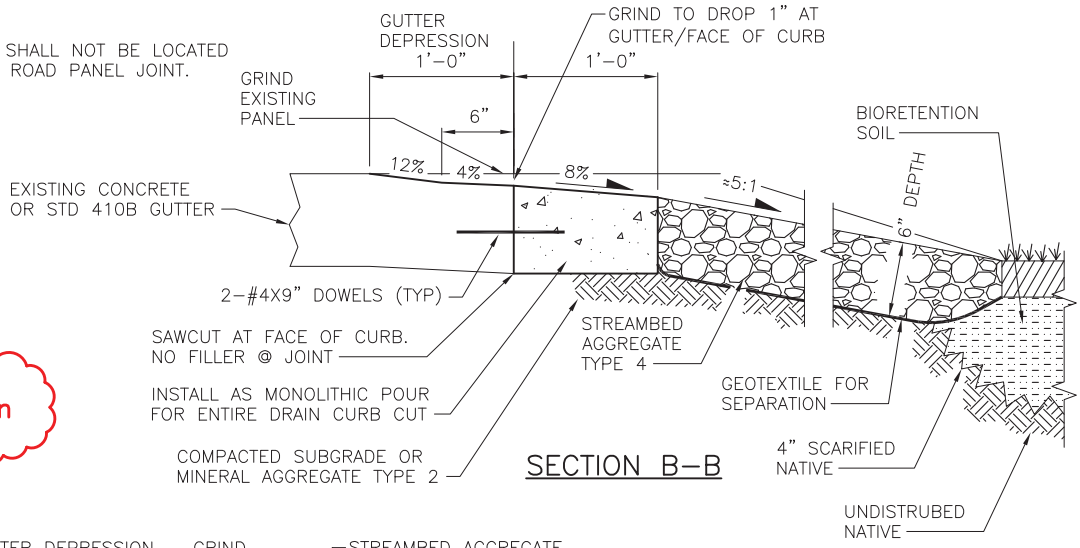
REV DATE: DEC 2015



SECTION A–A

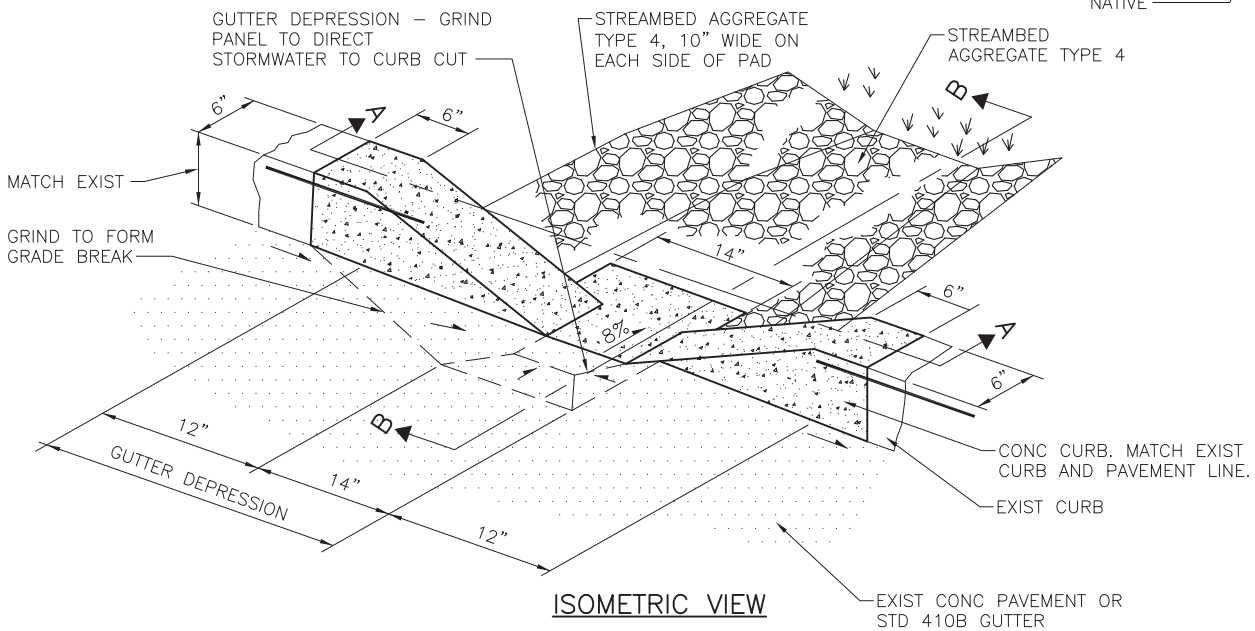
NOTES:

1. DRAIN CURB CUT SHALL NOT BE LOCATED WITHIN CONCRETE ROAD PANEL JOINT.



SECTION B–B

new std plan

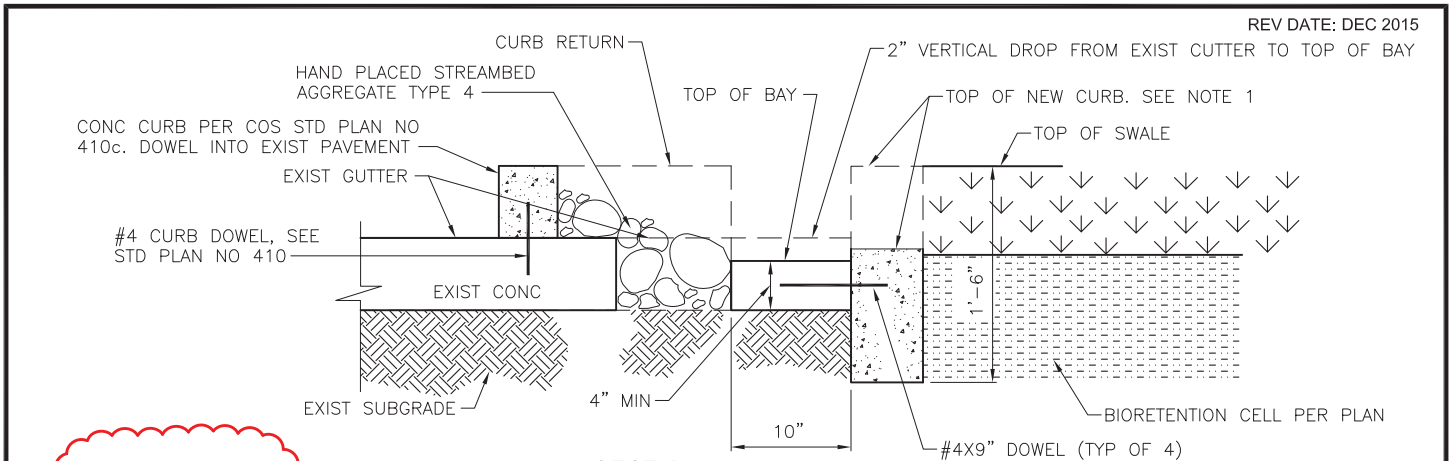


ISOMETRIC VIEW

REF STD SPEC SEC 7-21, 9-03

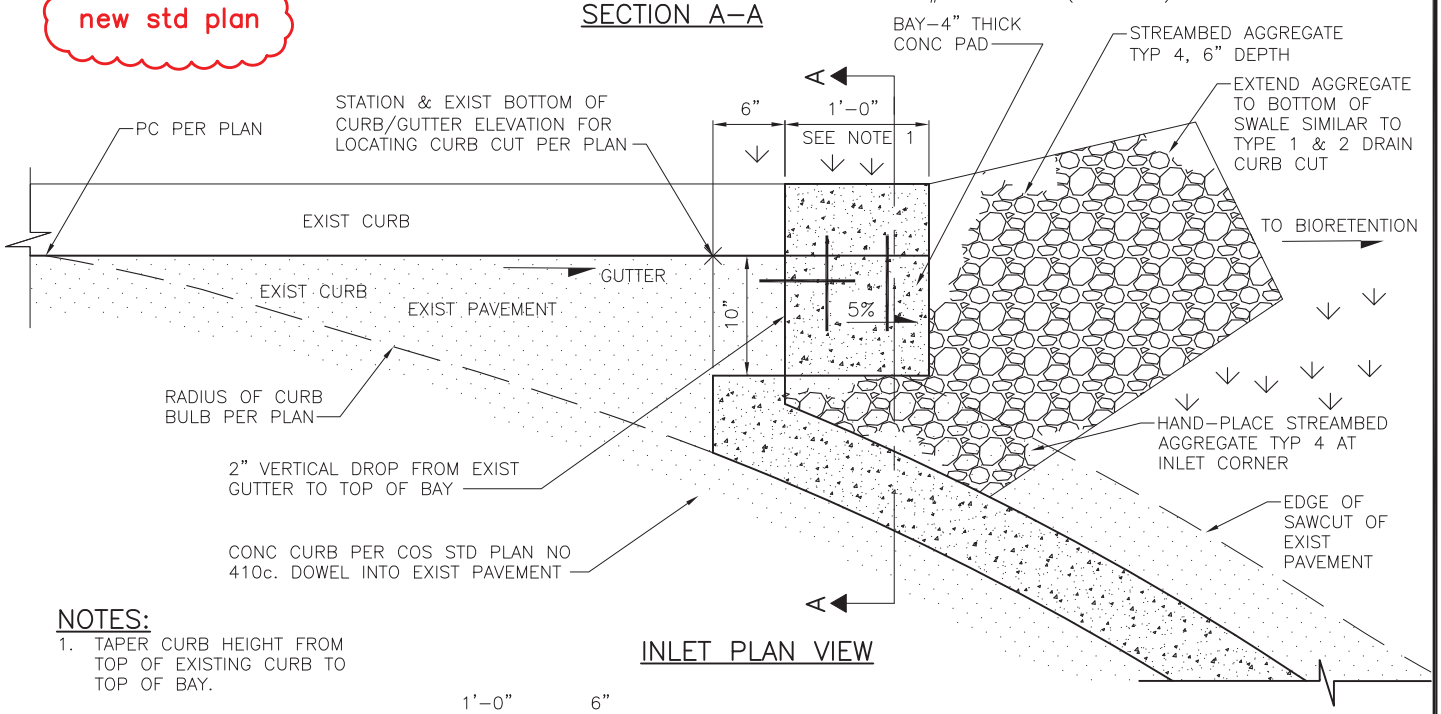
City of Seattle	NOT TO SCALE	DRAIN CURB CUT TYPE 2

REV DATE: DEC 2015



SECTION A–A

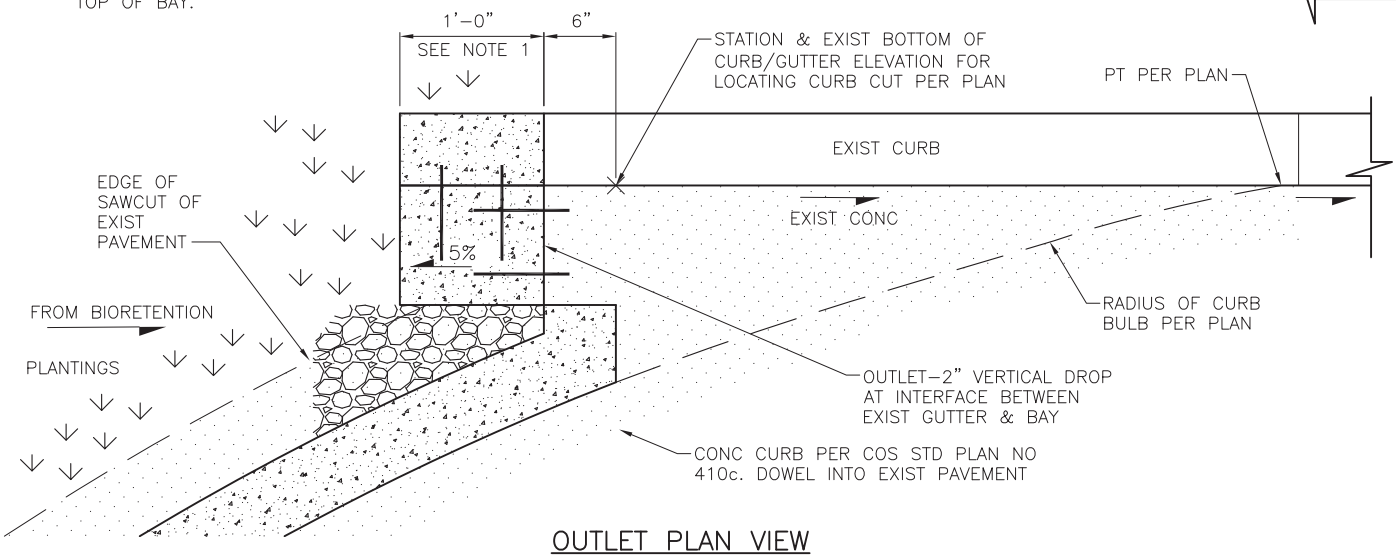
new std plan



INLET PLAN VIEW

NOTES:

1. TAPER CURB HEIGHT FROM TOP OF EXISTING CURB TO TOP OF BAY.

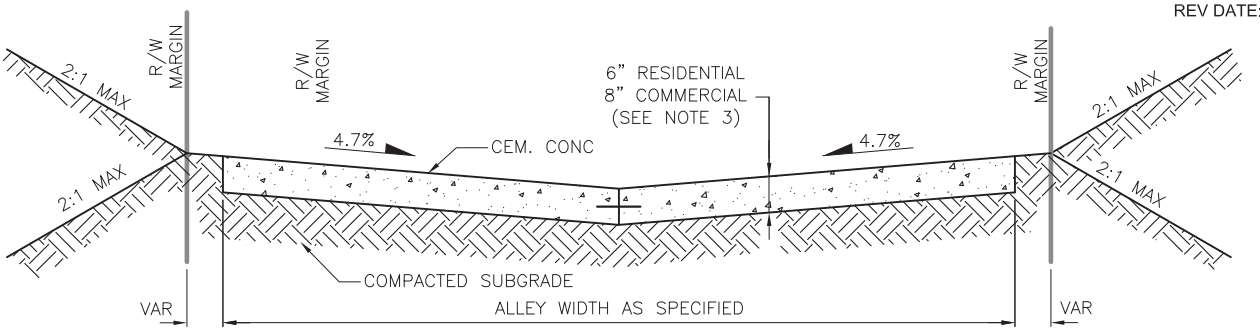


OUTLET PLAN VIEW

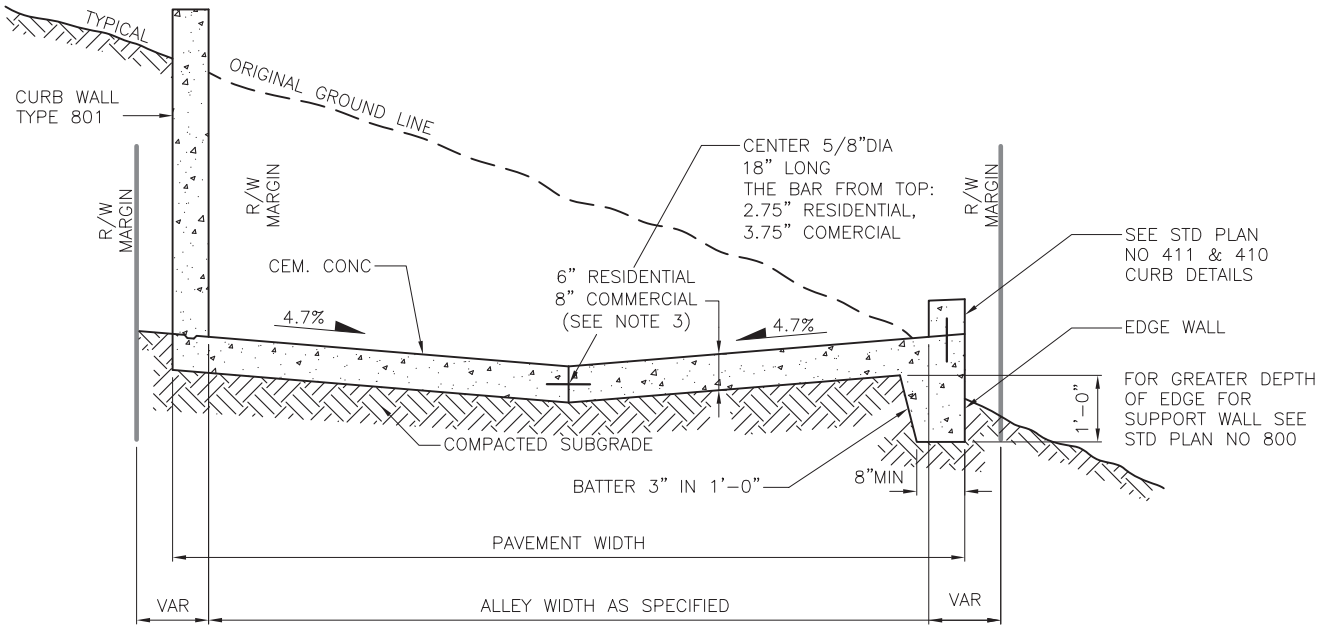
REF STD SPEC SEC 7-21, 9-03

City of Seattle	NOT TO SCALE	DRAIN CURB CUT TYPE 3

REV DATE: FEB 2016



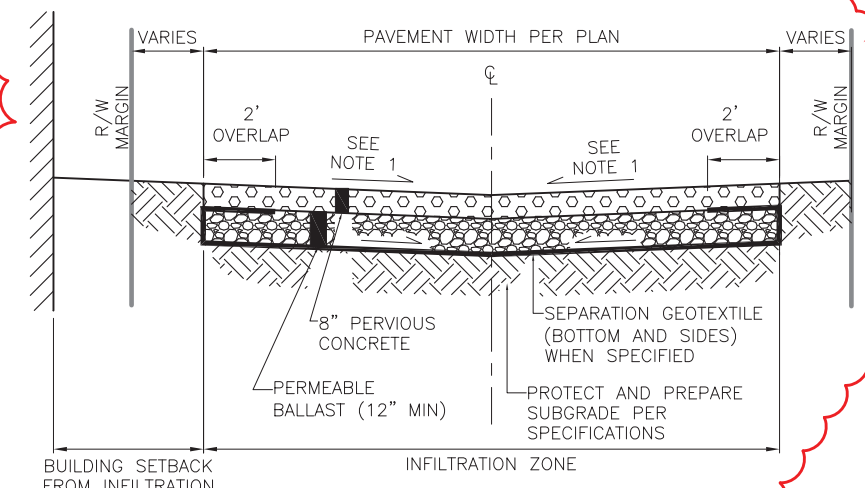
CONCRETE ALLEY PAVEMENT



CEMENT CONCRETE ALLEY PAVEMENT 403B–FOR SHALLOW EMBANKMENT AREA

section added

notes revised



PERVIOUS CONCRETE PAVEMENT

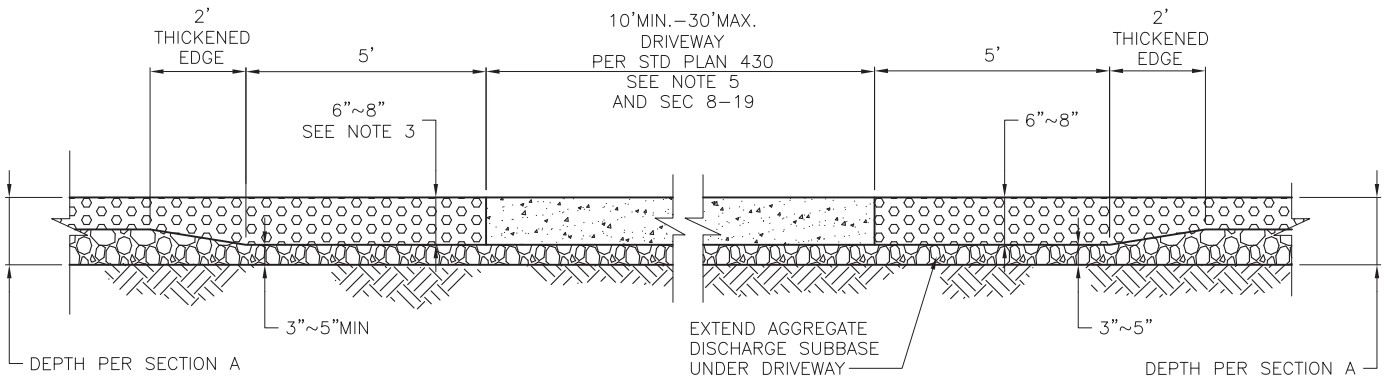
NOTES:

1. WHEN ALLEY PAVEMENT IS 16'–0" OR WIDER PLACE CONSTRUCTION JOINT WITH TIE BAR PER STD PLAN NO 405 ALONG CENTERLINE OF ALLEY.
2. FOR ADA ACCESSIBLE ACCESS TO ENTRY IN ALLEY CONSIDER ALTERNATIVE DESIGN; SUBJECT TO APPROVAL BY THE ENGINEER.
3. 8" OR AS SHOWN IN CONTRACT OR APPROVAL BY THE ENGINEER.
4. MIN CROSS SLOPE IS 1%
5. PERMEABLE BALLAST SHALL BE MINERAL AGGREGATE TYPE 13, UNLESS DETERMINED OTHERWISE BY ENGINEER.

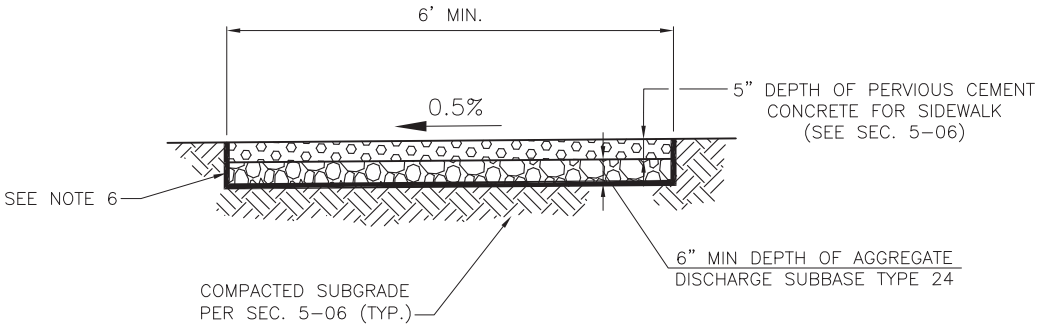
REF STD SPEC SEC 8-17, 8-19

City of Seattle	NOT TO SCALE	ROADWAY CEMENT CONCRETE ALLEY PAVEMENTS

REV DATE: FEB 2016



PERVIOUS CONC CEM SIDEWALK DEPTH TRANSITION AT DRIVEWAYS PROFILE VIEW

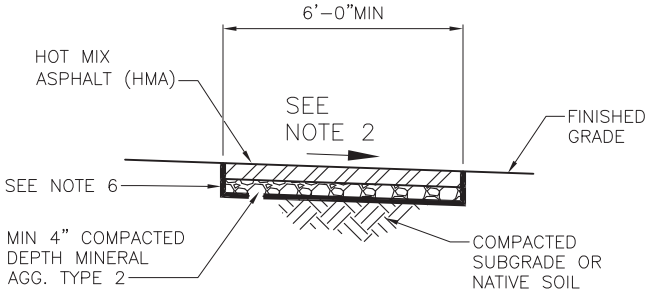


PERVIOUS CONC SECTION A

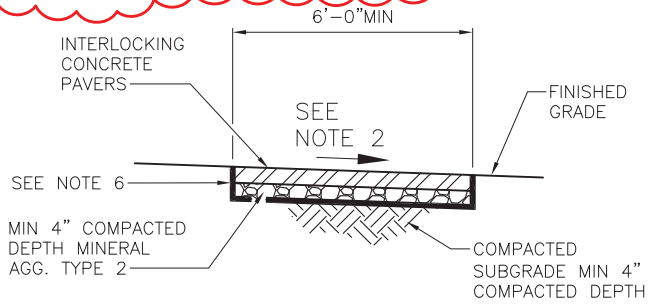
NOTES:

1. DEPTHS SHOWN FOR PAVEMENT SECTIONS ARE COMPACTED DEPTH.
2. SIDEWALK DEPTH AT DRIVEWAY TO MATCH DRIVEWAY PAVEMENT DEPTH.
3. DEPTH OF POROUS CEMENT CONCRETE FOR DRIVEWAYS SHALL BE 8" MIN.
4. 6% MAX. PERVIOUS CEMENT CONCRETE PROFILE GRADE.
5. WHERE PERVIOUS CONCRETE IS SHOWN ON PLANS FOR ALLEY, PERVIOUS CONCRETE SHALL BE 8" WITH 3" AGGREGATE DISCHARGE SUBBASE.
6. APPLY SEPARATION GEOTEXTILE SEC. 9–37, ON BOTTOM AND SIDES. EXTEND GEOTEXTILE ABOVE PERVIOUS CONCRETE FOR SIDEWALK PAVEMENT. AFTER PAVEMENT HAS CURED AND ADJACENT FINISHED GRADE HAS BEEN STABILIZED, CUT SEPARATION GEOTEXTILE AT FINISHED GRADE (TYP.)

notes 5 & 6 added



HOT MIX ASPHALT PAVEMENT SIDEWALK SECTION

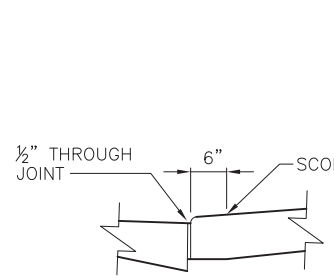


CONCRETE PAVER SIDEWALK SECTION

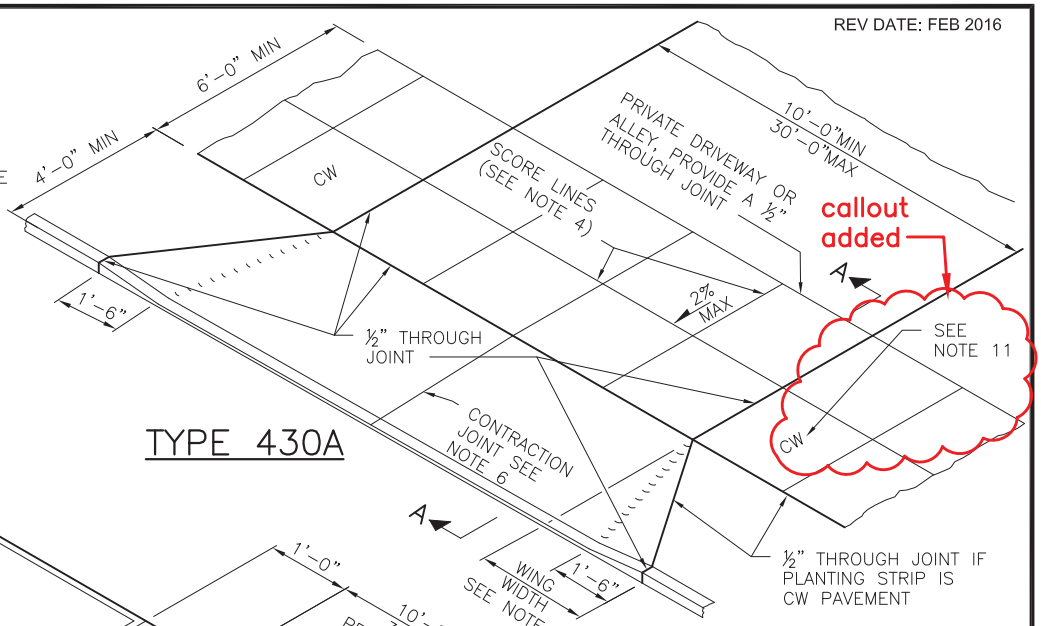
REF STD SPEC SEC 5-04, 5-06

City of Seattle	NOT TO SCALE	ALTERNATIVE WALKWAYS

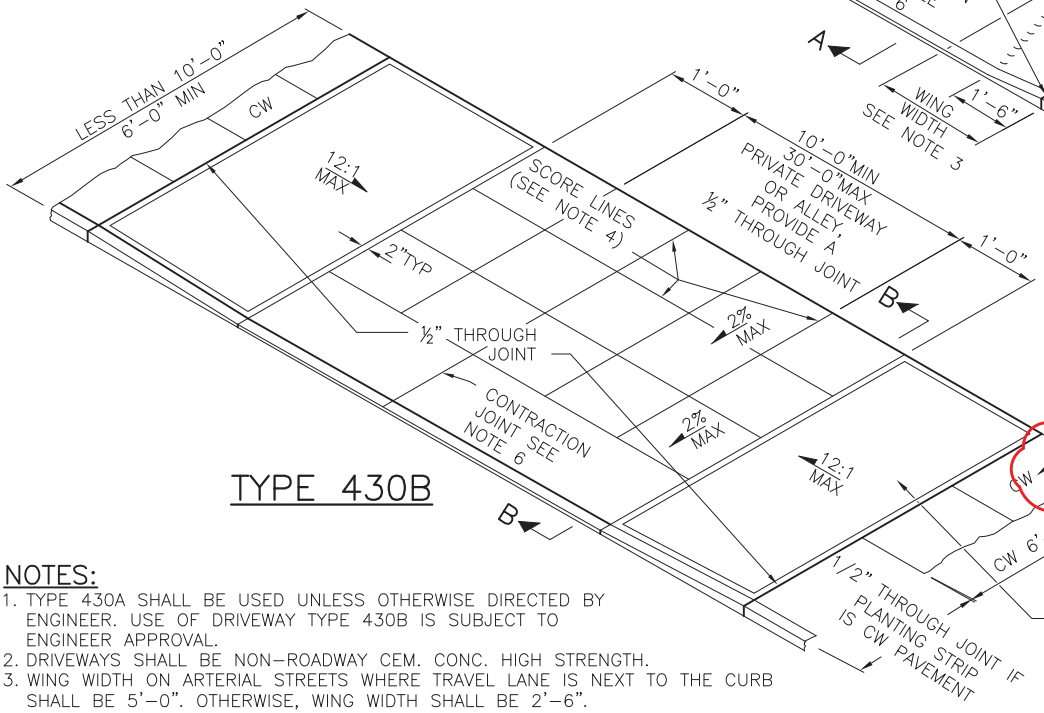
REV DATE: FEB 2016



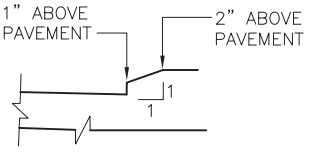
DETAIL B
DRIVEWAY W/ MONOLITHIC CURB & APPROACH



TYPE 430A



TYPE 430B

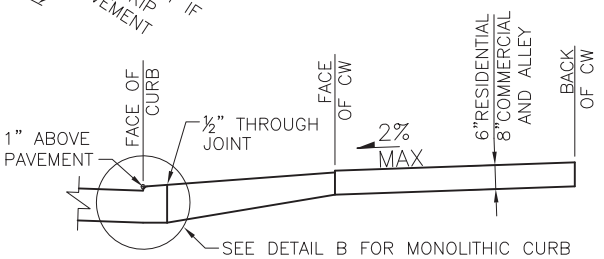


DETAIL A

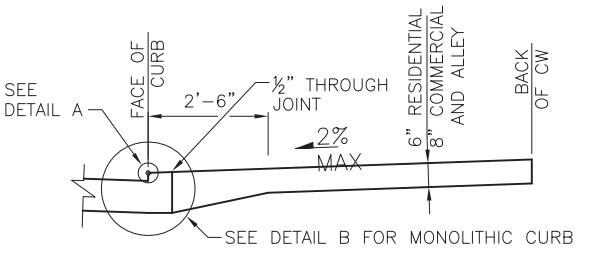
NOTES:

1. TYPE 430A SHALL BE USED UNLESS OTHERWISE DIRECTED BY ENGINEER. USE OF DRIVEWAY TYPE 430B IS SUBJECT TO ENGINEER APPROVAL.
2. DRIVEWAYS SHALL BE NON-ROADWAY CEM. CONC. HIGH STRENGTH.
3. WING WIDTH ON ARTERIAL STREETS WHERE TRAVEL LANE IS NEXT TO THE CURB SHALL BE 5'-0". OTHERWISE, WING WIDTH SHALL BE 2'-6".
4. "V" GROOVE SCORING SHALL MATCH PATTERN IN ADJACENT EXISTING SIDEWALK.
5. FOR CONCRETE DRIVEWAY CONSTRUCTED WITH CONCRETE SIDEWALK, SEE STANDARD PLAN NO 431.
6. CONCRETE DRIVEWAYS WITH A WIDTH GREATER THAN 15'-0" SHALL HAVE A ⅜" TRANSVERSE CONTRACTION JOINT NEAR THE CENTERLINE OF DRIVEWAY. SEE DETAIL SECTION C-C STANDARD PLAN NO 420.
7. FOR TYPE 430A SLOPE IN THE 6'-0" MINIMUM WIDE AREA CONNECTING TO CW ON EACH SIDE OF THE DRIVEWAY SHALL BE MAXIMUM 2% AND MINIMUM 0.5%. FOR TYPE 430B, SLOPE OF THE DRIVEWAY BETWEEN THE TWO RAMP SECTIONS SHALL BE MAXIMUM 2% AND MINIMUM 0.5%. DRIVEWAY ON THE PRIVATE SIDE OF THE CW MAY BE SLOPED AS NEEDED TO MATCH EXISTING SITE CONDITIONS.
8. RAMP SHALL HAVE A MAXIMUM SLOPE 12H:1V. AND A MINIMUM WIDTH OF 6'-0". THE CROSS SLOPE OF THE RAMP SHALL BE MAXIMUM OF 50H:1V. RAMP SURFACE SHALL HAVE A HEAVY BROOM BRUSHED SURFACE PERPENDICULAR TO THE CURB.
9. ALL CHANGES IN LEVEL ACROSS JOINTS SHALL BE FLUSH WITH A MAXIMUM DIFFERENCE IN ELEVATION OF $\frac{3}{16}$ INCH.
10. ALL SLOPE GRADES SHALL BE MEASURED OFF THE HORIZON-LINE. IF EXISTING SITE CONDITIONS CONFLICT WITH OBTAINING GRADES SHOWN, THE CONTRACTOR SHALL MAKE MINIMUM ADJUSTMENTS TO THE GRADES TO ACCOMMODATE EXISTING SITE CONDITIONS. ADJUSTMENTS ARE SUBJECT TO ENGINEER APPROVAL.
11. CONCRETE WALKWAY OUTSIDE OF THE DRIVEWAY CROSSING MAY BE PERVIOUS.

note 11 added



SECTION A-A



SECTION B-B

City of Seattle	NOT TO SCALE	TYPE 430A & 430B DRIVEWAYS

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed:

Seattle Public Utilities; Internal Design Standards and Guidance (DS & G)

This document provides internal design guidance to Seattle Public Utilities engineers for capital improvement projects undertaken by the Utility.

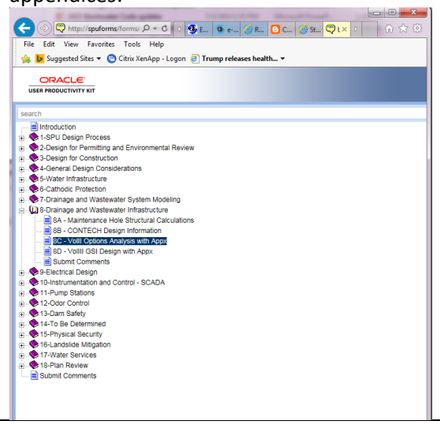
Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Glen Hasegawa	Supervising Civil Engineer, CIP Design Section	Chapter 1 lead	Seattle Public Utilities
Wan-Yee Kuo	Supervising Civil Engineer, CIP Design	Chapter 8 lead	Seattle Public Utilities
Dean Huber	Program Manager, Engineering Records and Strategic Support	Project Coordinator (update process)	Seattle Public Utilities
Mike Brennan	Manager of Engineering & Systems Support	Project Manager (update process)	Seattle Public Utiilties
Tracy Tackett	Green Stormwater Infrastructure Program Manager (then); Capital Portfolio Manager for Drainage & Wastewater (now)	Program Manager for development of Green Stormwater Infrastructure Manuals/Appendices (Options Analysis; Design; Operations & Maintenance)	Seattle Public Utilities

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Chapter 1 – SPU Design Process 1.5.1.2 1.5.2 1.5.3.3 1.6.2	Evaluation of opportunities to prevent runoff, minimize impervious surfaces, and preserve native vegetation was not explicitly recommended or required NOTE: The design process changes listed here apply broadly, not only to building locations but also to parking, soils, landscaping, and hard surfaces. The changes detailed here are referenced with "See 'building locations' changes" where applicable.	X Yes ☐ No If yes, include language : New content added in section that defines guidance for project scoping: At minimum, project scoping should include documenting potential to minimize impervious surface, minimize stormwater runoff, and preserve native material. New content was added to the section listing the content of the Preliminary Engineering Report or Technical Memo, developed for project options analysis: Alternatives description/conceptual design including analysis and documentation of how low impact development principles were considered are incorporated. The three catagories of LID principals are: measures to minimize surfaces, measures to minimize loss of native vegetation, and other measures to minimize stormwater runoff. Documentation of analysis for applying LID principles and what will be included in the design New content was added to the section that details what should be included in an the alternatives description completed as part of Options Analysis: Documentation of analysis for applying LID principles and what will be included in the design	☐ Yes X No If yes, list document title(s): N/A

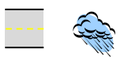
						New content was added to the section that details what should be included in the Basis of Design report and why: The basis-of-design documentation communicates design intent primarily to staff and future users of a constructed facility. By documenting the basis of design and archiving it with the project folder, future staff has access to design decisions. Options Analysis should have identified any special conditions that should be included in design including what LID principles will be applied to this project. This document should identify how the LID principles will be applied. The basis-of –design document should be completed in the 30% design phase. This document is required to be included in the material needed for Stage Gate 3 approval and should be reviewed and modified for any changes that have occurred during design.	
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Chapter 1 SPU Design Process	Evaluation of opportunities to prevent runoff, minimize impervious surfaces, and preserve native vegetation was not explicitly recommended or required	X Yes ☐ No If yes, include language : See 'building locations' changes	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	Chapter 8 Drainage & Wastewater Infrastruct. Design	Specific options analysis and design guidance for LID best management practices (especially green stormwater infrastructure) was lacking.	X Yes ☐ No If yes, include language : Two Green Stormwater Infrastructure (GSI)-specific appendices (GSI Options Analysis and GSI Design) were added to Chapter 8 to give SPU design engineers more specific guidance on how to approach options analysis and design when GSI is indicated.	☐ Yes ☐ No If yes, list document title(s):

	surface, and native vegetation loss?					The GSI Options Analysis appendix includes detailed technical guidance (i.e.: guidance for geotechnical analysis on GSI capital projects); guidance for integrated project siting/design (i.e.: integrating bioretention facilities successfully with trees, at-grade or underground utilities, and other project design elements); and guidance for community engagement during options analysis; The GSI Design appendix includes guidance concepts and details for BMP design (i.e.: bioretention and permeable pavement); technical memo to guide hydrologic modeling; standardized planting palettes and guidance for trees and other vegetation; procedures for designing GSI for long term maintenance and asset management; and public engagement guidelines. While these manuals are not available externally, pdf's can be made available to WA Department of Ecology as needed, if these links do not work for non CoS users: DS&G https://seattlegov.sharepoint.com/sites/SPU-T1/DSG/SitePages/Home.aspx GSI Design Manual: https://seattlegov.sharepoint.com/sites/SPU-T1/DSG/DSG%20Working%20Files/VolIII_GSI_Design_withAppendices.pdf GSI Options Analysis Manual: https://seattlegov.sharepoint.com/sites/SPU-T1/DSG/DSG%20Working%20Files/VolII%20Options_Analysis_withAppendices.pdf Screen shot of internal DS&G table of contents showing addition of the	

						appendices:  	
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No X This is addressed via Stormwater Code			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation Can/does document include provisions to	☐ Yes X No ☐ Does not apply	☐ Yes X No		The GSI Design appendix to Chapter 8 (referenced above) offers specific	☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):

	retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?		X The GSI Design appendix to Chapter 8 (referenced above) offers specific guidance for tree preservation in/around other GSI BMP's as well as design guidance for integrating GSI BMP's with new or existing trees		guidance for tree preservation in/around other GSI BMP's as well as design guidance for integrating GSI BMP's with new or existing trees	If no, explain why :	
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that	☐ Yes ☐ No	☐ Yes X No			☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):

	require or allow shared driveways?	X Does not apply to this document	☐ See existing requirement			If no, explain why :	
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No X Does not apply to this document	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any	☐ Yes ☐ No	☐ Yes X No			☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):

	incentives to cluster impervious area to min. site disturbance?	X Does not apply to this document	☐ See existing requirement			If no, explain why :	
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes X No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement		Evaluation of opportunities to prevent runoff, minimize impervious surfaces, and preserve native vegetation was not explicitly recommended or required	X Yes ☐ No If yes, include language : See 'building locations' changes above	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes X No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement		Evaluation of opportunities to prevent runoff, minimize impervious surfaces, and preserve native vegetation was not explicitly recommended or required	X Yes ☐ No If yes, include language : See 'building locations' changes above	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes X No ☐ Does not apply	☐ Yes X No ☐ See existing requirement		Evaluation of opportunities to prevent runoff, minimize impervious surfaces, and preserve native vegetation was not explicitly recommended or required	X Yes ☐ No If yes, include language : See 'building locations' changes above	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Street and Roads***						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity	☐ Yes ☐ No X Does not apply	☐ Yes X No			☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list document title(s):

	to provide incentives for alternatives?		☐ See existing requirement			If no, explain why :	
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

	of LID BMP's like filter strips and bioretention?						
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement		The GSI Design appendix to Chapter 8 (referenced above) offers specific guidance for tree preservation in/around other GSI BMP's as well as design guidance for integrating GSI BMP's (like bioretention) with new or existing street trees	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement		Internal LID design experts serve as the go-to resource for other engineering staff on both site planning BMP design. On-going "skills and knowledge transfer" continuing education courses (internal) include green infrastructure design and Stormwater Code implmenetation (which includes on-site management requirements, etc.)	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes X No ☐ Does not apply	☐ Yes ☐ No X See existing requirement		Seattle Public Utilities has existing maintenance protocols, standards, procedures and policies for its GSI facilities/assets. These are documented in its GSI Operations and Maintenance Manual. While this manual is not available externally, a pdf can be made available to WA Department of Ecology as needed, upon request.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No X Does not apply	☐ Yes X No X See existing requirement		SPU has existing communications materials and protocols for advising adjacent property owners re: how to contribute extra aesthetic maintenance for GSI facilities in the public realm. SPU, however, maintains all its own GSI assets for stormwater function and basic aesthetics.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

	to remove barriers to LID facility siting within PUDs?						
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No X Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

LID/GSI – Review & Revise Local Codes

Document/ Code/ Rule/ Standard Reviewed:

Right-of-Way Improvements Manual (ROWIM)

- Chapter 1 – Introduction
- Chapter 2 – Procedures, Permitting Process and Approvals for Right-of-Way Improvements
- Chapter 3 – Right-of-Way Improvement Requirements
- Chapter 4 – Design Criteria
  For design criteria changes most relevant to LID, see:
  www.seattle.gov/transportation/rowmanual/manual/4_17.asp
- Chapter 5 – Construction and Maintenance
- Chapter 6 – Streetscape Design Guidelines (LID design information moved from Chapter 6 (Guidelines) to Chapter 4 (Criteria)

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Laeth Al-Rashid	Supervisor of civil engineering in Project Development	Review updates and make recommendations for changes to the ROWIM.	SDOT
Elizabeth Anderson	Sr. Civil Engineer	Reviewed new chapter 4 and CAM 2215 to see what might be needed in ROWIM when we withdrew the CAM	SPU
Michael Brennan	Manager, Engineering & Systems Support	Manager for Engineering Reviews	SPU
William Bou	Supervisor shoring and SIP inspection	Reviewed ROWIM for consitency with street use permit requirements	SDOT
John Buswell	Roadways Structures Manager	Review ROWIM for consitence with City Specifications and constructability	SDOT
Bill Bryant	Transit Programs	Review ROWIM updates for consistency with Transit needs.	SDOT
Reiner Blanco	Civil engineering supervisor	Review and make recommendations on changes to the ROWIM impacts to the ROW	SDOT
Sue Byers	Pavement and Engineering Manager	Reviewed ROWIM changes for impacts to pavements in the City and recommended options.	SDOT
Shanti Colwell	GSI Senior Engineer	Reviewed for Green Stormwater Infrastructure (GSI)	SPU
Shane Dewald	Urban Forestry	Reviewed and make recommendations for Tree protection and preservation in the ROWIM	SDOT
Ahmed Durrat	Manager Signal Design and Field Operations	Reviewed ROWIM for consistency with transportation operations structures and maintenance.	SDOT

Pam Emerson	Office of Sustainability and Environment	City project manger for LID integration activities.	SPU
Randy Earlywine	Value Management	Reviewed for value management	SPU
Adiam Emery	Signal Operations	Reviewed ROWIM for impacts to traffic signals and visual clearance	SDOT
Erich Ellis	SDOT Capital Projects Engineering Services Manager	Reviewed proposed revisions, distribute revisions to subject matter experts in group for review, and provide technical guidance from an engineering standpoint.	SDOT
Sherell Ehlers	Stormwater Policy Advisor	Subject Matter Expert for Stormwater Code compliance and concurrency	SPU
Barbara Gray	Deputy Director Plannin g& Project Development	Reviews and approves changes to ROWIM. Oversees Street Use and Policy and Planning, the groups updating and enforcing the ROWIM	SDOT
Luke Korpi	Maintenance Opperations	Early reviewer, no longer with the City	SDOT
Cristofer Horbelt	Waste Water Policy Advisor/Strategic Advisor II	Drainage and Waste Water (DWW) Line of Business representative to ROWIM team to ensure revisions are consistent with LOB objectives.	SPU
Diana Holloway	Project Manager in Street Use	Early Project Manager for ROWIM updates.	SDOT
Greg Izzo	Past acting Director of Street USE	Reviewed early documents before leaving the City.	SDOT
Wan-Yee Kuo	Sr. Civil Engineer	Engineering review	SPU
Tracy Krawczyk	Policy and Planning Division Director	Generally oversee major policy and plan development activities; supervise the project manager leading the ROWIM update.	SDOT
Dave LaClerque	DPD Planning and Development	Review document for consisstency with land use regulations and policies.	DPD
Susan McLaughlin	Urban Designer	Project Manager for the ROWIM update.	SDOT
Maureen Meehan	NPDES Stormwater Program Manager	Responsible for advising SDOT of all permit and WQ requirements, tracking activities and reporting for NPDES	SDOT
John Marek	Traffic Operations and Analysis	Reviewed ROWIM and make recommendations	SDOT
Darren Morgan	Urban Forestry Manager	Review ROWIM for consistency with Urabn Forestry policies and ordinances	SDOT
Kevin O'Neill	Planning Manager in Policy and Planning	Review ROWIM changes and make recommendations.	SDOT
Charles Oppelt	Sr. Mechanical Engineer	Reviewed for water main infrastructure implications	SPU
Trevor Partap	Traffic Operations and Analystes	Review ROWIM and make recommendations	SDOT
Kate Rhoads	Strategic Advisor	SPU NPDES Coordinator; Coordinated reviews for permit compliance	SPU
Mary Rutherford	SPU/SDOT Interdepartmental Coordination Lead	Assured that SPU has adequate input and opportunity to comment on the update of the ROWIM as it relates to compliance with their standards, codes and regulatory responsibilities.	SPU
Kristen Simpson	Division Director of Project Development	Reviewed elements of the ROWIM for impacts to SDOT projects.	SDOT
Angela Steel	Interim manager ROW systems and public space management	Reviewed ROWIM for conflicts with policy and Title 15 Street Use code	SDOT

Elizabeth Sheldon	Manager street use operations	Reviewed ROWIM and recommend changes	SDOT
Peg Staeheli	Consultant	Consultant updating the ROWIM	Consultant
Tracy Tackett	Green Stormwater Infrastructure Program Manager	Lead critical programs and projects involving Low Impact Development (LID) and Green Stormwater Infrastructure (GSI) integrated management practices	SPU
Michael Terrell	Director of CPRS	Responsible for overseeing and directing all activities of the Capital Projects and Roadway Structure Division in SDOT	SDOT
Tanya Treat	CIP Design Manager	Manager for CIP reviews	SPU
Jennifer Wieland	Street Use	Early work on ROWIM updates.	SDOT
Herman Wong	Sr. Civil Engineer	Engineering review	SPU
Ingrid Wertz	Planning, Policy and Regulatory Compliance Manager	Advised on review	SPU
Theresa Wagner	Stormwater Lawyer	Reviewed documents and provided legal adviseM	LAW

Process for Reviewing and Revising the Right-of-Way Improvement Manual (ROWIM)

Background

The City of Seattle under the leadership of Seattle Public Utilities is a recognized leader in stormwater management and implementation of Green Stormwater Infrastructure. Beginning in 1979 the City of Seattle began requiring flow control on all projects with more than 2,000 square feet of developed area. Beginning in 2009 Seattle required Green Stormwater Infrastructure (GSI) to the maximum extent feasible (MEF) on projects with more than 2,000 square feet of new plus replaced impervious surface.

The Right of Way Improvement Manual was developed by Seattle Department of Transportation (SDOT) to provide a resource to help property owners, developers, contractors and engineers and architects with permits and design and construction of improvements in the right-of-way. The ROWIM added a section to the manual on GSI in 2009 to provide guidance for incorporating GSI into right-of-way improvements to make it easier to include these elements in design.

The modifications to the document that are included in the summary table are intended to address new guidance and requirements that have been incorporated into the 2016 Stormwater Code that will go into effect on January 1, 2016 and to accomplish the goals of the Washington State Department of Ecology to minimize impervious surface, preserve native vegetation and minimize stormwater runoff when construction and new development occur.

How SDOT Conducted the Review

SDOT retained Herrera Consultants to perform an independent review of the ROWIM for compliance with the 2016 Stormwater Code and Ecology's goals. They created a roadmap for assessing compliance by identifying general categories and specific topics within the categories pertaining to stormwater management.

A topic could follow one of three paths. Some of the topics, while applicable to stormwater management in general, do not pertain to development and construction in the right-of-way and would not be applicable for inclusion in the ROWIM. Under the heading of "Topic Reviewed" these topics were classified as "does not apply". The rest of the topics identified by Herrera were classified "yes" under the heading "Topic Reviewed". If the section pertaining to the topic reviewed was in compliance with the updated code and Ecology requirements the box for "Gap Identified" was checked "no" and no further action was required. All remaining topics were classified as "yes" under "Gap Identified".

SPU and the Office of Sustainability & Environment (OSE) also reviewed the table and manual and provided comments. SDOT reviewed the table and comments by Herrera, SPU and OSE and SDOT completed Steps 4. When SDOT answered the question in Step 4 "have you taken any steps to fill the gaps" with a "yes" or "no". Where SDOT responded "no"; they provided an explanation for their response. Where SDOT responded "yes" that they had taken measures to fill the gap they provided a description of what has been changed in the manual to fill the gap.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking area locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater management facility locations	☒ Yes	☒ No	ROWIM, Section 4.17.3 – Stormwater Collection	This section describes the spacing requirements for catch basins based on stormwater flow path lengths. It states that arterial streets with a grade flatter than 1% shall have drainage pickups (catch basins and/or inlets) at least every 350 feet. Considered making exceptions in locations where infiltrating GSI facilities will be installed.	☒ No	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.21.2 – Design Criteria (Clearances)	This section lists standard clearances for a number of items including sidewalks, stop signs, curbs, etc.	☒ No SDOT followed up and reviewed the minimum lateral clearances. Minimum lateral clearances identified in this section have been determined based on public safety considerations. Reductions in these minimums may be considered on a project specific basis through a deviation process where the applicant has the opportunity to explain how a reduction in the clearance does not significantly impact public safety. The deviation process is outlined in Section 2.11.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 5.8 – Construction Stormwater Control	This section summarizes construction stormwater control requirements for small projects and large projects. Considered adding a summary of stormwater requirements for project types that require GSI to MEF (On-site Stormwater Management that are included in the new Seattle Stormwater Manual).	☒ No SDOT refers to code sections in the ROWIM wherever possible rather than repeating information included in these regulations. This is because 1) these documents are not updated simultaneously so the information could be out of date and 2) sometimes condensing the information leads to unintended interpretations. The user is always getting current accurate information on requirements, standards and options when links are provided to the current governing documents.	☒ No

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
		☒ Yes	☒ Yes	ROWIM, Formerly Section 6.4.1a – GSI as part of Partial Street Improvements	This section describes GSI recommendations for partial street improvements. Recommendations include bioretention in the planting strip area and permeable pavement sidewalks. Review and considered adding to the list of GSI facilities recommended for partial street improvements.	☒ Yes New language in Section 4.17: *Green stormwater infrastructure elements are encouraged for partial street improvements. Options are included in the Green Stormwater Infrastructure Design Manual (include link).*	☒ No .
		☒ Yes	☒ Yes	ROWIM, Formerly Section 6.4.1b – GSI as part of Full Right-of-Way Reconstruction	This section describes implementation of large scale GSI techniques as part of full ROW reconstruction for aesthetic benefits in combination with the stormwater function and traffic calming. These types of projects are most applicable in areas that have: • Low volume streets • Sufficient ROW width (at least 56 feet) • Single family or LR1 adjacent land use • Locations with existing informal drainage Review and revise to link to GSI Design Manual	☒ Yes New language in Section 4.17: *Green stormwater infrastructure elements are encouraged for full street improvements on these types of streets. Options are included in the Green Stormwater Infrastructure Design Manual (include link).*	☒ No
	Soils						
	Protecting and restoring healthy soil	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Compost amendments	☒ Yes	☒ No	ROWIM, Section 4.17.2- Stormwater Code Compliance	This section describes the Amended Soil requirement (minimum requirement for all projects). Section 6.4.4 – Compost/Amended Soils also refers to this section.	☒ Does not apply: New language: All language removed and references Stormwater code to avoid confusion.	☒ Does not apply
	Compaction	☒ Yes	☒ Yes	ROWIM, Section 5.9 – Demolition and Grading During Construction	This section describes requirements for demolition, grubbing, and/or grading. Considered revising language to include measures to avoid compaction of soil where GSI facilities are planned on site.	☒ Yes Language revised to add the following sentence at the end of the section: *Additionally measures must be taken to avoid compaction of soil where GSI facilities are planned on site.*	☒ No

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
		☒ Yes	☒ No	ROWIM, Section 4.17.2- Stormwater Code Compliance	This section describes the Amended Soil requirement (minimum requirement for all projects). The section provides the following guidance due to concerns that compost-amended soils may compact irregularly: • Seattle City Light (SCL) and Puget Sound Energy (PSE) require a 3-foot setback around all utility infrastructures • SPU also recommends a 3-foot setback from water meters Soils should be compacted within 1 foot of a curb or sidewalk	☒ Does not apply New language: All language removed and refers to the Stormwater code to avoid confusion.	☒ Does not apply
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation	☒ Yes	☒ No	ROWIM, Section 4.14.2- Design Criteria (for Street Trees)	This section requires a permit for Street Tree Removal.	☒ Does not apply	☒ Does not apply
	Screening	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping	☒ Yes	☒ Yes	ROWIM, Section 4.2.1a through h– Street Classifications and Street Types	This section describes the requirements for street trees and landscaping on the different street types. Considered requiring Silva cell type systems to promote healthy tree growth.	☒ No SDOT works with applicants on a project and site specific basis to select designs that promote healthy trees. Silva cells are not considered the best alternative in all instances for healthy tree growth.	☒ No
	Landscaping requirements for street frontages	☒ Yes	☒ Yes				

		☒ Yes	☒ Yes	ROWIM, Section 4.14- Street Trees and Landscape Architectural Standards	This section includes information and design criteria for street trees. Considered revising to include other landscaping between the sidewalk and the street, and allowing planted area within LID facilities to count towards open space or landscaping requirements.	☒ Yes **Planting strip treatments**: Plants in planting strips vary greatly in their potential to provide optimum pedestrian and environmental benefits. Though SDOT allows the installation of grass the department encourages the installation of raingardens, bioretention, permeable pavement, low (24-30 inches) shrubs, perennial or groundcover plantings that provide a superior degree of environmental benefit and separation between the sidewalk and street at reduced maintenance costs. Under some conditions, a combination of the plantings and grass or plantings and pavers may be appropriate depending on the street classification and need to accommodate parking in the curb lane. Refer to the Stormwater Manual Volume 3 – Project Stormwater Control Chapter 5 – BMP Design for guidance on integrating bioretention, rain gardens, permeable pavement or stormwater conveyance and treatment into the planting strip plan. **Planting strips—grading**: The final grade of soil surfaces in planting strips must accommodate runoff from sidewalk surfaces cross-sloped to drain toward the street. In cases where a mounded planting strip is proposed to provide a more effective separation between the sidewalk and street, a centerline height of 6" above the adjacent sidewalk grade is typical and gaps between mounded areas must be provided so that backup of runoff and ponding does not occur on the paved sidewalk. **Planting strip paving**: Up to 40% of the area in planting strips may be paved if the following conditions are met: • Paving is done in combination with street trees; • Related landscape architectural features pose no public safety concern; and • The combination of paving and trees provides an equal or better balance of functional and environmental benefits than a fully planted condition. • Paved area is not used for parking. Pervious pavement materials are encouraged to allow for the infiltration of runoff from the sidewalk before it enters the street to maximize the water quality entering the planting strip. Paving materials and installation details are found in the Stormwater Manual Volume 3 – Project Stormwater Control Chapter 5 – BMP Design.	☒ No

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages (cont.)	☒ Yes	☒ Yes	ROWIM, Section 6.5.10 – Landscaping for Traffic Calming Devices	This section describes the responsibilities for planting and maintenance of traffic calming devices after they are built. Residents are responsible for the maintenance of traffic circle plantings. Considered some flexibility for maintenance responsibilities if a traffic calming device (traffic circle or curb bulb) is also used for a GSI installation. This section also states that If a volunteer signs up to maintain plantings, soil and plants will be supplied; otherwise, the device will be covered in asphalt. Considered relaxing this requirement to allow some support from SDOT in providing and maintaining vegetation in traffic calming devices.	☒ No Roads are crowned in the center so that drainage is directed to the edges where it is either picked up in a piped system or with GSI. Placing GSI in the middle of an intersection would create a risk of flooding at the low point created.	☒ No
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Shared driveways	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum driveway width	☒ Yes	☒ Yes	ROWIM, Section 4.9.1 – Links to Standard Plans and Specifications	This section provides a link to Standard Plan 430: Type 430 Driveway.	☒ No	☒ No
	Use of permeable pavement for driveways	☒ Yes	☒ Yes	ROWIM, Section 4.9.1– Links to Standard Plans and Specifications	This section provides a link to Standard Plan 431: Concrete Driveway Placed with Sidewalk Construction.	☒ No	☒ No
	Two-track driveway design	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Bulk and Dimensional Considerations						
	Building setbacks	☒ Yes	☒ No	ROWIM, Section 4.21.2 – Design Criteria (Clearances)	This section lists standard clearances for a number of items including minimum vertical clearances from building and structures. Since the building setback is for overhead power and is a vertical clearance, it is not an issue for GSI installations.	☒ Does not apply	☒ Does not apply
	Height limits	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Maximum square footage	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

	Clearing and Grading						
	Protecting existing infiltration	☒ Yes	☒ Yes	ROWIM, Section 5.9 – Demolition and Grading During Construction	See description of this section under "Compaction". Considered revising language to include measures to take to avoid compaction of soil and protect existing infiltration rate where GSI facilities are planned on site.	☒ Yes The language was revised to state that measures must be taken to avoid compaction of soil where GSI facilities are planned on site.	☒ No
	Conserving native vegetation/soils	☒ Yes	☒ Yes	ROWIM, Section 5.9– Demolition and Grading During Construction	See description of this section under "Compaction". Considered revising language to include measures to take to preserve existing vegetation, soils, and minimize site disturbance where GSI facilities are planned on site, and to preserve natural topography of site (part of LID site planning).	☒ Yes The language was revised to state that measures must be taken to avoid compaction of soil where GSI facilities are planned on site.	☒ No
		☒ Yes	☒ Yes	ROWIM 5.13 – Acceptance/ Warranty Procedures for Improvement Projects	This section describes a 1-year surety bond for project functionality. Considered revising language to add a required landscape bond to ensure plant survival within 1 year of planting.	☒ Yes All surety bonds for street right-of-way improvements <u>including landscaping and GSI elements</u> are kept for a year to ensure that all improvements retain functionality during that period. After one year, the SDOT Inspector returns to the project site to inspect for <u>vegetation distress and</u> any apparent workmanship shortcomings that qualify as a safety hazard to pedestrian and vehicle traffic. If the area is safe for public use, then the bond is released and the project considered closed.	☒ No
	Construction sequencing	☒ Yes	☒ Yes	ROWIM, Section 2.5 – Right-of-Way Use Permits	This section involves obtaining a Street Use permit for temporary use of the ROW for equipment and material storage, staging or other activities during construction on private property. Considered revising language to include fees for environmental damages that may occur from use of the ROW including impacts to existing or planned GSI facilities.	☒ No Legislation must be passed to levy fees for environmental damages. Language was included in SMC Title 15.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 5.3 – Construction Inspection and Testing Procedures	The Street Use Inspector will coordinate all inspections required by other City Inspectors such as electrical, landscaping, structural components, etc. Considered revising language under other City Inspectors to specifically include SPU Inspectors that would be in responsible for GSI/ Stormwater Facility inspections during construction.	☒ Yes The owner of the project, owner's representative, and/or General Contractor is responsible for scheduling all required inspections for their work and the work of their sub-contractors. Street Use Inspector will coordinate all inspections required by other City Inspectors such as electrical, <u>drainage, water,</u> landscaping, structural components, etc.	☒ Yes.
		☒ Yes	☒ Yes	ROWIM, Section 5.9– Demolition and Grading During Construction	See description of this section under "Compaction". Considered revising language to include construction sequencing considerations to avoid compaction where GSI facilities are planned on site.	☒ Yes Revised language to add the following sentence at the end of the section: *Additionally measures must be taken to avoid compaction of soil where GSI facilities are planned on site.*	☒ No
	Street and Roads						

	Travel lane widths	☒ Yes	☒ Yes	ROWIM, Section 4.6.2 – Design Criteria (Roadway Width)	In this section, minimum lane widths are defined for various lane types. Review widths and considered reducing where feasible since these may restrict GSI implementation in the ROW.	☒ No SDOT is a leader in making streets in an urban environment safe for all users. One of the strategies used is to keep lane widths to a minimum depending on the roadway function and emergency vehicle access. The standard widths in the ROWIM reflect minimums that are required by the Local Agency Government (LAG) Manual.	☒ No
		☒ Yes	☒ Yes	ROW IM, Section 4.13.2- Bicycle Facilities	This section lists the minimum widths required for bicycle lanes. Considered encouraging shared lanes/climbing lanes when safety permits or directing bicycle traffic to less trafficked streets to keep lanes narrower and provide more room for LID implementation.	☒ No Current best practice for bicycle facility design does not include sharrows. This change has been made to make biking more attractive to a broader range of riders to increase ridership. SDOT has identified parallel routes on many corridors.	☒ No
	Right-of-way widths	☒ Yes	☒ Yes	ROWIM, Section 3.1.2 – Coordination with SDOT Street Use	This section states "When new street improvements are required and the existing street right-of-way width does not meet the established width, additional street right-of-way shall be dedicated." Considered revising to exempt GSI facilities.	☒ No Implementation of GSI facilities benefit from a widened right of way that results from a dedication so this does not negatively impact implementation of GSI. Further, dedication requirements are established in the Land Use Code. The ROWIM lets the applicant know that this may be a requirement under certain conditions.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.6.2 – Design Criteria (Roadway Width)	In this section, minimum roadway widths are defined for various land use zones. Review widths and considered reducing where feasible since these may restrict GSI implementation in the ROW.	☒ No The lane widths in the tables are compliant with State Standards for City and County road design standards (LAG Manual). SDOT has a deviation process for projects to propose reduced lane widths. It is explained in Section 2.11. SDOT and SPU agree that the optimal locations for implementing GSI to manage roadway runoff are non-arterial streets where there is adequate right of way to accommodate GSI for infiltration and flow control.	☒ No

		☒ Yes	☒ Yes	ROWIM, Chapter 4 Figures	Figures 4-2, 4-3, 4-5, 4-6, 4-8, 4-9, and 4-10 reference ROW and road dimensions. Review and considered reducing minimum requirements to provide additional space for GSI facilities.	☒ No The figures show the use of space from curb to curb and from the curb to the right of way limit and do not include dimensions. The figures are intended to show the different functions that various street types serve.	☒ No
	Right-of-way widths (cont.)	☒ Yes	☒ Yes	ROWMIM, Figures 6-2, 6-3, and 6-4	These figures depict a Street Design Concept Plan Template with a 66' ROW width. Review and considered allowing for more design flexibility for GSI implementation.	☒ No The figure is a concept plan template and does not reflect requirements. It is intended to show an applicant the type of information to provide when proposing a street design concept.	☒ No
		☒ Yes	☒ Yes	ROWIM, Figure 6-10	This figure provides a flow chart for evaluating Natural Drainage System (NDS) full street concept as a part of full street improvements. It lists the ROW minimum width as 56 feet. If the ROW width is less than the minimum, the applicant is encouraged to considered GSI for sidewalk drainage only.	☒ Yes The figure will be revised to include use of permeable pavement as an alternative for sidewalk drainage.	☒ No
	Use of permeable pavement for streets and roads	☒ Yes	☒ No	ROWIM, Section 2.10.11 – Coordination Activities	This section states "In general, there is a three-year moratorium on opening new pavement. It shall not be permitted within the three-year period following its installation, except in the following circumstances…" Considered adding use of permeable pavement to this circumstance list in order to promote GSI.	☒ No The Pavement Opening and Restoration Rule already requires pavement be replaced in-kind. See note at the end of Title 15 reporting form.	☒ No
	Use of permeable pavement for streets and roads (cont.)	☒ Yes	☒ Yes	ROWIM, Section 4.2.1 – Street Types	In this section, "Street Design Features" are listed for different classifications of streets. Considered adding "Permeable Pavement" or "GSI" as a street design feature or Priority Design Feature.	☒ Yes **Priority Design Features** • Wide sidewalks and planting strip buffer walking area from moving traffic • Street trees, landscaping and GSI • Bus shelters at transit zones • Signed and/or striped bicycle lanes on designated bicycle routes	☒ No
		☒ Yes	☒ No	ROWIM, Section 4.4.2 – Design Criteria (Grading)	This section currently includes Maximum/ Minimum Roadway Grades for asphalt and concrete. (Deleted from the sections – no reference found) Considered adding grade requirements for permeable concrete and porous asphalt.	☒ No The tables with grade requirements are for road classifications, not for pavement or surface types. Pavement types were removed to avoid confusion.	☒ No
		☒ Yes	☒ No	ROWIM, Section 4.7 – Roadway Pavement	This section includes design criteria and provides standard plan and specification references for Portland cement concrete and asphalt concrete.	☒ No	☒ No

		☒ Yes	☒ Yes	ROWIM, Section 4.11.2 – Design Criteria (Sidewalks)	Section "4.11.2 Design Criteria" (Standard Construction of Sidewalks) lists Portland cement concrete as the standard material. Considered adding other materials (such as permeable pavement).	☒ Yes **Standard construction of sidewalks**: A standard sidewalk is constructed of Portland cement concrete or permeable pavement and is located at least 5½ feet from the face of the curb and 2 feet from the property line. The sidewalk may be located closer to the property line when necessary to attain the minimum 5 foot planting strip width and 6 foot sidewalk.	☒ No
		☒ Yes	☒ Yes	ROWIM, Chapter 4 Figures	Figures 4-5, 4-6, 4-8, 4-9, 4-10, 4-11, 4-12, 4-18, and 4-19 reference asphalt/concrete as the pavement type. Considered adding permeable pavement as an option.	☒ No These sections do not include references to pavement type. The sections are intended to be very schematic and depict travel lanes, parking and streetscape which can consist of pedestrian facilities, landscaping, GSI, street furniture, etc.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 5.12 – Street and Sidewalk Pavement Opening Restoration Rule	This section refers to the Street and Sidewalk PORR for requirements that applicants, contractors, and city crews should meet when restoring openings within the street right-of-way. Considered revising this section, and the PORR, to include requirements for restoring openings on permeable pavement surfaces and facilities.	☒ No SDOT refers to code sections in the ROWIM wherever possible rather than repeating information included in these regulations. This is because 1) these documents are not updated simultaneously so the information could be out of date and 2) sometimes condensing the information leads to unintended interpretations. The user is always getting current accurate information on requirements, standards and options when links are provided to the current governing documents.	☒ No

	Use of permeable pavement for streets and roads (cont.)	☒ Yes	☒ Yes	ROWIM, Section 6.4.3 – Permeable Pavements as part of Partial or Full Street Improvements	This section describes the use of permeable pavement in the ROW. The section states "At this time, permeable pavements are limited to non-street surfaces, such as sidewalks, and planting strips." Considered allowing permeable pavement use for street surfaces in residential areas, alleys, and driveways. This section also lists permeable cement concrete as the only acceptable permeable pavement in the ROW for sidewalks. Considered allowing other types of permeable pavement for sidewalks. This section also lists the following types of permeable pavement that can be used in the planting strip: • Permeable asphalt concrete • Permeable cement concrete • Interlocking concrete pavers • Open-celled paving grids with vegetation • Open-celled paving grids with gravel	☒ Yes All GSI elements were removed from chapter 6 and placed in the Chapter 4, which is a Directors Rule. The new language in 4.17.4 is: **4.17.4 Permeable Pavements** Permeable pavement is a paving system which allows rainfall to percolate into an underlying soil or aggregate storage reservoir, where stormwater is stored and infiltrated to underlying subgrade, or removed by an overflow drainage system. Permeable pavement systems can be designed to provide differing degrees of flow control. Two categories of permeable pavement systems are included in the stormwater manual: permeable pavement facilities and permeable pavement surfaces. Design information is provided in the Section 5.4.6 and 5.6.2 of Volume 3: Project Stormwater Control, Stormwater Manual, DPD DR 21-2015/SPU DR DWW-200, Standard Plan 425 in Standard Plans 400 Series: Street Paving & Appurtenance (2014),Standard and Specifications Division 5: Surface Treatments and Pavements(2014). In addition to the standard non-proprietary permeable pavements such as porous asphalt and pervious concrete, certain permeable pavers may be allowed to be installed in the right-of-way at the discretion of the City. See table of Allowable Proprietary Permeable Pavement Materials for Stormwater Credit in Seattle and King County.	☒ No
		☒ Yes	☒ No	ROWIM, Section 4.14.2 – Design Criteria (for street trees)	This section encourages use of pervious pavements in planting strips to allow for the infiltration of runoff from the sidewalk before it entering the street.	☒ Does not apply	☒ Does not apply
	Placement of utilities under paved areas in the ROW	☒ Yes	☒ Yes	ROWIM, Section 1.5 – Departmental Roles and Responsibilities	This section describes roles and responsibilities for various City departments. Considered revising language to more clearly define departmental responsibilities related to GSI.	☒ No The ROWIM is a document to provide guidance to applicants regarding requirements for right of way improvement design and construction. Interdepartmental responsibilities for maintenance of joint use or joint purpose facilities are addressed in interdepartmental memorandums of agreement.	☒ No
		☒ Yes	☒ No	ROWIM, Section 2.2 – SDOT Street Right-of-Way Permits	This section describes five basic types of SDOT permits for work in or use of a street right-of-way. Considered revising language in the "Utility Permits" subsection to specifically include GSI facilities.	☒ No GSI is not a permit type. The language here is not comprehensive and is not an appropriate locations for detail of one particular sub-type of one of the multiple permits listed.	☒ No

		☒ Yes	☒ YNo	ROWIM, Section 4.15.1 – Design Criteria (Introduction to Utilities Design Criteria)	This section describes utility easements for lighting, drainage, water, and fire protection in the ROW. Sewer and storm drains within the same easement require a minimum of 7 feet of separation between the sewer and the storm drain. Review easement widths and separation distances and considered reducing where feasible since these may restrict GSI implementation in the ROW.	☒ No The utility easements described in this section are easements for utilities on private property. These do not affect implementation of GSI in the right of way.	☒ No
	Placement of utilities under paved areas in the ROW (cont.)	☒ Yes	☒ Yes	ROWIM, Section 4.27 – Access Easements – Design Criteria	This section describes vehicle access easements serving one or two dwelling units. It includes a requirement for 3 inches of asphalt over 6 inches of crushed rock and a 2' wide shoulder on each side. Review design criteria and considered adding flexibility to select a different pavement type (such as permeable pavement) and/or a narrower shoulder width.	☒ Yes Shoulder width is a structural requirement therefore the language for the shoulder width will not be changed.	☒ No
	Required turn around area (e.g., Fire, USPS)	☒ Yes	☒ Yes	ROWIM, Figure 4-26	This figure illustrates the minimum dimensions for alley and easement turnarounds. Review and considered reducing turn around area if feasible.	☒ No The minimum dimension for a turnaround is based on turning movements for emergency vehicles. This will remain the same.	☒ No
	Sidewalk widths	☒ Yes	☒ Yes	ROWIM, Section 4.6.1 – Standard Plan and Specification References (Roadway Width)	This section provides a link to Standard Plan 400: Half Section Grading and Standard Plan 430: Type 430 Driveway which include sidewalk widths.	☒ No Changes to standard plans and specifications are addressed in the review of those documents. The ROWIM will link to the revised document.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.9.1 – Standard Plan and Specification References (Driveways)	This section provides a link to Standard Plan 430: Type 430 Driveway and Standard Plan 431: Concrete Driveway Placed with Sidewalk Construction which include sidewalk widths.	☒ No Changes to standard plans and specifications are addressed in the review of those documents. The ROWIM will link to the revised document.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.2.1a through h– Street Classifications and Street Types	This section states that sidewalk widths shall be as wide as possible to accommodate pedestrians once vehicle needs are addressed. Considered including LID BMPs as a need before the maximization of sidewalk width. Considered reducing sidewalk width, do not encourage to be as wide as possible, or require permeable pavement	☒ Yes As wide as needed to accommodate pedestrians in balance with vehicle access needs. Additional sidewalk width is encouraged in the vicinity of transit zones.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.11 – Sidewalks	Section 4.11 (Sidewalks), 4.11.2 (Design Criteria), Figure 4-18, and Figure 4-19 lists the minimum pedestrian zone requirements for different street zones. Section 6.3.1 (Neighborhood Plan Updates) also refers to Section 4.11.2 for sidewalk width requirements in the vicinity of transit stations. Review and considered reducing minimum widths if feasible to allow for GSI facility installation.	☒ No The width requirements in the vicinity of transit stations are set based on expected pedestrian volumes. This is an important priority in the vicinity of a transit station.	☒ No

		☒ Yes	☒ Yes	ROWIM, Chapter 4 Figures	Figures 4-9, 4-10, 4-11, 4-12, 4-18, 4-19 illustrate the minimum width requirements for sidewalks as 6 feet. Review and considered reducing minimum width if feasible to allow for GSI facility installation.	☒ No Encouraging walking is an important priority for promoting transportation alternatives that provide healthy choices to reduce driving.	☒ No
	Sidewalk widths	☒ Yes	☒ No	ROWIM, Section 6.1.7b – Minimum Sidewalk Width, Areas Free of Obstructions	This section discusses minimum sidewalk widths. ADA requires a minimum of 5 feet clear sidewalk space for two wheelchair users to pass one another. SDOT prefers six feet of unobstructed, linear sidewalk space that is free of street furniture, street trees, planters, and other vertical elements. Considered revisiting the six foot preference to allow room for GSI facility installation.	☒ No Section was removed from the manual in entirety. All GSI information is in Chapter 4.	☒ No
	Sidewalk slope	☒ Yes	☒ Yes	ROWIM, Section 4.11.2 – Design Criteria (Sidewalks) and Chapter 4 Figures	Section 4.11.2 and Figures 4-9, 4-10, 4-11, 4-12, 4-18, and 4-19 define the minimum sidewalk slope as 0.5% and the maximum sidewalk slope as 2%. Figures depict sidewalks draining towards the planting strip. Considered adding language encouraging sidewalks to slope into LID BMPs vs. the street.	☒ No GSI is typically placed on the street side of a sidewalk which is why the figures show the sidewalk draining toward the planting strip. The city cannot direct runoff from the right of way onto private property. If on occasion GSI is placed between the sidewalk and the property/right of way line the sidewalk may be sloped toward the GSI facility.	☒ No
		☒ Yes	☒ Yes	ROWIM, Figures 6-23, 6-24, 6-25	These figures depict a permeable pavement sidewalk and a permeable pavement sidewalk adjacent to a swale or ditch with a 2% sidewalk slope. They also list a maximum longitudinal slope of 5%. Considered revisiting the maximum longitudinal slope requirement if the Seattle Stormwater Manual updates or removes this maximum slope.	☒ No The maximum slope is based on SPU design standards. The facility would not be functional at steeper slopes.	☒ No
	Minimum cul-de-sac radius	☒ Yes	☒ Yes	ROWIM, Figure 4-25	This figure illustrates the minimum cul-de-sac radii dimensions. Review and considered reducing radii dimensions if feasible.	☒ No The minimum dimension for a turnaround is based on turning movements for emergency vehicles.	☒ No
	Alternatives to cul-de-sacs	☒ Yes	☒ No			☒ Does not apply	☒ Does not apply
	Parking						
	Minimum/maximum parking ratios	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Permeable paving use	☒ Yes	☒ No	ROWIM, Section 4.2.1 – Street Types	See “Use of permeable pavement for streets and roads”	☒ Yes No references to pavement type in this section. This section describes street types by volume of vehicles.	☒ No
	Parking stall dimensions	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

	Driving aisle dimensions	☒ Yes	☒ Yes	ROWIM, Section 4.10.2 – Design Criteria (Curbs)	This section refers to Figure 4-17 for parking curb setback requirements. Considered revising minimum setbacks for parking curbs in order to reduce impervious surfacing.	☒ No The requirements for curb setbacks are established in SMC 15.06.050.	☒ No
	Off-street parking regulations	☒ Yes	☒ No	ROWIM, Section 4.13.2 – Design Criteria (Bicycle Facilities)	Private, off-street bicycle parking requirements are specified in the Land Use Code (SMC 23.49 and 23.54). DPD will be reviewing the Land Use Code.	☒ Does not apply	☒ Does not apply
	Design Guidelines and Standards						
	Trees and bioretention	☒ Yes	☒ Yes	ROWIM, Section 4.2.1 – Street Types	In this section, "Street Design Features" are listed for different classifications of streets. Considered applying "Drainage" section to additional types of streets (currently only under Green Streets). Considered adding "Bioretention" or "GSI" as a street design feature or Priority Design Feature.	☒ Yes **Priority Design Features** • Wide sidewalks and planting strip buffer walking area from moving traffic • Street trees, landscaping and GSI • Bus shelters at transit zones • Signed and/or striped bicycle lanes on designated bicycle routes	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.11 - Sidewalks	This section lists proper uses of the landscape/furniture zone. Considered including bioretention and other GSI facilities on this list.	☒ Yes: **The Landscape/Furniture Zone** (including the curb) is defined as the area between the roadway curb face and the front edge of the walkway. The minimum width of this zone is 5½ ft feet except in locations adjacent to high and intermediate capacity transit stations. Objects in the landscape/furniture zone must be setback a minimum of 3' from the face of the street curb. This zone buffers pedestrians from the adjacent roadway and is the appropriate location for GSI, street furniture, art and landscaping. It is also the preferred location for street trees, and other elements such as pedestrian lighting, hydrants and below grade utility hatch covers. Transit Zones are also located in the landscape/furniture zone and are designated for transit customer waiting, loading and alighting and may include transit signage, shelters, benches, litter receptacles, and pedestrian scaled lighting. GSI, landscaping or other objects proposed for this zone must comply with City of Seattle permitting requirements and design criteria.	☒ No

		☒ Yes	☒ Yes	ROWIM, Section 4.17.6 – Additional Information	This section provides additional design criteria for drainage systems including ditch modification requirements. Considered adding bioretention ditch retrofits to this section.	☒ No ROWIM is guidance and references other documents. To avoid confusion here all the language was deleted except for the following: **Public storm drains**: A new public storm drain may be required when • there is no available public storm drain and there is no acceptable discharge point; and • to achieve adequate capacity; New public storm drains shall be sized to handle all upstream tributary area from the drainage basin in which they are located. They shall be designed to be continuous with existing and future storm drain pipes that are or will be part of the storm drainage system. The engineer shall provide the hydraulic calculations used in the pipe design for review by SPU. Additional information is included in SPU CAM 1180 Design Guidelines for Public Storm Drain Facilities (2012).	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 6.4.2 – Bioretention Design Guidance	This section provides design guidance for bioretention in the ROW. The longitudinal slope specified is flat or gradual (< 2%). Considered allowing steeper slopes with the incorporation of design elements such as check dams and weirs.	☒ Yes All GSI information has been moved to chapter 4. References to GSI were deleted from chapter 6 to avoid confusion.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 6.5.10 – Landscaping for Traffic Calming Devices	This section describes the responsibilities for planting and maintenance of traffic calming devices after they are built. It states that a traffic circle must be at least 14 feet in diameter to qualify for a tree. Review and considered reducing these requirements for smaller tree species and/or GSI installations.	☒ No Tree species are limited to large scale trees to avoid sight distance issues or interference with vehicles.	☒ No
		☒ Yes	☒ No	ROWIM, Figure 6-10	This figure provides a flow chart for evaluating Natural Drainage System (NDS) full street concept as a part of full street improvements. If the ROW width is less than the minimum (56-foot width), the applicant is encouraged to considered GSI for sidewalk drainage only. Partial street improvements such as bioretention in the planting strip area should also be encouraged.	☒ No The existing figure indicates a location for GSI and the language encourages the placement of GSI.	☒ No
		☒ Yes	☒ Yes	ROWIM, Figures 6-15, 6-16, and 6-17	These figures provide details for bioretention, biofiltration cells and a conveyance swale. The figure specifies that the side slopes must be 4:1 max when within 50 feet of intersections. Considered relaxing this requirement to 3:1 side slopes or 2.5:1 side slopes.	☒ No The side slopes are reduced in the vicinity of the intersection for vehicle safety.	☒ No
		☒ Yes	☒ No	ROWIM, Section 4.14 – Street Trees and Landscape Architectural Standards	This section lists clearances from street trees- at grade and below grade, planting strip dimensions and clearances, and minimum setbacks required for street trees planted in planting strips.	☒ Does not apply	☒ Does not apply;
	Trees and bioretention (cont.)	☒ Yes	☒ No	ROWIM, Figure 6-22	This figure provides guidance for tree planting within a bioretention swale.	☒ Does not apply	☒ Does not apply;

	Continuous curb requirements	☒ Yes	☒ Yes	ROWIM, Figure 4-1	The current design cross section includes a 6" curb. Considered promoting curb cuts and no curbs when feasible to promote infiltrating GSI facilities.	☒ No Curb cuts are already included in bioretention details.	☒ No
		☒ Yes	☒ No	ROWIM, Figure 6-18 and 6-19	These figures include details for curb drain cut openings for swales and concrete inlets, channels, and grates.	☒ Does not apply	☒ Does not apply
	Curb radii	☒ Yes	☒ Yes	ROWIM , Section 4.8.2 – Design Criteria (Intersections)	This section lists the standard curb radii for street intersections. Review and considered modifying where feasible since these may restrict GSI implementation in the ROW.	☒ No These radii are based on vehicle turning radii.	☒ No
		☒ Yes	☒ Yes	ROWIM, Section 4.10.2 – Design Criteria (Curbs)	This section lists the curb radii to be used for pedestrian bulbs. Review and considered modifying where feasible since these may restrict GSI implementation in the ROW.	☒ No These radii are based on vehicle turning radii.	☒ No
	Stormwater Management and Maintenance						
	Training	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Enforcement	☒ Yes	☒ No	ROWIM, Section 5.15 – Annual Permits and Maintenance Responsibilities	This section states that the City is responsible for the area between the curbs, while the property owner is responsible for the area between the curb and the property line. Considered revising language to clarify City and property owner maintenance responsibilities for GSI facilities. Considered adding GSI incentives if maintenance is performed by property owners.	☒ No Laws governing responsibilities are outside of the scope of the ROWIM.	☒ No
	Enforcement (cont.)	☒ Yes	☒ Yes	ROWIM, Section 6.4.6c – Restoring Damages to GSI from Construction or Vehicular Damage	This section describes the actions that must be taken if a bioretention or permeable pavement is impacted negatively by the following activities: • Construction activities • Utility cuts • Vehicular accidents • Damage from oil spills, fertilizers, or other harmful substances Restoration of bioretention usually includes plant removal, bioretention soil excavation and replacement to original depth, mulch replacement, and replacement of landscaping to equal or better than the original design. This section does not currently include a reference to a code section to make this enforceable with escalating enforcement actions and/or fines.	☒ No It was not intended to provide an explanation of escalating enforcement methods. This gap was addressed via changes to Seattle Municipal Code -- Title 15.	☒ No
		☒ Yes	☒ No	ROWIM, Section 6.2f – Maintenance	This section states that it is the responsibility of abutting property owners to maintain green streets with their consent unless a written agreement is established with SDOT.	☒ Does not apply	☒ Does not apply
		☒ Yes	☒ No	ROWIM, Section 6.4.6 – Maintenance Responsibilities	This section describes maintenance responsibilities for GSI. It states that adjacent property owners are responsible for maintaining sidewalks, driveways, and parking pads as well as landscaping in the street ROW.	☒ Does not apply	☒ Does not apply

		☒ Yes	☒ No	ROWIM, Section 6.4.6a – Maintenance for Bioretention	This section describes maintenance responsibilities specific to bioretention. The applicant is solely responsible for the first year of plant establishment. SPU will supplement the maintenance after the first year of plant establishment for facilities installed for stormwater code compliance (minimum size of 500 square feet).	☒ Does not apply	☒ Does not apply
		☒ Yes	☒ No	ROWIM, Section 6.4.6b – Maintenance for All Permeable Pavements	This section describes maintenance responsibilities specific to permeable pavement. SDOT will accept all maintenance responsibilities for permeable pavement installed for stormwater code compliance in the ROW.	☒ Does not apply	☒ Does not apply
	Education	☒ Yes	☒ No	ROWIM, Section 6.5 – Traffic Calming	Education is discussed in this section as an option (along with enforcement and other routine traffic management solutions) to slow speeds and improve neighborhood livability.	☒ Does not apply	☒ Does not apply
	Zoning requirements						
	Individual open space requirements	☒ Yes	☒ No	ROWIM, Section 6.2.5 – Designating New Green Street and Neighborhood Green Streets	This section lists siting criteria for designating new green streets and new neighborhood green streets. Criteria related to open spaces include: • Streets in medium and high-density areas where residents generally do not have access to private yards, existing open space is very limited, and land is not available for future open space development. • Undeveloped streets within designated open spaces where it is desirable to retain the undeveloped conditions of the surroundings.	☒ Does not apply	☒ Does not apply
	Passive vs. active open space requirements	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Opportunities for Performance Based Designs (PUDs)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Critical Areas and Shoreline Management						
	Allowance of LID/GSI BMPs in critical areas/shorelines when compatible	☒ Yes	☒ No	ROWIM, Section 6.2.5 – Designating New Green Street and Neighborhood Green Streets	This section lists siting criteria for designating new green streets and new neighborhood green streets. One criterion related to shorelines is "Streets that have a special character that is of interest to pedestrians, including streets providing shoreline access, streets with special views, and streets located in areas of unique historic or architectural interest."	☒ Does not apply	☒ Does not apply

Additional Notes:

The ROWIM referred to the following sections of SMC Title 23- Land Use Code.

Land Use Code Section	Topics
SMC 23.44 – Residential, Single-Family	• Single Family parking location and access
SMC 23.45 – Multi-Family	• Lowrise parking and access • Midrise parking and access • Street tree and landscaping requirements
SMC 23.49 – Downtown Zoning	• Downtown parking quantity requirements
SMC 23.53 – Requirements for Streets, Alleys, and Easements	• Zone category • ROW widths • Full and reduced improvement requirements

Land Use Code Section	Topics
	• Pedestrian access and easements • Dedication requirement • No Protest Agreement • Paving requirement • Alley width • Required improvements • Easement standards • Access easement standards
SMC 23.54 – Quantity and Design Standards for Access, Off-Street Parking, and Solid Waste	• Curb cut width requirements • Driveway slope requirements • Parking space standards • Bicycle parking • Required parking • Major institutions parking and transportation • Parking quantity exceptions

The ROWIM referred to the following Standard Plans and Specifications.

ROWIM Section	Standard Plans and Specifications Referenced
4.5.1 Design Cross Section	Standard Plans: 030, 400, 401, 402, 403
4.6.1 Roadway Width	Standard Plans: 400, 401, 402, 405, 410, 411
4.7.1 Roadway Pavement References	• Standard Plan: 401, 402, 403, 405 • Standard Specification: 2-09
4.8.1 Intersections References	Standard Plans: 422a, 422b, 422c
4.9.1 Driveways References	Standard Plans: 430, 431
4.10.1 Curbs References	Standard Plans: 401, 402, 410, 411, 412, 413a, 413b
4.11.1 Sidewalks References	Standard Plans: 420, 421, 422, 430, 431
4.12.1 Crosswalks References	Standard Plans: 712
4.13.1 Bicycle Facilities References	Standard Plans: 265, 722, 724
4.14.1 Street Trees and Landscape Architectural Standards	• Standard Plans: 030, 100, 424a, 424b • Standard Specifications: 1-07.16(2), 8-01.3(2)B, 8-02, 8-14
4.16.1 Street Lighting References	• Standard Plans: 500 • Standard Specifications: 8-30, 9-31
4.17.1 Street Drainage, Storm Drains and Sewers References	• Standard Plans: 200 series • Standard Specifications: Divisions 7 & 9
4.18.1 Water Mains References	• Standard Plans: 030, 300, 286a, 286b, 330a, 330b • Standard Specifications: 1-07, 7-10.3(5)C, 7-11, 9-30
4.19.1 Fire Protection References	• Standard Plans: 310a, 310b, 311a, 311b, 312, 313, 314 • Standard Specifications: 7-14
4.21.1 Clearances References	Standard Plan: 030
4.22.1 Structures Within the Right-of-Way References	Standard Plans: 141, 440a, 440b, 441, 442, 443a, 443b, 800, 801
4.25.1 Transit Zones References	Standard Plans: 423, 630
5.4 Creating an Accessible and Safe Work Site	Standard Specifications 1-07.1 (2), 1-07.16, 1-07.23, 1-07.28, and 1-10

The ROWIM also referred to the following:

- CAM 242: Tree Protection Regulations
- CAM 331: Environmentally Critical Areas: Tree and Vegetation Overview
- CAM 1180: Design Guidelines for Public Storm Drain Facilities
- CAM 2111: Checklist for Traffic Control Plan Submittal
- CAM 2112: Traffic Control Vendors
- CAM 2216: SDOT Street Improvement Permitting (SIP) Pre-Construction Process
- DPD CAM 507: Side Sewer Permits for Build-over Agreements
- DPD DR 3-2006/SPU DR 02-06 – Requirements for Design and Construction of Service Drains (Drainage Water Discharges)
- DPD DR 2-2006/SPU DR 01-06 – Requirements for Design and Construction of Side Sewers (Wastewater Discharges)
- SPU Core Tap Procedures
- Traffic Control Manual for In-Street Work
- Traffic Control Manual website

City of Seattle Report Form

LID/GSI – Review & Revise Local Codes

Document/ Code/ Rule/ Standard Reviewed:

Street Tree Manual, including the following sections:

- Street Tree Manual Table of Contents
- Introduction
- Section 1 Definitions
- Section 2 Protection of Trees During Construction
- Section 3 Removal, Replacement and Planting of Trees
- Section 4 Evaluating Tree Risk Exposure
- Section 5 Tree Maintenance Guidelines
- Section 6 Tree Reports

www.seattle.gov/transportation/docs/Street%20Tree%20Manual%20WEB.pdf

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Maureen Meehan	NPDES Stormwater Program Manager	NPDES compliance for SDOT	SDOT
Susan Paine	Strategic Advisor	Regulatory updates	SDOT/now SCL
Angela Steel	Public Space Management Implementation	Updates Street Use regulations and policies. Supervises inpsections and reviewers of Street uses.	SDOT
Shane Dewald	Landscape Architect	Urban Forestry & Landscape Architectural design and review of projects, planting plans and enforcement of tree protection.	SDOT
Nolan Rundquist	City Arborist	Supervises Arborculturist group	SDOT
Darren Morgan	Urban Forestry Manager	Manage the care of City owned Trees.	SDOT

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps? Please fill out the following table for any section of the Document/ Code/ Rule/ Standard that may potentially conflict with implementation of LID/GSI BMPs based on the topics outlined in Step 2.

Step 4 – Have you taken any steps to **FILL THE GAPS**? Has alternative language been drafted to address the conflict/gap?

Step 5 – Are you aware of any other City codes/documents that may be affected by the proposed revisions in Step 4?

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking area locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater management facility locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Soils						
	Protecting and restoring healthy soil	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 2.00 Protection of Trees During Construction	Soil disturbance is prohibited within the tree protection zone (TPZ) unless approved by the City. If soil damage occurs, contractors must provide mitigation and restoration in accordance with Compaction and Grade Change, Section 2 20 A&B and Soil Improvement, Section 5.50.	☒ Yes ☐ No The 2014 Street Tree Manual (STM) includes the following revisions to address the identified gaps: **Prohibited Acts and Penalties** The following list of terms describes actions that are subject to penalties. In addition to performing any of these actions, failure to obtain a permit or failure to follow the conditions of a permit, this manual or the Seattle City Ordinance may also lead to penalties. ▪ Placing or storing materials, including but not limited to, stones, bricks, concrete, asphalt, fill soil, plastic sheeting, or construction materials, within the dripline of a *street tree* or other vegetation in public places. •	☒ Yes ☐ No If yes, list code/ document title(s): • *Compaction and Grade Change, Section 2 20 A&B* • *Soil Improvement, Section 5.50*

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Compost amendments	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Property Owners: Tree Placement and Planting Recommendations	Soil amendment (compost) is recommended to improve poor soil structure that is typically associated with newly constructed planting strips and construction sites. This section does not require soil amendments in existing planting strips with well-developed soil and appropriate site and soil properties for drainage. Consider making soil amendment a requirement instead of a recommendation in areas with poor soil quality. Also consider adding a minimum depth of restoration for healthy soil quality (8" to 10" is the recommended depth for healthy root development in trees).	☐ Yes ☒ No If yes, include language: New construction sites are required to amend soils under the stormwater code. No need to address here. Individual tree plantings are not disturbing additional soils and therefor do not trigger additional soil amendments.	☒ Yes ☐ No If yes, list code/ document title(s): • *City of Seattle Standard Plans and Specifications for Municip Construction*
	Compaction	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Property Owners: Street Tree Installation	See comments above under "Protecting and restoring healthy soil"	☐ Yes ☐ No If yes, include language :	☐ Yes ☒ No
	Compaction (cont.)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Non Tree Service Contractor: Activities During Construction and Demolition	If compaction of soil occurs, it must be mitigated according to SDOT Urban Forestry for optimum compatibility with the tree species, soil, and site conditions. Consider adding introductory language to this section that states "Steps should be taken to avoid compaction; however, if compaction of the soil occurs . . .	☐ Yes ☐ No If yes, include language:. This page states, "Work within the dripline of a street tree requires that specific actions be taken to ensure the tree…and soil are protected from construction damage"	☐ Yes ☒ No
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Introduction Section 1.00 Definitions	A permit is required prior to commencing any work within the drip line of any 'street tree.' Permits are required for tree removal of regulated trees. Manual clarifies that it is the City policy to retain trees.	☒ Yes ☐ No The 2014 STM includes the following revisions to address the identified gaps: On April 29, 2013, the City of Seattle amended Seattle Municipal Code (SMC 15.43), the Tree and Vegetation Management in Public Places Ordinance (the Street Tree Ordinance), to expand the Seattle Department of Transportation's (*SDOT*) regulatory authority to protect, maintain, and preserve trees in *public places*. For the purposes of this manual, as defined in Chapter 15 of the Seattle, Municipal Code, '*public places*' includes public right of way and the space above or beneath its surface, whether or not open or improved, including streets, avenues, ways, boulevards, drives, places, alleys, sidewalks, *planting strips*, squares, triangles, and plazas that are not privately owned. The following summarizes the code changes:	☒ Yes ☐ No If yes, list code/ document title(s): • *Seattle Municipal Code, Title 15.* • *Right of Way Improvements Manual, Sectior* • *City of Seattle Standard Plans and Specificat Municipal Construction, Standard Plan 030*

SMC 15.43	Tree and Vegetation Management in Public Places
Tree Protection	1. Makes it illegal to damage or destroy a *street tree*. 2. Prohibits *topping*, spurring, and attaching signs or other objects to trees. 3. Prohibits placement or storage of construction materials adjacent to trees.
Permitting	1. Requires a permit to plant, perform major pruning, or remove a *street tree*. 2. Describes the permit application process. 3. Defines the criteria for granting or denying a permit application. 4. Requires a replacement tree when a removal permit is granted.
Tree Maintenance Responsibilities	1. Defines responsibilities for *street tree* maintenance. 2. Gives city authority to perform emergency work on all *street tree*s and trees on abutting property. 3. Defines criteria by which a tree may be declared a public nuisance.
Tree Service Provider Registration Requirements	1. Requires *tree service provider*s performing work on *street tree*s to be supervised by an International Society of Arboriculture (ISA) *certified arborist*. 2. Documents insurance requirements for *tree service provider*s. 3. Permits a property owner to perform work on *street tree*s in the right of way as long as the work meets industry standards.
Penalties and Fines	1. Establishes penalties for damaging or destroying *street tree*s, which may include fines and/or penalties for the appraised value of the tree, in violation of SMC 15.43.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation (Continued)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 2.00 Protection of Trees During Construction	Section 2.0 identifies negative impact on tree health from construction. Methods for protecting trees (fencing and signs) are listed. The dimensions of the TPZ are identified in the definitions as 10 x diameter at breast height (DBH). Updated best practice requires calculating and protecting the Critical Root Zone (CRZ) and the drip line of a tree for tree protection. Limited information on tree pruning requirements is provided under the following categories: Minimum Pruning (crown cleaning only); Maximum Pruning (used in rare circumstances with no more than 25% of the functioning leaf stem removed); and Tree Workers (limited to qualified tree care specialists and certified tree workers). Further guidance on proper tree pruning timing, techniques, and certification standards should be provided. Methods for protecting trees during construction are provided for the following activities: soil compaction, grading, trenching or excavation, tunneling and directional drilling. Mitigation strategies for different types of construction disturbance are also provided.	☒ Yes ☐ No The 2014 STM includes the following revisions to address the identified gaps: See attached pages of the manual Appendix A • Contractors are required to protect the CRZ and dripline of street trees. Guidance is provided on how to calculate the CRZ and dripline areas. • More detail is added regarding appropriate pruning techniques, timing, and certifications necessary to engage in any pruning activities. The updated STM provides more stringent requirements and proof of a need to perform maintenance on new or mature street trees. • Guidance is also provided to help home owners choose an appropriate tree professional for any tree care needs they may be responsible for. • Provides additional guidance on protecting trees during construction practices and updates best practices for different types of tree protection. **Tree Protection Information for Other Contractors** **Tree Protection and Preservation - Introduction** *Street tree*s shall be retained and protected from incidental impacts, injury, and damage by permitted or unpermitted construction or use of space in the right-of-way. The following requirements come from the City of Seattle's Right-of-Way Improvements Manual, Chapter 4.14 that describes the City's regulations for the installation of any improvements into the public place. The engineering standards come from City of Seattle Standard Plans and Specifications for Municipal Construction. All permitees are required to follow these plans and specifications whenever there is work in the City's rights-of-way. To prevent *injury* to *street trees*, no work may occur within a *street tree's critical root zone* (CRZ or '*Zone A*') without specific authorization from *SDOT* Urban Forestry. Work within the *dripline* ('*Zone B*') of a *street tree* requires that specific actions be taken to ensure that the tree, its roots, and the soil are protected from construction damage. Construction activities in these zones affect both the tree's canopy and the tree's roots, and adequate protection measures are required to protect s*treet tree*s from damage. Each *street tree* within a work zone that is not approved for removal shall be fenced, including all unpaved areas of the *critical root zone* to prevent compaction, grading or other *disturbance*. See *Tree Protection Fencing* detail at the end of this section of the manual. The *critical root zone* must be shown on all site plans for the permitted activity. Improvements or activities such as removal of pavement, repair of pavement, new paving, utility, and irrigation *trenching* and other ancillary activities shall occur outside the *critical root zone*, unless authorized by *SDOT* Urban Forestry. See Standard Plan 133 drawing below for a depiction of the required *critical root zone* protection area.	☒ Yes ☐ No If yes, list code/ document title(s): • *Seattle Municipal Code, Title 15.* • *Right of Way Improvements Manual, Sectior* • *City of Seattle Standard Plans and Specificat Municipal Construction, Standard Plan 030*

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation (Continued)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 3.00 Removal, Replacement and Planting of Trees	Section 3.0 requires a written permit to remove a regulated tree and a description of tree replacement requirements, conditions, and installation procedures.	**Street Tree Removal and Replacement** A *street tree* must be protected and preserved unless SDOT has issued a Street Use Permit authorizing the removal and replacement of the tree. *Street trees* that are removed must be replaced with the same species, or another species that provides comparable or greater canopy coverage at maturity, providing that the planting site has sufficient space to support the replacement tree. Removal of a *street tree* without a permit or without replacing the tree is a violation of City ordinance and subject to penalty. A *street tree* may not be removed unless SDOT determines that: • The *street tree* is a *hazardous tree* and cannot be relieved of its hazardous condition through actions other than removal; • The *street tree* poses a public safety hazard. In some cases, an otherwise healthy tree may have grown in such a way that it is not compatible with the safe operation of the transportation system. A native tree, germinating naturally and growing into the clearance zone required at an arterial intersection is one example; • The *street tree* is in such a condition of poor health or poor vigor that removal is justified; or • The *street tree* cannot be successfully retained, due to public or private construction or development conflicts. The conflict must be confirmed and removal approved by *SDOT* Urban Forestry. In all cases, a tree removal permit application requires the following for City review and approval, unless specifically waived by *SDOT* Urban Forestry: 1. Completed *SDOT* Street Use General Permit Application 2. Completed *SDOT* Urban Forestry Permit Application 3. Payment of any fees associated with administration of the permit, occupation or use of the right-of-way 4. Verification of neighborhood notification or tree posting. 5. Arborist report, if needed to document the existence of a hazard. All *street trees* that have been assessed and approved by *SDOT* for removal, including emergency removals, are subject to Tree Replacement Standards (below). With the exception of emergency removals, a copy of the permit must be on site during the removal process. See section on Emergency Removal Conditions for more information about emergency conditions. **The removal permit must be on site during the removal process.** *Street tree* removal processes may involve significant impacts to mobility within the improved right of way. In some instances, traffic control plans may be required, and review fees apply.	

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documer may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation (Continued)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 4.00 Evaluating Tree Risk Exposure	Section 4.0 describes required conditions and protocols for emergency tree removal and hazard tree assessment. A tree evaluation checklist is provided for property owners to facilitate tree hazard assessment.	☒ Yes ☐ No The 2014 STM includes the following revisions to address the identified gaps: • By protecting these important features of our "Emerald City", we are reducing stormwater runoff from impervious surface and reducing the need for additional impervious surfaces. • The tree evaluation form to determine the health of street tree and whether or not a tree qualifies as a tree hazard is formatted as a stand-alone form to be completed and submitted by a tree professional. SDOT Urban Forestry may require an Arborist Report be submitted in support of a *street tree* removal permit application. The Arborist Report must be prepared by an ISA *Qualified Tree Risk Assessor* and shall include the following: • A completed ISA Tree Evaluation Form – see Appendix D • A brief letter that includes: ○ Arborist's name and certification number ○ Site address and date of inspection ○ Description of inspection methods used to identify defects ○ Description of the defect/s that contribute to the tree's risk ○ Explanation of alternative risk reduction options considered in lieu of removal • Up to 6 photographs that clearly depict the defects and/or tree condition *SDOT* Urban Forestry retains discretionary right to approve, request in writing a second opinion of a rating in writing, or recommend action to mitigate the risk, short of tree removal. For more information regarding the Tree Risk Assessment process, see Appendix D **Emergency Removal Conditions** When a *street tree* is in a condition that poses an imminent threat to the public place, and no other risk abatement options exist, the tree may be removed without prior City review or approval. **In such instances, contact *SDOT*'s 24-hour Emergency Dispatch at (206) 386-1218 to notify *SDOT* of the intended action.** In emergency removal cases, the property owner or tree service professional must substantiate conditions for removal after the action. Sufficient documentation includes photographs, tree condition information, or other relevant information and completion of a Street Use permit application for tree removal and replacement. An Arborist Report is the preferred format. This information is to be submitted to the City Arborist within 24 hours, or next business day of the emergency removal. All other authorizations are subject to the standard procedure outlined in Tree Removal. Tree replacement is required for all tree removals, unless specifically waived by *SDOT* Urban Forestry.	
	Screening	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 5.00 Tree Maintenance Guidelines	Section 5.0 describes prohibited maintenance acts, pruning standards for regulated trees, watering schedules for regulated trees, soil improvement techniques, insect and disease control practices, and tips for selecting an arborist or tree care professional.	☒ Yes ☐ No The 2014 STM includes the following revisions to address the identified gaps: • The contents of Section 5.0 were updated and expanded upon to provide more detail regarding pruning standards, soil improvement techniques, and insect and disease control. See language above for Tree and vegetation management in public places.	☒ Yes ☐ No If yes, list code/ document title(s): • *Right of Way Improvements Manual, Chapte* • *City of Seattle Standard Plans and Specificat Municipal Construction, Standard Plan 030*
	Landscaping requirements for street frontages (Continued)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ Does not apply	Section 3.00 Removal, Replacement and Planting of Trees	Section 3.30 Tree and Shrub Planting Specifications: describes the requirements for trees and shrubs planted as replacements for a Regulated Tree, initial plantings of regulated trees, or a planting as part of landscape plan subject to non-residential development approval.	☒ Yes ☐ No • Requirements for planting on street frontages in regulated by DPD under the land use code. The street tree manual is specific to maintaining existing trees and requiring tree replacement when damaged or removed.	☒ Yes ☐ No If yes, list code/ document title(s): • *Right of Way Improvements Manual, Chapte* • *City of Seattle Standard Plans and Specificat Municipal Construction, Standard Plan 030*
	Landscaping requirements for street frontages (Continued)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ Does not apply	Section 3.00 Removal, Replacement and Planting of Trees	Section 3.55 Planting Strip landscaping: specifies the planting strip requirement for various planting strip widths and the type of acceptable vegetation planting for each planting strip type. A street use permit is required for all ROW improvements, plantings, or paving.	☒ Does not apply • Requirements for planting on street frontages in regulated by DPD under the land use code. The street tree manual is specific to maintaining existing trees and requiring tree replacement when damaged or removed.	☒ Does not apply
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Shared driveways	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum driveway width	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for driveways	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Two-track driveway design	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Bulk and Dimensional Considerations						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Height limits	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Maximum square footage	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clearing and Grading						
	Protecting existing infiltration	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Conserving native vegetation/soils	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ Does not apply	Section 2.00 Protection of Trees During Construction .	See description of this section under “Tree Preservation.”	☐ Yes ☐ No If yes, include language :	☒ Yes ☐ No If yes, list code/ document title(s): • *Seattle Municipal Code, Title 15.* • *Right of Way Improvements Manual, Section 4.21.2* • *City of Seattle Standard Plans and Specifications for Municipal Construction, Standard Plan 030*
	Construction sequencing	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Under each main user section: Property Owners, Tree Service Providers, and Non Tree Service Contractor	Permits are required for any work to be performed on street tree. A Tree, Vegetation and Soil Protection Plan (TVSPP) plan is also required prior to any other construction activity that occurs near or within the CRZ of any street tree.	☒ Does not apply	☒ Does not apply
	Street and Roads						
	Travel lane widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Right-of-way widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for streets and roads	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documer may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Placement of utilities under paved areas in the ROW	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Required turn around area (e.g., Fire, USPS)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk slope	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum cul-de-sac radius	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Alternatives to cul-de-sacs	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking						
	Minimum/maximum parking ratios	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Permeable paving use	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking stall dimensions	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Driving aisle dimensions	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Off-street parking regulations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Design Guidelines and Standards						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documen may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Trees and bioretention	☐ Yes ☐ No ☒ Does not apply	☒ Yes ☐ No ☐ Does not apply	Throughout manual	No mention of trees within bioretention areas is made. Suggest referencing stormwater manual specifications for tree care within bioretention facilities.	☐ Yes ☒ No If yes, include language: GSI sites are addressed elsewhere and be the predominant feature of the site with trees secondary. People would not be referring to a Street Tree Manual for information on a GSI system. In addition, the scope of this Director's rule is limited to interpret specific Ordinance which does not include bioretention facilities.	☒ Does not apply
	Continuous curb requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Curb radii	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater Management and Maintenance						
	Training	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 2.00 Protection of Trees During Construction Section 5.00 Tree Maintenance Guidelines	Tree workers must be a qualified tree care specialist or certified tree worker with the following credentials: • ISA Certified Arborist or ISA Certified Tree Worker • Commercial General Liability Insurance (CGL) • Seattle business license	☐ Yes ☒ No If yes, include language :	☒ Yes ☐ No If yes, list code/ document title(s): *Seattle Municipal Code, Sections 15.02.044 and 15.43.050*
	Enforcement	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 2.00 Protection of Trees During Construction	In the event that a street tree or its roots are damaged, the contractor or property owner is subject to a penalty rate of $100.00 per inch of damage (measurement is calculated by the width of the wound measured across the grain at the widest point).	☒ Yes ☐ No The 2014 STM includes the following revisions to address the identified gaps: • Added the language "Damage for incremental damage to structural limbs and/or roots may be assessed as a percentage of appraised value of the tree as calculated by the current edition of the Council of Tree and Landscape Appraisers 'Guide for Plant Appraisal'. If more than 50% of the roots, limbs, or circumference of trunk cambium is damaged or destroyed, the tree will be considered a total loss."	☒ Yes ☐ No If yes, list code/ document title(s): *Seattle Municipal Code, Sections 15.02.044 and 15.43.050*
	Enforcement (continued)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 6.00 Tree Reports	This section describes the requirements of a tree removal permit, its contents, associated fees, and submittal procedures.	☐ Yes ☒ No If yes, include language :	

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documer may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Education	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Zoning requirements						
	Individual open space requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Passive vs. active open space requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Opportunities for Performance Based Designs (PUDs)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Critical Areas and Shoreline Management						
	Allowance of LID/GSI BMPs in critical areas/shorelines when compatible	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Additional Notes:

The Street Tree Manual also referred to the following (See also, Appendices that follow):

- Standard Specifications, Section 1-07.16(2) – Tree, Vegetation, and Soil Protection
- Standard Plan 100a – Deciduous Tree Planting in Planting Strip
- Standard Plan 132a – Tree Protection During Construction
- Standard Plan 132b – Reusable Temporary Tree & Landscape Protection Fence
- Standard Plan 133 – Tree Protection During Trenching, Tunneling, or Excavation
- ISA Tree Risk Assessment Form and Guide

Appendix A

Pruning Requirements

Abutting property owners are required to prune *street trees* to achieve compliance with existing vertical clearance standards as shown in the Tree Selection and Spacing portion of the Street Tree Planting section of this manual. Pruning to meet ROW clearance standards shall also include work to minimize obstructions with other transportation infrastructure (streetlights, traffic signals, signs, etc.) while ensuring the health and natural growth habit of the *street tree*. Abutting property owners are required to obtain a permit if the pruning constitutes major pruning. No permit is required for minor pruning.

Any person intending to perform major pruning of a street tree must obtain an SDOT Street Use permit prior to performing the work. *Major pruning* is defined as:

> Removal of branches two inches in diameter or greater; removal of roots two inches in diameter or greater; or removal of branches constituting more than 15 percent of a tree's foliage bearing area.

Applications for an SDOT Street Use permit to perform *major pruning* must include a pruning plan and be submitted with the Street Use permit application. The plan must be approved by SDOT. The pruning plan must comply with the minimum Right of Way clearance standards and the following major pruning standards:

> Maximum Pruning Allowed: *SDOT* Urban Forestry will evaluate maximum pruning on an individual tree basis. No more than ¼ (25 percent) of the functioning leaf and stem area may be removed within one calendar year on any *street tree*. Foliage pruning may not remove branches or limbs to a degree that would cause the tree to be physically or aesthetically unbalanced. Trees are individual in form and structure, and pruning needs may not always fit strict rules. The permit applicant shall assume all responsibility for special pruning practices that vary from the standards outlined in this manual. A pruning plan submitted at the time of permit application shall demonstrate that the proposed work conforms to the maximum pruning guidelines described here:

Types of Pruning: There are six types of pruning that may be performed on mature *Street tree*s. Prior to performing major pruning, the *tree worker* is required to be familiar with these types of pruning as defined and described in ANSI A300 (Part 1): Standard Practices for Tree, Shrub, and Other Woody Plant Management. The pruning plan submitted at the time of permit application shall use these terms to describe the proposed work.

Crown Cleaning	The removal of dead, dying, diseased, crowded, weakly attached, low-vigor branches, and water sprouts from a tree crown.
Crown Thinning	The selective removal of branches to increase light penetration and air movement, and to reduce weight.
Crown Raising	The removal of the lower branches of a tree in order to provide clearance.
Crown Restoration	Crown restoration pruning should improve the structure, form, and appearance of trees that have been severely headed, vandalized, or storm damaged.
Crown Reduction	The reduction of the top, sides, or individual limbs by the means of removal of a leader or longest portion of a limb to a lateral no less than one-third of the total diameter of the original limb removing no more than one-fourth of the leaf surface.
Utility Pruning	The removals of branches to prevent the loss of utility service, prevent damage to equipment, avoid impairment, and uphold the intended usage of the utility space. Only a qualified line clearance tree trimmer or qualified line clearance tree trimmer trainee should perform this work.

Pruning Guidance

Distressed trees require as much leaf area as possible to overcome stressed conditions.

To avoid additional *injury*, the following measures may be followed for these trees:

- **Injury or Disturbance:** If a tree has been damaged by *injury* or *disturbance*, delay pruning until deadwood becomes evident (typically 1 to 3 years after *injury*). Crown cleaning is recommended in these cases.

- **Neglect:** Trees that have received little or no care or maintenance may need moderate crown thinning, reduction of end weights or entire crown restoration.

Hazardous trees of any species may be pruned any time of the year for risk abatement reasons.

Pruning Young trees

The average life expectancy for trees growing in harsh urban conditions is much shorter than if the tree is growing in ideal conditions. Pruning trees early will improve life expectancy and is a proven, cost-effective measure to prevent costly intervention in the future. Well-timed and careful pruning results in safer trees with fewer branch failures.

- Should be pruned during the second or third year after planting to improve their structure, and only minor crown cleaning every 3-7 years thereafter. Refer to ISA Tree Pruning Guidelines for more detailed information: http://www.treesaregood.com/treecare/pruning_young.aspx
- Do not top the main leader.
- Select permanent branching and allow temporary low branching on the lowest part of the trunk to remain. Main branches should eventually be spaced at least 18-inches apart to alleviate a tight grouping of branches.

Timing of Pruning

To reduce the probability of insect infestation, disease or infection:
Pine (Pinus spp.) or Elm (Ulmus spp.): Do not prune May-October to reduce possible exposure to bark beetle (pine) or Dutch Elm Disease (elm)
Other considerations:
Avoid pruning during the flush of spring shoot growth and during fall, prior to dormancy
Trees with thin bark: Do not prune in summer when sun scald *injury* may be a factor
Deciduous trees (leafless in winter): Best pruned November-February, but can be pruned any time throughout the year for safety-related issues.

City of Seattle Report Form

LID/GSI – Review & Revise Local Codes

Document/ Code/ Rule/ Standard Reviewed:

SeaTran DR 00-1 Shoreline Street Ends

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Jennifer Wieland	Strategic Advisor II	Manages PSM	SDOT,
Angela Steel	Public Space Management Implementation	Updates Street Use regulations and policies. Supervises inpsections and reviewers of Street uses.	SDOT
Amy Gray	Term Permit Specialist	Assists coordinating and drafting code amendment legislation and public space program policies	SDOT
Diane Walsh	P + D Specialist II	Coordinates Shoreline Street End Program	SDOT
Shannon Glass	P + D Specialist II	Coordinates PSM programs	SDOT
Maureen Meehan	Stormwater Program Manager	Stormwater compliance for SDOT	SDOT,
Pam Emerson	Project Manager	Green Infrastructure Planning	OSE/SPU

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps? Please fill out the following table for any section of the Document/ Code/ Rule/ Standard that may potentially conflict with implementation of LID/GSI BMPs based on the topics outlined in Step 2.

Step 4 – Have you taken any steps to **FILL THE GAPS**? Has alternative language been drafted to address the conflict/gap?

Step 5 – Are you aware of any other City codes/documents that may be affected by the proposed revisions in Step 4?

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap Identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking area locations	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 4.12 – Permit Application Requirements	All proposed plans should provide either physical or visual access to the water and parking in compliance with the Americans with Disabilities Act (ADA).	☒ Does not apply	☒ Does not apply
				Section 7.0 – SEATRAN Review of Application	SEATRAN will ensure that physical or visual access to the water and parking for persons with disabilities are included in plans where the topography is suitable and that ADA standards met.	☒ Yes: New language (Now section 9.2) SDOT will require that physical or visual access to the water and parking for persons with disabilities are included in plans where the topography is suitable, and that ADA standards be met. Where the topography allows, SDOT will require that space be allocated for appropriate low-impact development and green stormwater infrastructure improvements.	☒ Does not apply
	Stormwater management facility locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Soils						
	Protecting and restoring healthy soil	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Compost amendments	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Compaction	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Screening	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping requirements for street frontages	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	Section 5.32 – Community Street End Development	This section encourages the installation of low maintenance, drought-resistant landscaping. Considered revising language to encourage native low maintenance landscaping. *Drought resistant plants that do well in the NW tend to be native. This requirement ensures vegetation survival, which provides stability to soils, reducing erosion and run off.*	☒ Yes ☐ No **New language:** The installation of low maintenance, drought-resistant, native landscaping is encouraged.	☐ Yes ☒ No
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap Identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Shared driveways	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 6.0 – Permitted Private Uses	If improvements are made to improve access for a private owner, such as a driveway or walkway, it must also be available for and not limit public access and use along the shoreline street end.	☒ Does not apply	☒ Does not apply
	Minimum driveway width	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for driveways	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Two-track driveway design	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Bulk and Dimensional Considerations						
	Building setbacks	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Height limits	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 4.12 – Permit Application Requirements	All proposed plans should provide either physical or visual access to the water and parking in compliance with the Americans with Disabilities Act (ADA).	☒ Does not apply	☒ Does not apply
	Maximum square footage	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clearing and Grading						
	Protecting existing infiltration	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Conserving native vegetation/soils	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Construction sequencing	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Street and Roads						
	Travel lane widths	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Right-of-way widths	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for streets and roads	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Placement of utilities under paved areas in the ROW	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Required turn around area (e.g., Fire, USPS)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk widths	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk slope	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum cul-de-sac radius	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap Identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Alternatives to cul-de-sacs	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking						
	Minimum/maximum parking ratios	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Permeable paving use	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking stall dimensions	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Driving aisle dimensions	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Off-street parking regulations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Design Guidelines and Standards						
	Trees and bioretention	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Continuous curb requirements	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Curb radii	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater Management and Maintenance						
	Training	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Enforcement	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Education	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Zoning requirements						
	Individual open space requirements	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Passive vs. active open space requirements	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Section 2.0 - Definitions	"Shoreline street end" means the land portion of a street segment that provides the public with visual or physical access to a body of water and its shoreline, or could provide such access if improved.	☒ Does not apply	☒ Does not apply
				Section 5.0 – Community Street End Development	All shoreline street ends which are accessible to the public will be signed.		
				Section 6.0 – Permitted Private Uses	Maritime industrial land uses that show an important operational/business need for an adjacent shoreline street that would be incompatible with both the business operation and safe access by the public will be considered to be a higher priority use of the street end than public access.		
	Opportunities for Performance Based Designs (PUDs)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap Identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Critical Areas and Shoreline Management						
	Allowance of LID/GSI BMPs in critical areas/shorelines when compatible	☒ Yes	☒ Yes	4.1 Permit Application Requirements	Considered adding language to minimize impervious surface, minimize stormwater runoff, and preserve native vegetation.	☒ Yes New language: An adjacent property owner, a community organization, individual volunteers, or another group of neighborhood sponsors may apply for a permit to improve a shoreline street end for public access or views on an application form obtained from SDOT. Whenever possible, plans should minimize impervious surface, minimize stormwater runoff, and preserve native vegetation. All applications must provide the following standard information as an attachment to the application form or request:	☒ Does not apply
		☒ Yes	☒ Yes	4.1.2	Add language for GSI	☒ Yes New language: A plan drawing or schematic plan of all improvements proposed for the street end. Improvements to be shown include, but are not limited to, the following: any structure of any kind; any new vegetation or rearrangement of existing vegetation; green stormwater infrastructure (e.g., swales, rain gardens); grading; any new surface material including gravel; and proposed signs.	☒ Does not apply

Additional Notes:

The Shoreline Street Ends DR did not contain any significant barriers to LID/GSI implementation.
Language was updated to include explicit reference to/encouragement of LID best practices.

Also reviewed the language in this DR to ensure consistency with Shoreline/Critical Areas regulations.

City of Seattle Report Form

LID – Review & Revise Local Codes

Document/ Code/ Rule/ Standard Reviewed: Seattle Municipal Code (SMC) 15.43 – Tree and Vegetation Management in Public Places

15.43.010 Authorizing official
15.43.020 Tree preservation and protection
15.43.030 Street Use permit required
15.43.040 Maintenance of trees
15.43.050 Tree Service Provider requirements
15.43.060 Director's review

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Maureen Meehan	NPDES Stormwater Program Manager	NPDES compliance for SDOT	SDOT
Susan Paine	Strategic Advisor	Regulatory updates	SDOT/now SCL
Angela Steel	Public Space Management Implementation	Updates Street Use regulations and policies. Supervises inpsections and reviewers of Street uses.	SDOT
Shane Dewald	Landscape Architect	Urban Forestry & Landscape Architectural design and review of projects, planting plans and enforcement of tree protection.	SDOT
Nolan Rundquist	City Arborist	Supervises Arborculturist group	SDOT
Darren Morgan	Urban Forestry Manager	Manage the care of City owned Trees.	SDOT

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

☐ Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps? Please fill out the following table for any section of the Document/ Code/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – Have you taken any steps to **FILL THE GAPS**? Has alternative language been drafted to address the conflict/gap?

Step 5 – Are you aware of any other City codes/documents that may be affected by the proposed revisions in Step 4?

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking area locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater management facility locations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Soils						
	Protecting and restoring healthy soil	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	NA	There is no discussion of protecting and restoring healthy soil for long term tree and vegetation health.	☐ Yes ☒ No Language is included within the updated Street Tree Manual.	☒ Yes ☐ No If yes, list code/ document title(s): *Chapter 15.43 Street Tree Manual.*
	Compost amendments	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	NA	Add compost amendments/ top dressing to support soil and vegetation health.	☐ Yes ☒ No Language is included within the updated Street Tree Manual.	☒ Yes ☐ No If yes, list code/ document title(s): *Chapter 15.43 Street Tree Manual.*

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Compaction	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	NA	There is not a specific mention of soil compaction within the dripline or critical root zone (CRZ) of trees. Add language specifically prohibiting compaction of soils during construction and maintenance activities (already have language prohibiting the stockpiling of materials in Section 15.43.020).	☐ Yes ☒ No Language is included within the updated Street Tree Manual.	☒ Yes ☐ No If yes, list code/ document title(s): *Chapter 15.43 Street Tree Manual.*
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	Tree Preservation and Protection 15.43.020 Street Use Permits required 15.43.030	No person shall destroy, kill, injure, mutilate, or deface a street tree or vegetation in a public place by any means. The code restricts the placing or storing of construction and landscaping materials within the dripline of trees. Consider adding protection for soil and roots within the Critical Root Zone (CRZ), when possible, and not just the dripline. City policy is to retain and preserve street trees whenever possible. Removed street trees shall be replaced with a tree species from the approved tree list or with a tree approved by the Director.	☐ Yes ☒ No If yes, include language: Language is included within the updated Street Tree Manual.	☒ Yes ☐ No If yes, list code/ document title(s): *Chapter 15.43 Street Tree Manual.*

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Screening	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping requirements for street frontages	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ Does not apply	Street Use permits required 15.43.030 Tree Service Provider requirements 15.43.050	Only tree species identified in the DOT approved tree list or trees approved by the Director may be planted in public spaces. Any major pruning, removal, or treatment of street trees by a Tree Service Provider shall be supervised by an International Society of Arboriculture (ISA) certified arborist or an ISA certified tree worker and shall comply with the Street Tree Manual rules governing trees in public spaces. Consider adding additional information regarding the protection of and management of non-tree vegetation. Text included under 15.43.020 is only location where non-tree vegetation is covered. Suggest adding reference to Section 8-01.3(2)B Tree, Vegetation and Soil Protection Plan (TVSPP) of SWM.	☐ Yes ☒ No If yes, include language : Ordinances do not reference specs or codes for added requirement. Specs are developed separately and referred to by Directors rules. References to the TVSPP are made in the Street Tree Manual, the companion Director's Rule for this Ordinance. Additionally, there is now language about managing non-tree vegetation in a new chapter in the Street Tree Manual.	☒ Yes ☐ No If yes, list code/ document title(s): *Chapter 15.43 Street Tree Manual.*
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Shared driveways	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum driveway width	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for driveways	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Two-track driveway design	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Bulk and Dimensional Considerations						
	Building setbacks	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Height limits	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Maximum square footage	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clearing and Grading						
	Protecting existing infiltration	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Conserving native vegetation/soils	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Construction sequencing	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Street and Roads						
	Travel lane widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Right-of-way widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for streets and roads	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Placement of utilities under paved areas in the ROW	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around area (e.g., Fire, USPS)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk widths	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk slope	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum cul-de-sac radius	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Alternatives to cul-de-sacs	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking						
	Minimum/maximum parking ratios	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Permeable paving use	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking stall dimensions	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Driving aisle dimensions	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Off-street parking regulations	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Design Guidelines and Standards						
	Trees and bioretention	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Continuous curb requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Curb radii	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Stormwater Management and Maintenance						
	Training	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	15.43.050 Tree Service Provider requirements	All tree service providers working on street trees must be registered by DOT. Any major pruning, removal, or treatment of street trees by a Tree Service Provider shall be supervised by an ISA certified arborist or an ISA certified tree worker. Tree workers must have current Tree Service Provider registration card and applicable Street Use permits.	☒ Does not apply	☒ Does not apply
	Enforcement	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	15.43.030 Street Use Permits Required	No person shall plant, remove, or perform major pruning on any street tree without first obtaining a Street Use Permit from the DOT, for street trees under the jurisdiction of the Department of Transportation.	☐ Yes ☐ No If yes, include language :	☐ Yes ☐ No If yes, list code/ document title(s):
	Education	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Zoning requirements						
	Individual open space requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Passive vs. active open space requirements	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Opportunities for Performance Based Designs (PUDs)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply

Additional Notes:
Ord. 124166, Section 7, 2013.
Section 15.43.010 Authorizing official

Section 15.04.020 Tree preservation and protection
Section 15.04.025 Form of application
Section 15.04.035. Street Use Permit
Section 15.43.050. Tree Service Provider Registration
Chapter 15.43 Street Tree Manual.

City of Seattle Report Form

LID/GSI – Review & Revise Local Codes

Document/ Code/ Rule/ Standard Reviewed:

Seattle Municipal Code (SMC) Title 15 – Street and Sidewalk Use

- SMC 15.02 – General Provisions
- SMC 15.04 – Use and Occupations Permits
- SMC 15.06 – Driveways and Curb Setbacks
- SMC 15.08 – Areaways, Vents, And Elevators
- SMC 15.10 – Marquees, Awnings, and Decorative Elements
- SMC 15.12 – Signs, Banners and Street Clocks
- SMC 15.14 – Newsstands
- SMC 15.16 – Sidewalk Cafes
- SMC 15.17 – Vending
- SMC 15.18 – Dangerous Structures on Adjoining Property
- SMC 15.20 – Building, Cleaning or Painting
- SMC 15.22 – Building Construction/ Demolition
- SMC 15.24 – Scaffolds
- SMC 15.26 – Backfilling
- SMC 15.28 – Building and Equipment Moving
- SMC 15.32 – Franchise and Public Utility Permits and Regulations
- SMC 15.35 – Filming
- SMC 15.36 – Lifting Heavy Equipment
- SMC 15.38 – Impounding
- SMC 15.40 – Warning Lights and Barricades
- SMC 15.43 – Tree and Vegetation Management in Public Places
- SMC 15.44 – Excavation and Fills
- SMC 15.46 – Debris in Public Places
- SMC 15.48 – Miscellaneous Acts
- SMC 15.52 – Crowd Control Events
- SMC 15.54 – Monorail Guideways
- SMC 15.62 – Vacation of Streets, Alleys, and Public Places
- SMC 15.64 – Skybridge Term Permits
- SMC 15.65 – Significant Structure Term Permits
- SMC 15.70 – Sidewalk Construction
- SMC 15.72 – Sidewalk Maintenance
- SMC 15.76 – Inspection of Certain Structures in Public Places
- SMC 15.90 – Enforcement
- SMC 15.91 – Citations

- SMC, Title 15, Appendix 1
- SMC, Title 15, Appendix 2

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Maureen Meehan	NPDES Stormwater Program Manager	NPDES compliance manager for SDOT	SDOT
Angela Steel	Acting ROW manager	Coordinating and drafting code amendment legislation and public space management program.	SDOT
Amy Gray	Term Permit Specialist	Assists coordinating and drafting code amendment legislation and public space program policies	SDOT
Liz Sheldon	Street Use Operations Manager	Manager of Street improvement permit, utility major permits, inspectors	SDOT
Mary Rutherford	SPU/SDOT Interdepartmental Coordination Lead	Cross Departmental coordination SPU & SDOT	Seattle Public Utilities
Brian DePlace	Street Use Director	Directs Street Use programs,	SDOT
Heather Marx	Project and Utility Coordination Manager	Manages utility and project cordination	SDOT
Cheryl Swab	Council Liaison	SDOT's council liaison	SDOT
Patrick Downs	Assistant City Attorney	Right of Way councel	Seattle Law Dept.
Theresa Wagner	Attorney, Environmental Protection Section	Stormwater Councel	Seattle Law Dept.
Darren Morgan	Urban Forestry Manager	Manager of Tree maintenance in ROW and minor vegetation management	SDOT

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps? Please fill out the following table for any section of the Document/ Code/ Rule/ Standard that may potentially conflict with implementation of LID/GSI BMPs based on the topics outlined in Step 2.

Step 4 – Have you taken any steps to **FILL THE GAPS**? Has alternative language been drafted to address the conflict/gap?

Step 5 – Are you aware of any other City codes/documents that may be affected by the proposed revisions in Step 4?

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking area locations	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater management facility locations	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	SMC 15.62.070	This section describes easements for utilities and services. Considered adding stormwater BMPs to the provision retaining or requiring conveyance of easements for construction, repair and maintenance of existing and future public utilities and services. This section of the code deals with street vacations that are governed by RCW 35.79. cannot amend without a change to state law	☐ Yes ☒ No If yes, include language: This section of the code deals with street vacations that are governed by RCW 35.79. cannot amend without a change to state law. GSI is a function of the utility and therefore covered. The City already has the authority to require maintenance, preservation or replacement as determined best for the City.	☐ Yes ☒ No
	Temporary Street Restoration	☒ Yes	☒ Yes	15.32.160 Street restoration requirements	A. Anyone issued a permit for construction or other activity under ((~~this chapter~~)) Chapter 15.32 shall temporarily restore the street, alley, stormwater conveyance system, **green stormwater infrastructure,** or other public place in a manner approved by the Director of Transportation, or as to park drives and boulevards, the Superintendent of Parks and Recreation, within ((~~twenty four (24)~~)) 24 hours after ((~~completion of~~)) completing the permitted work	☒ Yes If yes, include language: See tracked changes at left.	☒ No
	Permanent Street Restoration	☒ Yes	☒ Yes	15.32.160 3.E, & G Street restoration requirements	☒ Yes ☐ No ☐ Does not apply	☒ Yes E. Permanent restoration of other types of approved paving surfaces or treatments, other than concrete or asphalt, on a street, alley, or other public place shall be completed in a manner acceptable to the Director of Transportation. In the case of any permeable paving surface or treatment, the permanent restoration shall include the restoration of the stormwater drainage function. …….. ((~~F~~))G. In those cases where the Director of Transportation, or as to park drives and boulevards, the Superintendent of Parks and Recreation, has determined that the permittee has not restored the street, alley, stormwater conveyance system, green stormwater infrastructure, or other public place to its condition prior to the commencement of activity under the permit((~~,~~)); the permittee shall pay to the Director of Transportation, or as to park drives and boulevards, the Superintendent of Parks and Recreation((~~,~~)); a standard charge from a schedule adopted by ordinance reflecting the Director of Transportation's estimate of the loss in useful life of the street, alley, stormwater conveyance system, green stormwater infrastructure, or other public place …..Director of Transportation. All funds collected from this charge shall be deposited ……. and used only for pavement, stormwater conveyance, or green stormwater infrastructure replacement, repair, and maintenance, and ((~~not~~)) for ((~~any~~)) no other purpose.	☒ Yes ☐ No ☐ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Soils						
	Protecting and restoring healthy soil	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.36.010.A	Permits may be granted to occupy public places to raise and/or lower safes, machinery or any other heavy articles into and from buildings. Current text does not include precautions for lifting heavy equipment in areas with soil exposure to ensure they do not become contaminated by leaking equipment.	☒ Yes ☐ No A. The Director of Transportation, or as to park drives and boulevards((,)) the Superintendent of Parks and Recreation, may grant permits ((~~to raise and/or lower safes,~~)) for construction equipment, including but not limited to cranes, lifts, or booms; for purposes including but not limited to raising or lowering machinery or any other heavy articles ((~~into and from buildings and to occupy in so doing such~~)) over or on a portion of the public place ((~~as the authorizing official may deem~~)).…… Upon completing the permitted activity, the permittee shall restore the public place to the condition that existed prior to use occurring in the public place. The Director of Transportation, or as to park drives and boulevards the Superintendent of Parks and Recreation, may restrict heavy equipment on pervious surfaces and other non-paved public place areas.	☐ Yes ☒ No
				SMC 15.46.020	This section concerns spilled loads in public places. Considered modifying text to specify removal of any contaminated soils and replanting landscaping when applicable.	☒ Yes ☐ No The owner or operator of any vehicle ((~~which~~)), orabutting property owner that has spilled, dropped, dumped, or in any manner deposited, or caused to be deposited, any matter upon a public place shall ((~~cause the public place to be cleaned~~)) restore the public place, including but not limited to cleaning municipal stormwater facilities and green stormwater infrastructure, replacing trees and vegetation, and remediating any contaminated soil, trees, and groundwater when notified so to do by the Director of Transportation, or as to park drives and boulevards((~~,~~)) by the Superintendent of Parks and Recreation.	☐ Yes ☒ No
	Compost amendments	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Compaction	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.36.010	See description of this code section under “Protecting and restoring healthy soil”. Considered adding language regarding soil compaction prevention.	☒ Yes ☐ No The permittee shall ensure that the permitted activity minimizes soil compaction and protects the public place, including but not limited to pervious pavement, green stormwater infrastructure, and street trees; as necessary for and subject to ((~~such~~)) the conditions and regulations ((~~as may be~~)) prescribed for the safety and convenience of the public.	☐ Yes ☒ No

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.36	See description of this code section under "Protecting and restoring healthy soil". Considered clarifying that trees shall not be removed to clear space for equipment lifting.	☒ Yes B. Street trees shall not be removed to clear space or accommodate lifting heavy equipment unless the Director of Transportation, or as to park drives and boulevards the Superintendent of Parks and Recreation, determines that no other physically feasible option exists to accommodate the lifting of heavy equipment.	☐ Yes ☒ No
				SMC 15.44.030.A.2.a	This section explains that the cost of repair and restoration of a public place due to earth movement damages incurred during excavation shall include, but is not limited to, grading, resurfacing and drainage. Considered adding tree preservation and replanting vegetation to the list of examples.	☒ YesA. ((~~An applicant~~)) The permittee for ((~~the permit~~)) excavation and fill permits as required by Sections 15.44.003 or 15.44.020 shall post or cause ((~~the owner or contractor to post~~)) to be posted security with the City in an amount determined by the authorizing official to be sufficient to cover the following: 1. All charges and payments due under this ((~~title~~)) Title 15; 2. When it can be anticipated that ((~~an~~)) earth movement might occur, the ((~~reasonable~~)) costs of the following: a. ((~~The cost of repair~~)) Repair and restoration of any adjacent public place, including but not limited to grading, resurfacing, and drainage((~~,~~)) facilities, including green stormwater infrastructure; b. ((~~The cost of repair~~)) Repair and restoration of all sewers, storm drains, green stormwater infrastructure, water((~~,~~)) and power lines, and other utilities in the adjacent public place ((~~, and~~)) ; c. Tree or landscape mitigation, including but not limited to the replacement, lost value, and damage due to excavation and restoration; and d. ((~~The expense of safety~~)) Safety precautions and emergency measures to protect the public, ((~~street~~)) utilities, and any adjacent public place, including but not limited to the expense of placing signs, barricades, fences, and traffic detours; and	☐ Yes ☒ No
	Screening	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping requirements for street frontages	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.06.050	Curb setbacks are allowed as long as "space for tree planting is reserved, min. 11.5 ft. from new curb location to property line." Considered modifying to include shrubs, grasses, etc. that would be part of a GSI BMP.	☒ Yes Curb setbacks may be allowed by the ((~~Director of Planning and Development after consulting with the~~)) Director of Transportation, or the Superintendent as to park drives or boulevards, on the basis of demonstrated need by the applicant upon the following terms and conditions: A. Space for tree planting or green stormwater infrastructure shall be reserved, with a minimum of 11.5 feet from the new curb location to the property line, unless existing trees ((~~in the area supply the need~~)) or existing green stormwater infrastructure provide for the required green stormwater infrastructure. B. Curb setbacks are not permitted on streets where parking is allowed in the existing curb lane.	☐ Yes ☒ No .

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Shared driveways	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum driveway width	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	SMC 15.06.040	The minimum width of driveways shall conform to the requirements of Section 23.54.030 of the Land Use Code.	☒ Does not apply	☒ Does not apply
	Use of permeable pavement for driveways	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.22.100	This section states that a permit is needed whenever a construction vehicle or heavy equipment is to be moved across a sidewalk or curb. Considered revising language to include measures for protection of permeable pavement sidewalks and curbs.	☒ Yes Whenever construction vehicles or heavy equipment are to be moved across a public sidewalk or curb or a portion ((~~thereof~~)) <u>of a public place</u> not set aside as a driveway, <u>including but not limited to pervious pavement and other green stormwater infrastructure or within the dripline of a street tree;</u> the owner, agent<u>,</u> or contractor shall secure a permit to drive over the walk ((~~and/or~~)) <u>or</u> curb<u>:</u> and shall deposit cash, a surety bond, or both<u>,</u> or establish an escrow account as directed by the authorizing official.	☐ Yes ☒ No
				SMC 15.22.110	This section describes proper protection of sidewalk and pavement during construction. Considered adding measures for protection of permeable pavement sidewalks and pavement during construction.	☒ Yes In using a public place or driving over walks and curbs<u>,</u> <u>including but not limited to pervious pavement and other green stormwater infrastructure or within the dripline of a street tree</u>, the ((~~contractor~~)) <u>permittee</u> shall keep ((~~such walk and pavement~~)) <u>the public place</u> ((~~reasonably~~)<u>, including but not limited to pervious pavement and other green stormwater infrastructure or within the dripline of a street tree;</u> clean, properly protected ((~~during working hours~~)), and safe for public travel <u>at all times</u>; upon failure to do so the authorizing official may place ((~~such~~)) protective covering and ((~~cause such clean-up to be made, and the cost thereof plus fifteen percent (15%)~~)) <u>restore the public place. The City may bill the costs and damages to the permittee plus 15 percent</u> to cover administrative expenses ((~~shall be charged to the contractor~~)). Any charges ((~~so~~)) made <u>by the City</u> may be deducted from the ((~~contractor's deposits~~)) <u>permittee's deposit</u> on file or may be charged against ((~~his or her~~)) <u>the</u> bond.	☐ Yes ☒ No
				SMC 15.32.160	This section describes street restoration requirements due to construction. Considered allowing permeable pavement for permanent restoration of disturbed concrete or asphalt surfaces, providing partial offset of costs, or stormwater management credit. Amendment to this section would require a prior amendment to the PORR	☐ Yes ☒ No This section is specific to utility cuts, where a pipe is being set in the opening. Installing permeable pavement within a non-permeable road especially with a pipe directly under the permeable pavement will undermine the surrounding road and will not be permitted.	☐ Yes ☒ No
	Two-track driveway	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	design						
	Bulk and Dimensional Considerations						
	Building setbacks	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Height limits	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Maximum square footage	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clearing and Grading						
	Protecting existing infiltration	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.36.010	See description of this code section under "Protecting and restoring healthy soil". Considered adding language regarding soil compaction prevention (which can inhibit infiltration).	☒ Yes The permittee shall ensure that the permitted activity minimizes soil compaction and protects the public place, including but not limited to pervious pavement, green stormwater infrastructure, and street trees; as necessary for and subject to ((~~such~~)) the conditions and regulations ((~~as may be~~)) prescribed for the safety and convenience of the public.	☐ Yes ☒ No
	Conserving native vegetation/soils	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	SMC 15.43.030	This section describes when street use permits are required for planting, removing, or performing major pruning on any street tree. The City's policy is to retain and preserve street trees whenever possible. Removed street trees shall be replaced with a species of tree from the approved tree list.	☒ Does not apply This section encourages the preservation of street trees.	☒ Does not apply
	Construction sequencing	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.22.060	This section describes requirements for removal of earth and debris during construction. Considered revising language to include provisions to avoid dust or debris settlement in GSI facilities.	☒ Yes A. Earth taken from excavations and rubbish from buildings or abutting property shall not be stored in a public place, but shall be removed as rapidly as produced. B. Materials that are dry and apt to produce dust when handled shall be kept sufficiently moist or covered to prevent the wind blowing them about. Building rubbish accumulating on upper floors and all rubbish, plaster, and other loose materials ((,)) ; produced while wrecking, altering, or repairing a building((~~, must~~)) or development site shall be lowered by elevators in closed receptacles or by closed chutes connecting to vehicles removing the ((~~same~~)) debris. When likely to produce dust, the chutes must be provided with means of wetting waste to prevent the wind from blowing it about. Best management practices shall be used to prevent contaminate, silt, dust, or other debris settlement in abutting public places, including green stormwater infrastructure and other municipal drainage outlets.	☐ Yes ☒ No If yes, list code/ document title(s):
	Street and Roads						
	Travel lane widths	☒ Yes	☒ Yes	SMC 15.06.050	Curb setbacks shall be able to provide for a minimum of a 12-ft driving lane and an 8-ft parking lane. Reviewed these widths to	☐ Yes	☐ Yes

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
		☐ No ☐ Does not apply	☐ No ☒ Does not apply		determine if an 8-ft parking lane is necessary or if just the 12-ft driving lane is sufficient to allow for flexibility with GSI installations. Amendment to this section would also require a Land Use code amendment	☒ No If yes, include language: This language is embedded in additional language that adds context. The curb setback is to allow an area of curbside parking and is only permitted on a street that doesn't have curbside parking at the existing curb.	☐ No If yes, list code/ document title(s):
	Right-of-way widths	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for streets, roads, and sidewalks	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.36	See description of this code section under "Protecting and restoring healthy soil". Considered adding language regarding restrictions for areas with permeable pavement, since they may not be able to support heavy machinery loads.	☒ Yes A. The Director of Transportation, or as to park drives and boulevards((,)) the Superintendent of Parks and Recreation, may grant permits ((~~to raise and/or lower safes,~~)) for construction equipment, including but not limited to cranes, lifts, or booms; for purposes including but not limited to raising or lowering machinery or any other heavy articles ((~~into and from buildings and to occupy in so doing such~~)) over or on a portion of the public place ((~~as the authorizing official may deem~~)) The permittee shall ensure that the permitted activity minimizes soil compaction and protects the public place, including but not limited to pervious pavement, green stormwater infrastructure, and street trees; as necessary for and subject to ((~~such~~)) the conditions and regulations ((~~as may be~~)) prescribed for the safety and convenience of the public. Upon completing the permitted activity, the permittee shall restore the public place to the condition that existed prior to use occurring in the public place. The Director of Transportation, or as to park drives and boulevards the Superintendent of Parks and Recreation, may restrict heavy equipment on pervious surfaces and other non-paved public place areas.	☐ Yes ☐ No If yes, list code/ document title(s):
				SMC 15.70.020	"Payment of Construction or Reconstruction Costs" states that if any portion of sidewalk, not exceeding one block in length, is deemed unsafe and needed, it shall devolve upon the property owner of the abutting property to pay for reconstruction/ construction costs. Considered offering incentives for installing permeable pavement to replace/construct the sidewalk. Can't offer incentives, governed by RCW.	☒ No Can't offer incentives, governed by RCW.	☐ Yes ☐ No If yes, list code/ document title(s):
				SMC 15.72.010	"Sidewalk Maintenance" requires that property owners clean and clear their sidewalks when directed. Considered offering incentives for cleaning permeable pavements. Can't offer incentives, governed by RCW.	☒ No Can't offer incentives, governed by RCW.	☐ Yes ☐ No If yes, list code/ document title(s):
	Placement of utilities under paved areas in the ROW	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Required turn around area (e.g., Fire, USPS)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Sidewalk widths	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 Have you taken any steps to FILL THE GAPS?	Step 5 Are you aware of any other City codes/ documents that may be affected?
Categories	**Topics**	**Topic Reviewed**	**Gap identified**	**Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum cul-de-sac radius	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Alternatives to cul-de-sacs	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking						
	Minimum/maximum parking ratios	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Permeable paving use	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Parking stall dimensions	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Driving aisle dimensions	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Off-street and street parking regulations	☒ Does not apply	☒ Does not apply	SMC 15.06.050	Curb setbacks are not permitted on streets where parking is allowed in the existing curb lane. Considered modifying this statement to allow curb bulb GSI features. amendment to this section would require a prior land use code amendment See also "Travel lane widths".	☒ Does not apply Setbacks widen the road. Curb setbacks by design widen the roadway driving surface. Setbacks are incompatible with curb bulbs.	☐ Yes ☐ No If yes, list code/ document title(s):
	Design Guidelines and Standards						
	Trees and bioretention	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	SMC 15.16.040	This section concerns permits and placement for sidewalk cafes, including required setbacks from street and buildings. Sidewalk cafes are allowed to be located flush with buildings to allow GSI between the cafe and the street.	☒ Does not apply These permits are temporary and revocable should the City determine space is needed for GSI. Sidewalk cafes would only be permitted in existing sidewalk space. Vending carts are mobile from day to day and would only be permitted to use the existing sidewalk.	☒ Does not apply
				SMC 15.17.100	This section concerns permits and placement of vending carts on sidewalks, including required setbacks from street and buildings. Vending carts are allowed to be located flush with buildings, to allow GSI between the vending cart and the street.		
				SMC 15.65.010	This section establishes the procedures and criteria for the administration and approval of applications for permission to construct, maintain and operate existing significant structures. Although not explicitly included in the examples in this section, GSI in the ROW is included on the significant structures list.		
	Continuous curb requirements and setbacks	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ Does not apply	SMC 15.06.050	See "Landscaping Requirements for Street Frontages", "Travel Lane Widths", and "Off-street and Street Parking Regulations". amendment to this section would require a prior land use code amendment	☒ No The changes needed are in other codes, but would not need a change in this language to be implemented. Title 15 refers to Title 23 here to avoid duplication of requirements.	☒ Yes • *City's Standard Plans and Specifications* for driveway and curb construction and design requirements • *Land Use Code, Section 23.54.030 (Driveway Widths)* for minimum width of driveways and

							curb cuts
	Curb radii	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Stormwater Management and Maintenance						
	Training	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ Does not apply			☒ Does not apply	☒ Does not apply
	Enforcement	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ Does not apply	SMC 15.90	This section contains enforcement actions for Title 15 – Street and Sidewalk Use for the benefit of the health, safety and welfare of the general public.	☒ Does not apply	☒ Does not apply
	Education	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Zoning requirements						
	Individual open space requirements	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.04.035	Considerations for permit application include the environment, drainage (surface and underground), springs and water courses, soil stability, and where applicable, City land use, transportation, open space, shoreline, and beautification policies (among others). Considered adding GSI to this list of permit application considerations.	☒ Yes C. Factors for consideration in evaluating an application for a permit include, but are not limited to, the applicant's constitutional rights and the abutter's property rights; the site and its terrain; the public and private benefits of the proposed use; and the impact of the proposed use on the following: 1. The paramount purpose of streets for travel and transportation; 2. Utilities; authorized secondary street uses; and any use being made by the public of the site; 3. Fire access and public safety; 4. Uses under permit; street trees; and other proposed or past uses of the site; 5. ((~~[Reserved.]~~ ~~6.~~)) Rights of light, air, and access and lateral support of abutting properties and on access or easements of properties dependent upon the public place for access; ((~~7~~))6. The environment, including but not limited to efforts to minimize impervious surface, loss of native vegetation, and stormwater runoff; ((~~8~~))7. Drainage, surface and underground; springs and watercourses; and the stability of soils; and ((~~9~~))8. Where applicable, City land use, transportation, open space, shoreline, and beautification policies and approved neighborhood land use plans.	☐ Yes ☒ No
	Passive vs. active open space requirements	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Opportunities for Performance Based Designs (PUDs)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Critical Areas and Shoreline Management						
	Allowance of LID/GSI BMPs in critical areas/shorelines when compatible	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ Does not apply	SMC 15.62.080	This section describes "Vacation of waterfront streets". Considered adding construction of GSI facilities, especially those designed to protect critical areas and shorelines, to the list of authorized reasons the City can vacate a street, alley, or public place that abuts a body of salt or fresh water. This section of the code deals with street vacations that are governed by RCW 35.79. cannot amend without a change to state law	☒ No	☐ Yes ☒ No

Additional Notes:
Title 15 referred to the following:

- City's Standard Plans and Specifications
- Land Use Code, Section 23.54.030 (Driveway Widths)

The Pavement Opening and Restoration Rule (PORR) 5-2009 is also associated with Title 15 of the SMC. In tandem with the above-described changes to Title 15, a memorandum of clarification has also been issued to users of the PORR as follows:

"The current version of the SDOT Street and Sidewalk Pavement Opening and Restoration Director's Rule (PORR) requires pervious (porous) pavements be restored to their original design and specifications. In order to remain in compliance with the Department of Ecology requirements relating to the City of Seattle's Municipal Stormwater Permit, the PORR is revised to include restoration of porous sidewalk segments as well as street segments. The relevant PORR sections are:

> **3.7.13 Pervious (porous) pavements:** Certain street segments may be designed and constructed as pervious pavements. As of the date of this Rule (2004), the only block of pervious pavement that has been designed is 32nd Ave SW between SW Juneau St and SW Raymond St; however, other blocks of pervious pavement may be constructed in the future. Pervious pavements are to be restored to their original design and specifications, to the extent practicable. Restoration plans shall be reviewed for approval by SPU Engineering Services, (206) 684-5950, prior to the start of any excavation or removal.

Application of Rule to Pavement and Sidewalk Restoration

Streets and sidewalks may be designed and constructed as porous or permeable pavements. The most common surfacing material used in this application is porous concrete, identifiable by its open graded appearance. It is anticipated that other porous materials such as interlocking pavers will be used in the future. This porous material is considered green stormwater infrastructure (GSI).

Porous pavements are to be restored to their original design and specifications, to the extent practicable. Restoration plans shall be reviewed for approval by SPU Engineering Services, (206) 684-5950, prior to the start of any excavation or removal. Porous pavements are drainage structures and must be restored so that their infiltration characteristics are preserved. During construction, dirt and sediment must be contained to protect the surrounding surface from clogging."

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Complete Streets Checklist
www.seattle.gov/transportation/docs/CompleteStreetsChecklist.pdf (See sections: F & G)

This document is used during 0-10% Right-of-way project development. The document prompts the designer to consider what is appropriate to include and consider during ROW project design, but it doesn't set standards or requirements. It is used at a very high level, before project design.

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Michelle Marx	Strategic Advisor	Complete Streets coordinator	SDOT
Maureen Meehan	Stormwater Program Manager	NPDES compliance manager for SDOT	SDOT

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

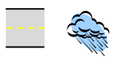
Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Does not apply	☒ Does not apply			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Does not apply	☒ Does not apply			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☒ See existing requirement	Green Stormwater Infrastructure (GSI) section g.	1. Does the project fall under the 2009 updated stormwater code? 2. If "Yes" describe any GSI elements or techniques included in this project: 3. Is this project in an area identified as potentially suitable for infiltrating GSI approaches?	☐ Yes ☒ No If yes, include language : This checklist is used for developing a project from 0-10%. The questions prompt the designer to consider all features listed in the complete streets document. 1. Sentence one was updated from 2009 to 2016. 2. "Including permeable pavement" was added to sentence 2 & 3 after (GSI) to encourage the use of all infiltrating LID techniques.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement	Urban Forestry section f	Are there opportunities to add canopy coverage and /or better protect the health of existing trees with this project?	☒ No If no, explain why : No gap	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Other						
	***Hard and Impervious Surfaces***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Two-track driveway design …. Or the use of a two-track driveway design?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Other	☒ Yes	☒ No ☒ See existing requirement	Green Stormwater Infrastructure Section g	Is there an opportunity to remove impervious surface as part of this project in accordance with the 2013 Executive Order which urges all City departments to incorporate natural drainage features into capital projects?		

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☒ Does not apply
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No	☒ Yes ☐ No	Green Stormwater Infrastructur e Section g	No language in current checklist	☒ Yes ☐ No If yes, include language: Are there existing GSI facilities within or near the project limits that must be protected from compaction and sedimentation.	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Does not apply	☒ Does not apply			☐ Yes ☒ No If no, explain why: SDOT projects are limited to existing streets and urban vegetation.	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why: SDOT is a leader in making streets in an urban environment safe for all users. One of the strategies used is to keep lane widths to a minimum depending on the roadway function and emergency vehicle access. The standard widths used by SDOT reflect minimums that are required by the Local Agency Government (LAG) Manual. SDOT has a deviation process for projects to propose reduced lane widths within the ROWIM.	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		1. If "Yes" describe any GSI elements or techniques included in this project: 2. Is this project in an area identified as potentially suitable for infiltrating GSI approaches?	☒ Yes ☐ No If yes, include language : 1. Sentence 1 was updated from 2009 to 2016. 2. "Including permeable pavement" was added to sentence 2 & 3 after (GSI) to encourage the use of all infiltrating LID techniques.	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☒ No It is unlikely that SDOT would build a sidewalk for low volumes pedestrian zones. Project details such as this are addressed in other documents such as the (LAG), Land Use code and the ROWIM. The ROWIM is updating sidewalk width descriptions to read "This language will be changed to say as wide as needed to accommodate pedestrian volumes. ".	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		1. Does the project fall under the 2009 updated stormwater code? 2. If "Yes" describe any GSI elements or techniques included in this project:	☒ Yes ☐ No If yes, include language: Does the project falls under the *2016* updated stormwater code? If "Yes" describe any GSI elements or techniques included in this project, *including permeable pavement.*	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☒ Yes ☐ No	☐ Yes ☒ No ☒ See existing requirement	Urban Forestry Section f	Are there opportunities to add canopy coverage and/or better protect the health of existing trees with this project?	☒ No If no, explain why : Existing language encourages the protection and improvement of tree health.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☒ Does not apply	☒ Does not apply			☒ Does not apply	☐ Yes ☐ No If yes, list document title(s):

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: DR 10-2011 (Landscaping Director's Rule). Document interprets Land Use Code requirements for landscaping in new development.
http://web6.seattle.gov/DPD/DirRulesViewer/Rule.aspx?id=30-2015

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Dave LaClergue	Area Planning Manager	Policy for landscaping, urban design, and neighborhood planning	DPD
Lisa Rutzick	Design Review Manager	Manages the Design Review Program	DPD
Art Peterson	Land Use Planner	Project Review	DPD
Sherell Ehlers	Stormwater Code Manager	Strategic Advisor – Drainage Policy + Planning	SPU
Brennon Staley	Senior Planner	Policy and regulation development related to land use policy	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces
Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	A.1	The rule gives protection measures for preserving trees during construction, but not other vegetation.	☒ Yes ☐ No If yes, include language : Applied requirements for fencing and signage for any preserved vegetation – not just trees. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	A.1	Requires soil amendment for any new landscape areas. References old (2009) code – update to new	☒ Yes ☐ No If yes, include language : Updated to refer to soil amendment standards in the new Stormwater Manual. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		Rule requires protecting against compaction around preserved trees, could be extended to other vegetated areas.	☒ Yes ☐ No If yes, include language : Applied requirements for fencing and signage for any preserved vegetation – not just trees. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement: **A.3 – standards for preserving trees** "In most cases, preserving existing healthy vegetation on a site will count toward landscaping requirements. In the case of Green Factor, preserving trees will count for more credit than newly planted trees. When an applicant proposes to preserve vegetation, they must include specific protection notes and/or details on contract plans to ensure compliance during construction to make sure those plants are adequately protected." "Trees preserved under city regulations shall be protected during construction. A tree protection area must be established around each preserved tree, pursuant to City of Seattle Stormwater Control Plan standards, and shall be identified on site plans." "…No excavation, fill, material or equipment storage, or vehicle operation is allowed within the tree protection area during construction…" **The sizing and spacing of new trees is addressed in section A.4**			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	A.9	Rule already allows flexibility with screening features – can be LID or any other vegetation meeting the height requirements.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Right-of-way eligibility determined by zoning, not by this rule – some designations allow it and others don't.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	A.5	Document calls out requirements for protection around preserved trees, but not around other preserved vegetation – broaden.	☒ Yes ☐ No If yes, include language : Applied requirements for fencing and signage for any preserved vegetation – not just trees. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	A.5	Document calls out requirements for protection around preserved trees, but not around other preserved vegetation – broaden.	☒ Yes ☐ No If yes, include language : Applied requirements for fencing and signage for any preserved vegetation – not just trees. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		Already gives credit for permeable paving on any surface allowed by other codes/standards.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Already gives credit for permeable paving on any surface allowed by other codes/standards.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		Existing rule did not give direction on trees in bioretention. Add guidance/preferred approach.	☒ Yes ☐ No If yes, include language : Added reference to the new direction on trees and bioretention in the Stormwater Manual. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		C.4 clarify who is qualified to sign off on the final installed landscape – "landscape professional" of record.	☐ Yes ☒ No If yes, include language : If no, explain why : Language in the rule is adequate for seeing that landscapes and LID facilities are designed and installed correctly. Verification of installation and enforcement of Green Factor standards over time could use improvement through trainings, etc.	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Seattle Building Code
http://www.seattle.gov/dpd/codesrules/codes/building/

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Maureen Traxler	Strategic Advisor	Code Development	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

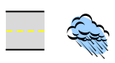
Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other – The Comprehensive Plan contains multiple policies about trees and landscaping.						
	***Hard and Impervious Surfaces***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other – The Comprehensive Plan contains a policy about encouraging permeable materials.						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other – The Comprehensive Plan contains numerous policies regarding bulk and dimensional considerations, including the importance of allowing flexibility to accommodate specific site conditions.						
	Clearing and Grading						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:
The Building Code does not address siting of structures. The existing regulations provide minimum requirements for design, construction, and alterations to protect life safety. It does not limit the ability to do LID.

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Comprehensive Plan
http://www.seattle.gov/dpd/cityplanning/completeprojectslist/comprehensiveplan/documents/default.htm
Changes to Environment Section:
http://www.seattle.gov/dpd/cs/groups/pan/@pan/documents/web_informational/p2385343.pdf

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Brennon Staley	Senior Planner	Policy and regulation development related to land use policy	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : The Comprehensive Plan was amended in 2015 to include clearer and stronger language about preserving vegetation and trees and reducing impervious surface to minimize runoff. Policy E8.1 now says: Use trees, vegetation, amended soil, bioretention, and other green stormwater infrastructure, where feasible, to manage stormwater runoff and reduce the impacts of development. Policy E10 now says: Strive to increase the amount of permeable surface and remove unnecessary impervious surfaces. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : The Comprehensive Plan was amended in 2015 to include clearer and stronger language about preserving vegetation and trees and reducing impervious surface to minimize runoff. Policy E8.1 now says: Use trees, vegetation, amended soil, bioretention, and other green stormwater infrastructure, where feasible, to manage stormwater runoff and reduce the impacts of development. Policy E10 now says: Strive to increase the amount of permeable surface and remove unnecessary impervious surfaces. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

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	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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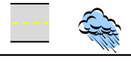
	Other – The Comprehensive Plan contains multiple policies about trees and landscaping.						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : The Comprehensive Plan was amended in 2015 to include clearer and stronger language about preserving vegetation and trees and reducing impervious surface to minimize runoff. Policy E8.1 now says: Use trees, vegetation, amended soil, bioretention, and other green stormwater infrastructure, where feasible, to manage stormwater runoff and reduce the impacts of development. Policy E10 now says: Strive to increase the amount of permeable surface and remove unnecessary impervious surfaces. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other – The Comprehensive Plan contains a policy about encouraging permeable materials.						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other – The Comprehensive Plan contains numerous policies regarding bulk and dimensional considerations, including the importance of allowing flexibility to accommodate specific site conditions.						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

The existing Comprehensive Plan does not mention Low Impact Development as a concept, but contains numerous policies about the importance of LID techniques including trees, vegetation, green stormwater infrastructure, permeable surfaces, green roofs, and other elements. We are currently in the process of updating the Comprehensive Plan and are using this update as an opportunity to elevate and clarify the importance of LID.

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Environmentally Critical Areas Regulations
(Chapter 25.09 of Seattle Municipal Code)

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Dave LaClergue	Area Planning Manager	Policy for landscaping, urban design, and neighborhood planning	DPD
Maggie Glowacki	Senior Land Use Planner	Policy and legislation for environmental regulations	DPD
Nick Welch	Senior Planner	Land Use Policy	DPD
Dennis Meier	Senior Land Use Planner	Land Use Policy and Code Development	DPD
Bradley Wilburn	Land Use Planner	Zoning and Land Use Review	DPD
Maureen Traxler	Strategic Advisor	Code Development	DPD
Brennon Staley	Senior Urban Planner	Policy and legislation update on land use issues	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	25.09.160 25.09.320	In the Environmentally Critical Areas (ECA) regulations, the requirements for development on a parcel containing a wetland include an analysis of hydrology for building siting. Native vegetation is protected the ECA regulations in riparian corridors and wetlands and wetland buffers.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☒ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☒ See existing requirement	25.09.060 25.09.320	No mitigation sequencing in current ECA regulations. Added in update: Mitigation sequencing that results in no net loss of ecological function is required. Existing native vegetation is required to be protected	☒ Yes ☐ No If yes, include language : New section 25.09.325 of ECA regulations includes requirements for mitigation sequencing to minimize impact, disturbance, and runoff and preserve native vegetation. If no, explain why :	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other **DPD Note: See open space pg. 11**						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	25.09.060	Currently, the ECA regulations do not require this prior to development.	☒ Yes ☐ No If yes, include language : In the proposed ECA update, 25.09.060.H requires: preserving top soil for infiltration as appropriate, If no, explain why :	☐ Yes ☒ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	25.09.060.E	Not required prior to development in the ECA	☒ Yes ☒ No If yes, include language : In ECA update 25.09.060.E requires: “, amends the soils, if necessary to improve water infiltration and plant survival, in the areas to be replanted,” If no, explain why :	☐ Yes ☒ No If yes, list document title(s):
	See Seattle-specific Director’s Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	25.09.320	Native vegetation including trees are required to be preserved.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other **DPD Added** **Native Vegetation**			25.09.320 23.60A.156, 23.60A.167, 23.60A.190	These code sections protect more than trees they protect native vegetation.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement	25.09.060.B	Directs development to avoid impacts on environmentally critical areas by not developing them and to minimize disturbance,	☐ Yes ☒ No If yes, include language : If no, explain why: ECA is not where maximum impervious surface is regulated. The code does instruct development to minimize disturbance and impervious surface in many critical areas.	☐ Yes ☒ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.060.C	Directs use of shared driveways to minimize impacts	☐ Yes ☒ No If yes, include language : If no, explain why : Existing regulations comply with the requirement	☐ Yes ☒ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	See shared driveway section ; 25.09.060.C	See shared driveway section	☐ Yes ☒ No If yes, include language : If no, explain why : See shared driveway section	☐ Yes ☒ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		Permeable pavement is allowed	☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	25.09.280	ECA allows this	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.240	ECA allows smaller lot sizes which acts as a surrogate to clustering to minimize disturbance of critical areas	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	25.09.060.E	ECA 25.09.060.E says "All site clearing on the lot that may impact environmentally critical areas or buffers shall be carried out in stages just prior to construction, and cleared areas shall be kept to the minimum for construction."	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language meets requirement. No gaps to fill	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.320	This section of ECA requires preserving native vegetation: "Any action detrimental to habitat, vegetation or trees, including but not limited to clearing or removal, is prohibited, except as provided below, within the following areas: landslide-prone critical areas, (including steep slopes), steep slope buffers, riparian corridors, wetlands, and wetland buffers." The exceptions allow reasonable maintenance or removal of vegetation only as part of an approved tree and revegetation plan.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.060.F	Construction schedules required to minimize impacts: “Construction activity on the lot that may impact environmentally critical areas or buffers shall adhere to a prepared schedule and mitigation plan approved by the Director prior to the start of construction. This schedule and mitigation plan shall include, but not be limited to, a schedule for compliance with project conditions, limits of construction and work activities, equipment to be used, start and duration of each phase, work sequencing, and shall include the design, implementation, maintenance, and monitoring of mitigation requirements to prevent erosion, siltation, and destruction of vegetation.”	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.060.C	Driveways and utility corridors that may impact environmentally critical areas or buffers must be kept to a minimum through the use of common access drives and corridors where feasible. Roads, walkways, and parking areas should be designed parallel to topographic contours with consideration given to maintaining consolidated areas of natural topography and vegetation. Access shall be located in a way that keeps impacts to environmentally critical areas and buffers to a minimum.	☐ Yes ☒ No If yes, include language : If no, explain why : No gap to fill. Existing regulations meet this requirement.	☐ Yes ☒ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.045	There are no exceptions to ECA regulations for LID BMPs.	☒ Yes ☒ No If yes, include language : If no, explain why : Not appropriate to allow development in an ECA for LID. The ECA regulations allow LID near the ECAs but not within ECAs.	☐ Yes ☒ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Seattle Grading Code

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Maureen Traxler	Code Development Manager	Responsible for developing and maintaining technical construction-related codes and related material	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	22.170.190.I	Prohibits use of topsoil as fill	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments ~~Can/~~does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	22.170.020, 22.170.030	Soil quality isn't within scope of Grading Code.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Compaction ~~Can/~~does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☒ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		22.170.190 includes requirements that are generally applicable to grading projects. It doesn't restrict compaction. Compaction is sometimes necessary to support foundation but could be prohibited in other situations.	☒ Yes ☐ No If yes, include language : If no, explain why : Revised language in 22.170.190: G. Surface ((~~P~~))preparation. ((~~The ground surface~~))Areas that will receive fill shall be prepared ~~((to receive fill))~~by removing vegetation, non-approved materials, topsoil, and other unsuitable materials, including, but not limited to, mud, peat, and other materials with insufficient strength to satisfy the design, as determined by the Director. H. Native topsoil shall be retained in an undisturbed state to the maximum extent feasible, as defined in Chapter 22.801 of the Stormwater Code. Topsoil from areas that will be graded shall be reapplied to the site, where feasible. Topsoil that will be reused on-site shall be stockpiled on-site in a designated, controlled area, not adjacent to critical areas. I. Areas that have been cleared, graded, or compacted and that have not been covered by impervious surface, incorporated into a drainage facility, or engineered as structural fill or slope shall be amended with organic matter prior to final inspection.	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ See existing requirement	22.170.190.I	Prohibits use of topsoil as fill	☐ Yes ☐ No If yes, include language : If no, explain why :	☒ Yes ☐ No If yes, list document title(s): Director's Rule 10-2009, Small Diameter Pipe Piles (Pin Piles)

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	22.170.190	Currently, the phrase "the ground surface" does not provide specificity and can result in removal of vegetation over a greater portion of the site than necessary.	☒ Yes ☐ No If yes, include language : In 22.170.190.G, more specific language clarifies that the areas prepared for grading are those areas that will receive fill. A new subsection 22.170.190.H now requires applicants to retain native topsoil in an undisturbed state to the maximum extent feasible. Applicants are also required to store and subsequently reapply or reuse topsoil on site. Also, a new subsection 22.170.190.I requires areas that have been cleared, graded, or compacted but not covered with impervious surfaces to be amended with organic soil prior to final inspection.	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	22.170.070.C .2.b	Requires a time schedule of operations that includes implementation of sections 22.805.010 & 22.807.020 of Stormwater Code, clearing, minimization of grading of unprotected soils, restoration of topsoil & vegetative cover & construction of improvements	☐ Yes ☐ No If yes, include language : If no, explain why : Existing requirement is sufficient	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						

Test

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Land Use Code (SMC Title 23)

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Dave LaClergue	Area Planning Manager	Policy for landscaping, urban design, and neighborhood planning	DPD
Nick Welch	Senior Planner	Land Use Policy	DPD
Dennis Meier	Senior Planner	Land Use Policy and Code Development	DPD
Bradley Wilburn	Land Use Planner	Zoning and Land Use Review	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.44.024	Currently, the Director may modify or increase yards and spacing of structures of a cluster housing planned developments (CHPD) for certain reasons, but promoting GSI is not listed.	☐ Yes ☒ No If yes, include language : The amendments expand the list of reasons to include promoting green stormwater infrastructure and other measures to reduce stormwater runoff. If no, explain why : code also already maintains an appropriate balance between protecting trees and allowing design flexibility	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		The Stormwater Code contain regulations for mitigating stormwater runoff caused by impervious surfaces.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.45.536.D	Current regulations do not clearly allow LID to count towards screening requirements.	☒ Yes ☐ No If yes, include language : In 23.45.536.D, the amendments allow landscaped areas, including level plantings, berms, or bioretention areas, for screening provided the vegetation is at least 3 feet tall. This is similar to existing provisions elsewhere in the Land Use Code (e.g., 23.47A.016) that allow landscaped berms for screening. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
		☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.47A.016.C	Current regulations do not clearly allow LID to count towards screening requirements.	☒ Yes ☐ No If yes, include language : In 23.47A.016.C, the amendments allow landscaped areas for parking screening, similar to the change described above in 23.45.536. The amendments also specify that the required landscaping in surface parking areas can be met with bioretention facilities. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
		☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.49.019	Current regulations do not clearly allow LID to count towards screening requirements.	☒ Yes ☐ No In 23.49.019.I.1, the amendments modify the screening requirements of 23.49.019 so that landscaped areas, including bioretention facilities, can provide screening as long as the vegetation is 3 feet high. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
		☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.50.034	Current regulations do not clearly allow LID to count towards screening requirements.	☒ Yes ☐ No Currently, in industrial zones, screening may be a fence, wall, hedge, or landscaped berm. Similar to the changes in 23.47A.016.C and 23.49.019.I.1, the amendments add landscaped areas to this list, including but not limited to bioretention facilities, provided that vegetation in the landscaped area is 3 feet above the surrounding grade. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
		☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.57.008.C	Current regulations do not clearly allow LID to count towards screening requirements.	☒ Yes ☐ No This section specifies requirements for major communications utilities. In subsection 23.57.008.C, which includes requirements for setbacks and landscaping, the amendments stipulates that bioretention facilities can fulfill the landscaping requirement if it screens and mitigates the visual impacts as required. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.440.022	Institutions in single-family zones do not have to meet Seattle Green Factor requirements for landscaping.	The legislation changes landscaping provisions in subsection 23.44.022.I of the regulations for institutional uses in single-family zones. Institutions in single-family zones must achieve a Green Factor score of 0.3 or greater. Green Factor is a score-based code requirement for the quantity and quality of landscaping. Institutions must include features such as green roofs, permeable paving, rain gardens, trees, and shrubs to meet the Green Factor score. Many Green Factor features are also low impact development strategies and help reduce stormwater runoff.	☐ Yes ☐ No If yes, list document title(s):
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.44.024	Currently, landscaping requirements for cluster housing planned developments (CHPD) are intended to minimize the impact of the CHPD on adjacent uses, but minimizing runoff and impervious surfaces and preventing erosion are not stated as goals.	☒ Yes ☐ No If yes, include language : The CHPD regulations include landscaping requirements in subsection 23.44.024.F. The amendments restructure this subsection. The new structure states that the Director may require retention of existing mature landscaping or require new landscaping in order to minimize the impacts of the CHPD on adjacent uses; reduce stormwater runoff, potential erosion, and area of impervious surfaces; and screen parking. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
		☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.44.010	In single family zones, the lot coverage limit restricts the amount of a lot that can be developed.	☒ Yes ☐ No If yes, include language : If no, explain why : Existing lot coverage limits meet this requirement in single family zones. In non-single-family zones, there are open space requirements; some zones do not have setback requirements because they are areas where the City wants to encourage higher-density development, for several reasons including environmental goals and policies.	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.45.536.C	Existing driveway requirement for multifamily projects does not require shared driveways.	☒ Yes ☐ No If yes, include language : In 23.45.536.C, the amendments reduce impervious surface in multi-family residential projects by stipulating that driveways providing access from the street shall either be paved with permeable materials or be shared driveways providing access to multiple garages. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.54.030	Driveway width minimums are already reduced to minimize impervious surface, and maximum widths limit this further.	☒ Yes ☐ No If yes, include language : If no, explain why : Existing regulations are sufficient.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.45.536.C	Existing driveway requirement for multifamily projects does not permeable pavement for driveways.	☒ Yes ☐ No If yes, include language : In 23.45.536.C, the amendments reduce impervious surface in multi-family residential projects by stipulating that driveways providing access from the street shall either be paved with permeable materials or be shared driveways providing access to multiple garages. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : If no, explain why : Two-track driveway design is allowed.	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		In the land use code, front and rear yards may be reduced to protect an environmentally critical area.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing requirements balance flexibility to preserve critical areas or trees (see 25.11) with the need to provide separation between structures.	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Allowing additional height would be in opposition to City goal of ensuring development is compatible with neighborhood.	☐ Yes ☒ No If yes, include language : If no, explain why : flexibility already exists and achieved appropriate balance between minimizing site disturbance and ensuring development compatible with neighborhood	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.44.010	In single family zones, the lot coverage limit restricts the amount of a lot that can be developed.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing lot coverage limits meet this requirement in single family zones. In non-single-family zones, there are open space requirements; some zones do not have setback requirements because they are areas where the City wants to encourage higher-density development, for several reasons including environmental goals and policies.	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.43.012 23.44.024	Cottage housing is allowed pursuant to 23.43.012. Requirements for setbacks, yards, and separations between structures are reduced. Clustered housing is allowed on large sites pursuant to 23.44.024. This section limits the size of structures and allows smaller separation between structures.	☐ Yes ☒ No If yes, include language : If no, explain why : Provision already exists.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.43.008 23.43.010 23.43.012 23.44.014 23.44.024 23.45.518 23.47A.009 23.47A.014 23.75.140	Currently, there are several sections of the Land Use Code that establish requirements for yards, setbacks, and separation areas. These requirements apply in various zones and generally prohibit any structure being constructed in yards, setbacks, or separation areas. There are several exceptions for yard and setback requirements that allow porches, steps, and certain features of a structure. The exception also allows some flexibility for yard and setback requirements to preserve exceptional trees. There is also already an existing exception to allow cisterns that collect and store rainwater in yards in single-family residential zones (Section 23.44.014).	☒ Yes ☐ No If yes, include language : The amendments modify development standards in several sections so that above-grade green stormwater infrastructure, such as cisterns and bioretention facilities, are allowed in yards, setbacks, and separation areas. Where an exception already exists to allow cisterns, the amendments expands the flexibility to include above-grade green stormwater infrastructure. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.54.015	Parking minimums are already very low. There is no required parking for development in urban villages served by frequent transit. There are also parking maximums in certain zones that limit the number of parking spaces that can be provided as surface parking.	☐ Yes ☒ No If yes, include language : If no, explain why : further reducing parking requirements would have deleterious spillover effects on congestion and the availability of on-street parking.	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.54.030	Parking space standards in Seattle are already reduced to minimize impervious surface. Tandem parking is allowed in certain instances.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing regulations are sufficient.	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.54.030	Parking aisle dimensions are already reduced to minimize impervious surface.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing regulations are sufficient.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.47A.016.D	Currently, the Code requires that each landscaped area be "enclosed by permanent curbs or structure barriers" in order to keep vehicles out. As a result, it is unlikely an applicant could direct stormwater from the parking surface into the landscaped area for infiltration.	The amendment modifies that language to require that landscaped areas be only "protected by" a curb or barrier, so that water can be channeled into the vegetated area and increase stormwater infiltration.	
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.49.019	Currently, the Code requires that each landscaped area be "enclosed by permanent curbs or structure barriers" in order to keep vehicles out. As a result, it is unlikely an applicant could direct stormwater from the parking surface into the landscaped area for infiltration.	☒ Yes ☐ No If yes, include language : Like 23.47A.016.D, the amendments also make the same small change to the requirement that landscaping in surface parking areas in the Downtown zones need only be protected, not enclosed, by a curb or barrier in order to increase stormwater infiltration. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		See above for changes to off-street parking regulations	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : DPD continually trains reviewers on LID BMPs. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.41.018	For projects that are required to go through the streamlined administrative design review (SDR) process, the current regulations allow the Director to modify certain development standards, such as setback and separation requirements, amenity areas, and landscaping and screening requirements, if the development meets certain criteria. One of those criteria is a development that provides a better response to environmental and/or site conditions.	☒ Yes ☐ No If yes, include language : Currently the Code lists topography, the location of trees, and adjacent uses and structures as examples of environmental and site conditions to which a development can be responsive. The amendments add stormwater management to the list of environmental and site condition examples. As a result, development proposals that include low impact development solutions to managing stormwater are eligible for flexibility on certain development standards as part of the SDR process. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Zoning requirements						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.84A.028 23.45.516	There are currently various places in the Land Use Code where landscaped areas are either required or allowed to satisfy amenity area requirements. The particular language varies in each section, but generally LID and GSI are not explicitly listed as options to meet that requirement.	☒ Yes ☐ No If yes, include language : According to the current definition of “open space, landscaped,” these areas are predominantly used for the planting of trees, shrubs, ground cover, and other natural vegetation. The amendments to 23.84A.028 add bioretention facilities to this list. As a result of this change, strategies like bioretention that support low impact development are considered landscaped open space. Landscaped open space satisfies various amenity area requirements. Those requirements are found in 23.45.516, 23.45.522, and 23.47A.024. By amending the definition for “open space, landscaped” applicants can include bioretention to fulfill their amenity area and/or open space requirements. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.84A.028 23.45.516	There are currently various places in the Land Use Code where landscaped areas are either required or allowed to satisfy amenity area requirements. The particular language varies in each section, but generally LID and GSI are not explicitly listed as options to meet that requirement.	☒ Yes ☐ No If yes, include language : According to the current definition of “open space, landscaped,” these areas are predominantly used for the planting of trees, shrubs, ground cover, and other natural vegetation. The amendments to 23.84A.028 add bioretention facilities to this list. As a result of this change, strategies like bioretention that support low impact development are considered landscaped open space. Landscaped open space satisfies various amenity area requirements. Those requirements are found in 23.45.516, 23.45.522, and 23.47A.024. By amending the definition for “open space, landscaped” applicants can include bioretention to fulfill their amenity area and/or open space requirements. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.44.034	In 23.44.034.C, the current regulations specify the number of dwelling units permitted in a planned residential development (PRD). An increase of up to 20 percent may be permitted if the PRD provides public benefits such as low-income housing or child care. The listed public benefits do not address LID or stormwater management.	☒ Yes ☐ No If yes, include language : The amendments add green stormwater infrastructure to the list of public benefits. A development needs to include green stormwater infrastructure beyond what is otherwise required by the City's Stormwater Code (Chapters 22.800 through 22.808). In 23.44.034.E.7, the amendments expand the list of reasons that the Director may modify setback and spacing requirements to include green stormwater infrastructure and other measures to reduce stormwater runoff. This allows greater flexibility to accommodate low impact development strategies to manage stormwater. The amendments also modify the landscaping requirements of 23.44.034.F. The change is similar to the aforementioned amendments to 23.44.024. The amendments allow the Director to require retention of existing mature landscaping or require new landscaping in order to minimize the impacts of the PRD on adjacent uses; reduce stormwater runoff, potential erosion, and area of impervious surfaces; and screen parking. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.49.036	Similar to the requirements for PRDs, section 23.49.036 describes how a planned community development (PCD) shall be evaluated. Subsection 23.49.036.F.1 lists several public benefits three of which a PCD must include. The listed public benefits do not address LID or stormwater management.	☒ Yes ☐ No If yes, include language : The amendments add to the list to include green stormwater infrastructure beyond the requirements of the Stormwater Code. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.49.041	Combined lot development is permitted only when allowing more chargeable floor area than would otherwise be allowed on a lot results in significant public benefit. Subsection 23.049.041.D lists the public benefits that a combined lot development can provide to fulfill this requirement. The listed public benefits do not address LID or stormwater management.	☒ Yes ☐ No If yes, include language : Similar to the PRD and PCD changes, the amendments add to this list green stormwater infrastructure beyond the requirements of the Stormwater Code. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.84A.014	There currently is no definition in the Land Use Code for “green stormwater infrastructure.”	☒ Yes ☐ No If yes, include language : Because the amendments add references to green stormwater infrastructure (GSI) in multiple sections, the amendments also add the definition used for green stormwater infrastructure in the Stormwater Code into the definitions included in the Land Use Code. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Critical Areas and Shoreline Management						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Shoreline Master Program
(Chapter 23.60A of Seattle Municipal Code)

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Dave LaClergue	Area Planning Manager	Policy for landscaping, urban design, and neighborhood planning	DPD
Maggie Glowacki	Senior Land Use Planner	Policy and legislation for environmental regulations	DPD
Nick Welch	Senior Planner	Land Use Policy	DPD
Dennis Meier	Senior Land Use Planner	Land Use Policy and Code Development	DPD
Bradley Wilburn	Land Use Planner	Zoning and Land Use Review	DPD
Maureen Traxler	Strategic Advisor	Code Development	DPD
Brennon Staley	Senior Urban Planner	Policy and legislation update on land use issues	DPD

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
DPD Codes that need reviewing:	***Site Planning***						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.60A.152 23.60A.190	The Shoreline Master Program (SMP) regulations require development to be sited to preserve native vegetation and minimize impervious surface.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill, See Existing Req. description at left	☐ Yes ☒ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.60A.152 23.60A.172 23.60A.158 23.60A.156	Siting of structure needs to meet general development standards location, deign construction and management of all shoreline development shall protect the quality and quantity of surface water ….” Mitigation sequencing that results in no net loss of ecological function is required. Existing native vegetation is required to be protected	☐ Yes ☒ No If yes, include language : If no, explain why : Existing regulations meet the requirements. See summary at left.	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other **DPD Note: See open space pg. 11**						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.60A.152 23.60A.158	SMP complies through existing development standards and through mitigation sequencing.	☐ Yes ☒ No If yes, include language: If no, explain why : SMP complies	☐ Yes ☒ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.60A.152. 23.60A.158	In SMP 23.60A.152 (General Development Standards) and 23.60A.158 (Standards for mitigation sequencing) meet this requirement. See specific language at right.	☐ Yes ☒ No If yes, include language : If no, explain why : SMP complies. “All shoreline developments, shoreline modifications, and uses shall be located, designed, constructed and managed to achieve no net loss of ecological functions. No net loss of ecological functions shall be achieved by applying the standards set out in this Chapter 23.60A, including applying mitigation sequencing pursuant to Section 23.60A.158.” “Regulations set out in this Chapter 23.60A are minimum requirements that shall be supplemented by mitigation sequencing in this Section 23.60A.158 when needed to achieve no net loss of ecological functions...”	☐ Yes ☒ No If yes, list document title(s):
	See Seattle-specific Director’s Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.60A.156, 23.60A.167, 23.60A.190	Native vegetation including trees are required to be preserved.	☐ Yes ☒ No If yes, include language : If no, explain why : No gap to fill, see explanation at left.	☐ Yes ☒ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other DPD Added Native Vegetation			23.60A.156, 23.60A.167, 23.60A.190	These code sections protect more than trees; they protect native vegetation.		
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.60A.152 23.60A.190	The SMP includes lot coverage requirements for less intensive developed areas: Conservancy Management, Conservancy Presentation, Conservancy Recreation, Urban Residential, and Urban Commercial Environments.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing regulations comply with the requirement. See summary of existing requirements at left.	☐ Yes ☒ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.60A.190	Increase in impervious surface is required to be mitigated to offset impacts caused by an increase in stormwater runoff. One way to mitigate this impact is to use permeable material.	☐ Yes ☒ No If yes, include language : If not, explain why : Existing regulations comply with the requirement. See summary at left.	☐ Yes ☒ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	23.60A.167	Section 23.60A.167 of the new SMP allows setback flexibility to minimize disturbance and stormwater runoff.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill	☐ Yes ☒ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.60A.152.F and 23.60A.190	23.60A.152.G States "Disturbance areas and land clearing shall be limited to the minimum necessary for development. Any surface disturbed or cleared of vegetation and not to be used for development shall be planted with native vegetation, …" All of section 190 requires minimizing disturbance and mitigating the loss of pervious surface.	☐ Yes ☒ No If yes, include language : If no, explain why : No gaps to fill. See existing language at left.	☐ Yes ☒ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.60A.156, 23.60A.167, 23.60A.190	Current regulations in the SMP require preservation of native vegetation and allow flexibility from certain development standards to achieve that.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing requirements meet this goal. See summary at left.	☐ Yes ☒ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ See existing requirement	25.09.060.C		☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	23.60A.152 and 23.60A.190	Any increase in impervious surface is an impact that needs to be mitigated. One way to mitigate this impact is to use permeable paving.	☐ Yes ☒ No If yes, include language : If no, explain why : Mitigating increases in impervious surface are regulated by Stormwater Code.	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	23.60A.152 23.60A.167	Height exceptions in all shoreline environments allow for extra height for green roofs.	☐ Yes ☒ No If yes, include language : If no, explain why : Current requirements already allow LID BMPs in the shoreline environments where appropriate.	☐ Yes ☒ No If yes, list document title(s):
	Other						

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Tree Protection Code, SMC 25.11

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Brennon Staley	Senior Urban Planner	Policy and legislation update on land use issues	Planning & Development

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC Chapter 25.11	Tree Protection code requires protection of individual trees during and outside of development. City can require re-design of buildings to protect trees	☐ Yes ☒ No If yes, include language : If no, explain why : code already maintains an appropriate balance between protecting trees and allowing design flexibility	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC Chapter 25.11	Tree Protection code prohibits compaction in root zone around protected trees	☐ Yes ☒ No If yes, include language : If no, explain why : code is already strict about compaction related to trees; other codes deal with compaction more generally	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC Chapter 25.11	Tree Protection code requires protection of individual trees during and outside of development.	☐ Yes ☒ No If yes, include language : If no, explain why : Code already has very strict requirements for tree preservation.	☒ Yes ☐ No If yes, list document title(s): Land Use code has standards for tree planting. Standard Plans contains details for tree planting.
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC Chapter 25.11	Applicants can receive flexibility on setbacks and height to preserve a tree	☐ Yes ☒ No If yes, include language : If no, explain why : flexibility already exists and achieved appropriate balance between preserving trees and ensuring development compatible with neighborhood	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	SMC Chapter 25.11	Applicants can receive flexibility on setbacks and height to preserve a tree	☐ Yes ☒ No If yes, include language : If no, explain why : flexibility already exists and achieved appropriate balance between preserving trees and ensuring development compatible with neighborhood	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☐ See existing requirement	SMC Chapter 25.11	Tree Protection code requires protection of individual trees during and outside of development.	☐ Yes ☒ No If yes, include language : If no, explain why : Code already contains requirement and incentives for protecting trees with preference for natives	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 01 56 39 Temporary Tree, Vegetation, & Soil Protection

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement	Note to Consultants	No direct instructions to incorporate GSI or LID	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Are there opportunities to harvest stormwater?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Parks Standard 13 14 26 For Water Feature Design

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Park Engineer	Engineering manager	Parks & Recreation

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Various	Generally requires connection to sanitary sewer system throughout, requires recirculation in most applications, but does not emphasize dispersion methods.	☒ Yes ☐ No If yes, include language : Modified throughout to encourage use of pervious paving, gray water storage, and minimize drainage to sanitary sewer. No direct drainage to stormwater systems allowed. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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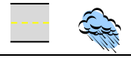
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 31 00 00 Earthwork

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

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	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement	Note to Consultants	No direct instructions to incorporate GSI or LID	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
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	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

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	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	3.02 B & C	Protection of existing GSI infrastructure not specifically addressed.	☒ Yes ☐ No If yes, include language : Added sentence to Section 3.02.B "Such interfering utilities may include Green Stormwater Infrastructure (GSI) measures such as bioswales, dry wells, etc. " Added new Section 3.02.C "Green Stormwater Infrastructure: Drawings of existing conditions will generally identify the presence of existing GSI measures such as bioswales, cisterns, rain gardens, dry wells, permeable paving, etc. The Contractor shall confirm the location of all such features and shall protect them from disturbance during construction if they are not part of the Work. If potential GSI features not shown on the existing conditions are discovered during construction, the Contractor shall notify the Owner to receive further instruction." If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Are there opportunities to harvest stormwater?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 17 00 Pathway and Pavement Edging

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering oversight and supervision	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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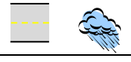
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement			☐ Yes ☒ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Existing standard silent on GSI nexus	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Paragraphs 1 & 5	Silent on GSI nexus.	☒ Yes ☐ No If yes, include language : Directs utilization of pervious paving and path edging to allow dispersion when impervious. If no, explain why :	
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☒ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		These areas are not irrigated.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 20 00 Play Area Design

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering oversight and supervision	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	I.G.1, I.G.3, II.A.7, III.H, III.J	Silent on LID issues	☒ Yes ☐ No If yes, include language : Added language to proactively consider LID options for drainage and use of plantings. See markup If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

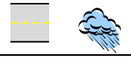
Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	III.H	Silent on use of native vegetation	☒ Yes ☐ No If yes, include language : Recommended native plants when feasible in plantings around play areas. See attached markup. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other				Not addressed	*Added language to strengthen use of pervious paving for pathways and encourage dispersion methods.*	
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	III.J	Silent on use of pervious paving on pathways	☒ Yes ☐ No If yes, include language : Recommended pervious paving when feasible, see markup If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	III.J	Standard silent about dispersion	☒ Yes ☐ No If yes, include language : Revised to encourage dispersion, see markup If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☒ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement			☐ Yes ☒ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Existing standard silent on GSI nexus	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Paragraphs 1 & 5	Silent on GSI nexus.	☒ Yes ☐ No If yes, include language : Directs utilization of pervious paving and path edging to allow dispersion when impervious. If no, explain why :	
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☒ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		These areas are not irrigated.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 60 00 Trail Construction and Restoration

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement	Note to Consultants	No direct instructions to incorporate GSI or LID	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Are there opportunities to harvest stormwater?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 80 00 Irrigation Systems

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering oversight and supervision	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	Various	Healthy soil is retained and used as backfill for trenches.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement	Various	All trench backfill is to Parks standards for plantings in irrigated area, which meets or exceeds this standard.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement	Various	Specifies sand or native soil backfill around irrigation equipment; soil disruption minimized.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	Various	Tree roots are protected while irrigation trenches are being constructed	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement	1.06.B.2	Allows for multiple irrigation pipes in common trenches, with appropriate limitation.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Instructions to Consultant, Point H	Intent was in original document, but not specifically expressed in terms of native vegetation. Added Point H to reinforce.	☒ Yes ☐ No If yes, include language : H. Meet City of Seattle code requirements for Low Impact Development (LID), including conservation of native vegetation and soil, minimizing or eliminating flow into stormwater systems, and protection of trees. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Sprinkler heads are designed to prevent irrigation water from significant contact with pervious surfaces, thus reducing potential for unwanted, wasteful drainage into stormwater systems.	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☒ See existing requirement	1.06.B.2	Section reinforces contract requirement to align sprinkler heads per design.	☐ Yes ☒ No If yes, include language : If no, explain why : Existing language sufficient.	
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☒ See existing requirement	Various		☐ Yes ☒ No If yes, include language : If no, explain why : Existing language triggers "Maxicom" irrigation controls, which automatically will reduce or eliminate automatic irrigation during wet conditions, thus leaving the irrigated area suitable for dispersion.	☐ Yes ☒ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement		These areas are not irrigated.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 91 13 Soil Preparation

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement	Note to Consultants	No direct instructions to incorporate GSI or LID	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☒ See existing requirement		This section is intended to address requirements for imported soil and amendments; it does not address soil removal at all - that is addressed in a separate section (31 00 00).	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Parks specs meet or exceed T5-13 standards.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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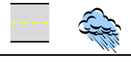
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Are there opportunities to harvest stormwater?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 93 00 Landscape Planting Design

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☐ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement		LID-related goals were already incorporated in existing document, but updates needed to point more directly to SPU's revised stormwater code, TIP's, & definitions.	☒ Yes ☐ No If yes, include language : See marked up document If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
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Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
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	Other						
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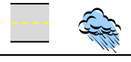
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 32 93 13 Site Restoration of Natural Areas

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

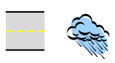
Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

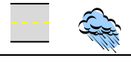
Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Already employs BMPs as appropriate to maintain or restore healthy soil.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Already employs Parks BMPs for compost amendment which meet or exceed the standard.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Already employs BMP's to promote healthy soil for establishment & growth of natural vegetation.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Standard is already written to protect existing trees and plant native varieties where applicable.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Standard already describes an allowed method of GSI, inasmuch as it specifically addresses requirements for restoration of natural areas.	☒ Yes ☐ No If yes, include language : See marked up document If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		To the extent that natural areas may abut street ROW, existing standard already describes an allowed method of GSI inasmuch as it specifically addresses requirements for restoration of natural areas.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Hard and Impervious Surfaces***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Existing standard already seeks to restore or establish soil for healthy plantings in natural areas.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Existing standard already seeks to restore or establish healthy native plantings in natural areas.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		To the extent the property in question abuts street ROW, standard is already written to protect existing trees and plant native varieties where applicable.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☒ Yes ☐ No ☐ Does not apply	☐ Yes ☒ No ☐ See existing requirement		Existing standard already creates natural areas that count toward passive open space requirements.	☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 33 10 00 P-Patch Water Systems Design

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

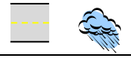
Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : See marked up document If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	***Parking***						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other Are there opportunities to harvest stormwater?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Pg 1	Original standard would have discouraged rainwater harvesting due to potable water issue.	☒ Yes ☐ No If yes, include language : When space and conditions permit, it is acceptable to install a supplemental system that will capture rainwater and surface flows in cisterns for P-Patch use. Such systems shall be built in accordance with the Seattle Stormwater Manual,Volume 3, Section 5.5.1 “Rainwater Harvesting”. All spigots and other discharge points from such systems must be clearly and permanently marked as non-potable water, and child-protective devices/locks must be installed to prevent inadvertent misuse of non-potable water. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: 33 34 00 Storm Sewer Systems Design

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rebecca Rufin	Engineering Manager	Engineering services related to planning, design, construction, & O&M	Parks

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Note to Consultants	No direct instructions to incorporate GSI or LID	☒ Yes ☐ No If yes, include language : Added the following guideline: "Where practicable, incorporate Green Stormwater Infrastructure and Low Impact Development strategies. Such measures may include bioretention, rain gardens, cisterns, dry wells, infiltration trenches, and dispersion." If no, explain why :	☐ Yes ☒ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Landscaping, Native Vegetation, Street Landscaping						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☒ Yes ☐ No If yes, include language : See marked up document If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						
	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other Are there opportunities to harvest stormwater?	☒ Yes ☐ No ☐ Does not apply	☒ Yes ☐ No ☐ See existing requirement	Instructions to designer	Original standard did not specifically address opportunity to utilize this technique.	☒ Yes ☐ No If yes, include language : "The Consultant shall consider opportunities to harvest rainwater for irrigation and other appropriate usage, and incorporate into the design as practicable." If no, explain why :	☐ Yes ☒ No If yes, list document title(s):

Step 2 **WHAT** topics did you review?			Step 3 **WHERE** are the gaps?			Step 4 What steps have you taken to **FILL THE GAPS?**	Step 5 **IDENTIFY** any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No ☒ Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes:

City of Seattle Report Form

Low Impact Development (LID) Integration

Code/Document/ Rule/ Standard Reviewed: Seattle Fire Code

Step 1 – WHO was part of your Project Team?

Name	Job title	Job description	Department
Rich Richardson	Technical Code Dir.	Code Development	Fire

Step 2 – WHAT topics did you review?

The topics below belong to one or more of the following categories:

Measures to minimize impervious surfaces

Measures to minimize loss of native vegetation

Other measures to minimize stormwater runoff

Step 3 – WHERE are the gaps?

Fill out the following table for any section of the Document/ Document/ Rule/ Standard that may potentially conflict with implementation of LID BMPs based on the topics outlined in Step 2.

Step 4 – What steps did you take to FILL THE GAPS?

What alternative language has been drafted and adopted to address the conflict/gap?

Step 5 – IDENTIFY any other City documents/documents that may be affected by the proposed revisions in Step 4.

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Site Planning						
	Building locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that buildings and other impervious surfaces) are sited to minimize runoff, total impervious and native vegetation loss?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2012 Seattle Fire Code Section 503 and Appendix D	Requires access roads of a certain width when buildings are too far from public streets	X Yes X No If yes, include language : A new Point of Information will be added to Section 503 of the next fire code advising readers that permeable pavement may be considered to meet this requirement. If no, explain why : We have reviewed the distance triggers requiring fire apparatus access roads and the width details required for fire apparatus access roads, and have concluded that these numbers are necessary to ensure a reasonable emergency response time. The widths are necessary for maneuvering fire apparatus. It is worth noting that the Seattle Fire Code Section 503.2.1 has a provision that allows fire apparatus access roads serving no more than 2 single family dwellings to be 8 ft. narrower than what is required by the Washington State Fire Code and the International Fire Code.	☐ Yes X No If yes, list document title(s):
	Parking area locations Can/does document require designers/developers to incorporate an understanding of site hydrology and demonstrate that parking lots (impervious) are sited to minimize runoff, total impervious and native vegetation loss?	☐ Yes ☐ No x Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Stormwater management facility locations Can/does document require designers/developers to locate stormwater facilities in a way that minimizes stormwater runoff, impervious surface, and native vegetation loss?	☐ Yes ☐ No x Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Soils						
	Protecting and restoring healthy soil Can/does document include provisions to prevent the removal of healthy soil? (i.e.: stockpiling topsoil on site and replacing after construction)	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2012 Seattle Fire Code Section 5704.2.13	Requires flammable and combustible liquid tanks that have been out of service for more than 1 year to be to either be removed or left in place with suction, inlet, gauge, and vapor pipes disconnected.	☐ Yes X No If yes, include language : If no, explain why : Though dis-allowing removal of underground tanks would reduce the removal of healthy soil, the removal option is often needed to develop a site.	☐ Yes ☐ No If yes, list document title(s):
	Compost amendments Can/does document include provisions to bring site soils up to the standard articulated in the MS4 Permit , BMP T5-13?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	See Seattle-specific Director's Rules: www.seattle.gov/dpd/codes/dr/DR2009-17.pdf PDF Pages: 112-116 // Document Pages: Section 4.4.1 (4-37 – 4-41)						
	Compaction Can/does document include adequate provisions to prevent soil compaction, especially during construction?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Other						
	Landscaping, Native Vegetation, Street Landscaping						
	Tree preservation Can/does document include provisions to retain or protect trees? Plant trees? Are there tree planting restrictions that can be reviewed/revised? Are there new technologies or construction approaches that can/should be applied to facilitate tree preservation?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Screening Can/does document include provisions that allow LID or GSI facility plantings to be counted toward site, parking or perimeter screening requirements?	☐ Yes ☐ No x Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Landscaping requirements for street frontages Can/does document include provisions that allow LID or GSI facility plantings to be counted toward landscaping requirements for street frontages?	☐ Yes ☐ No x Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Hard and Impervious Surfaces						
	Maximum impervious surface allowances Can/does document include provisions that set maximum allowances for impervious surface, effective impervious area, or site/lot coverage? Clustering?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2012 Seattle Fire Code Section 503 and Appendix D	A majority of driveways are not required fire apparatus access roads. For those situations where a driveway is a required fire apparatus access road, due to distance from a public street, the provisions discussed above in the *Site Planning, Building Locations* section apply.	X Yes X No If yes, include language : A new Point of Information will be added to Section 503 of the next fire code advising readers that permeable pavement may be considered. If no, explain why : We have reviewed the distance triggers requiring fire apparatus access roads and the width details required for fire apparatus access roads, and have concluded that these numbers are necessary to ensure a reasonable emergency response time. The widths are necessary for maneuvering fire apparatus. It is worth noting that the Seattle Fire Code Section 503.2.1 has a provision that allows fire apparatus access roads serving no more than 2 single family dwellings to be 8 ft. narrower than what is required by the Washington State Fire Code and the International Fire Code.	☐ Yes X No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Shared driveways Can/does document include provisions that require or allow shared driveways?	☐ Yes X No ☐ Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum driveway width Are there existing minimum driveway width document provisions that can be adjusted to decrease impervious surface?	☐ Yes X No ☐ Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Use of permeable pavement for driveways Can/does document include provisions that allow or require the use of a permeable materials for driveways?	☐ Yes X No ☐ Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If not, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Two-track driveway design …. Or the use of a two-track driveway design?	☐ Yes X No ☐ Does not apply	☐ Yes X No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Bulk and Dimensional Considerations Can additional flexibility or incentives be added, to facilitate minimizing the development footprint?						
	Building setbacks Can flexibility be added to setback requirements to allow designers/developers to minimize site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Height limits Can flexibility be added to height limits to allow designers/developers to min. site distrubance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
Categories	**Examples of Topics & Key Questions**	**Was topic reviewed for this document?**	**Were gaps identified?**	**Document Section Reference**	**Summary of Existing Requirement/Conflict/Gap**		
	Maximum square footage Likewise, can flexibility be added to max. square footage requirements?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Clustering Can document remove any barriers or add any incentives to cluster impervious area to min. site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Clearing and Grading						
	Protecting existing infiltration Can/does document include provisions aimed at minimizing site disturbance and soil compaction? (Are pin foundations allowed?)	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Conserving native vegetation/soils Can/does document include provisions aimed at conserving native vegetation?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Construction sequencing Can/does document include direction to sequence construction in a way that minimizes site disturbance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Street and Roads						

Step 2 WHAT topics did you review?			Step 3 WHERE are the gaps?			Step 4 What steps have you taken to FILL THE GAPS?	Step 5 IDENTIFY any other City documents that may be affected
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	Travel lane widths Are there opportunities to decrease minimum travel lane width requirements, particularly for low-volume, low-traffic contexts?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2012 Seattle Fire Code Section 503 and Appendix D	When the distance between a building and the public street exceeds a certain length a private fire apparatus access road in accordance with Section 503 and Appendix D is required.	☐ Yes X No If yes, include language : If no, explain why : We have reviewed the distance triggers requiring fire apparatus access roads and the width details required for fire apparatus access roads, and have concluded that these numbers are necessary to ensure a reasonable emergency response time. The widths are necessary for maneuvering fire apparatus. It is worth noting that the Seattle Fire Code Section 503.2.1 has a provision that allows fire apparatus access roads serving no more than 2 single family dwellings to be 8 ft. narrower than what is required by the Washington State Fire Code and the International Fire Code.	☐ Yes X No If yes, list document title(s):
	Right-of-way widths & Drive way widths Can required drive-way widths or curb radius requirements be adjusted to reduce EIA?	X Yes ☐ No ☐ Does not apply	X Yes ☐ No ☐ See existing requirement	2012 Seattle Fire Code Section 503 and Appendix D	When the distance between a building and the public street exceeds a certain length a private fire apparatus access road in accordance with Section 503 and Appendix D is required.	☐ Yes ☒ No If yes, include language : If no, explain why : We have reviewed the distance triggers requiring fire apparatus access roads and the width details required for fire apparatus access roads, and have concluded that these numbers are necessary to ensure a reasonable emergency response time. The widths are necessary for maneuvering fire apparatus. It is worth noting that the Seattle Fire Code Section 503.2.1 has a provision that allows fire apparatus access roads serving no more than 2 single family dwellings to be 8 ft. narrower than what is required by the Washington State Fire Code and the International Fire Code.	☐ Yes X No If yes, list document title(s):

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	Use of permeable pavement for streets and roads Can the applications in which permeable pavement is allowable, encouraged or required be expanded?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement	2012 Seattle Fire Code section 503.2.3	Section 503.2.3 of the Seattle Fire Code specifies that required fire apparatus access roads be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. No further details are provided, but in practice the Fire Department does not approve grass-crete, but would approve permeable asphalt if it can meet the loading requirements.	X Yes ☐ No If yes, include language : A new Point of Information will be added to Section 503 of the next fire code advising readers that permeable pavement may be considered. If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Placement of utilities under paved areas in the ROW Can/does document include direction to place utilities under paved areas in ROW to preserve potential space for infiltration of runoff?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Required turn around areas(e.g., Fire, USPS) Can required turn around areas be reduced or can these areas be paved with permeable pavement?	X Yes ☐ No ☐ Does not apply	☐ Yes X No ☐ See existing requirement	2012 Seattle Fire Code Section 503 and Appendix D	The fire code has several prescriptive options for turnarounds on dead end required fire apparatus access roads such as hammerheads, cul-de-sacs and a Y configuration, each with specific dimensions and turn radii.	☐ Yes X No If yes, include language : If no, explain why : The fire code requirements for turn-arounds on dead-end required fire apparatus access roads are needed to facilitate maneuvering of the largest fire apparatus.	☐ Yes X No If yes, list document title(s):
	Sidewalk widths Are there opportunities to reduce minimum sidewalk width requirements, particularly for land use zones with low pedestrian volumes (industrial, etc.)?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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	Sidewalk slope Are there opportunities to require sidewalk cross slopes be graded to direct runoff to adjacent pervious surface when possible (ie: vegetated planting strip)	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Minimum cul-de-sac radius Is there an opportunity to reduce the min. radius to min. imp. Surface?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Alternatives to cul-de-sacs Is there an opportunity to provide incentives for alternatives?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Parking						
	Minimum/maximum parking ratios Are there opportunities to adjust minimum parking ratios to reduce impervious surface and runoff? Are there opportunities to institute maximum parking ratios?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Permeable paving use Are there opportunities to allow, encourage or require permeable paving be used in ROW parking lanes or in public or private surface parking not in the ROW.	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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	Parking stall dimensions Are there opportunities to adjust parking stall dimensions (length and or width) or the ratio of compact to standard size spaces allowed or required in surface parking lots?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Driving aisle dimensions Are there opportunities to adjust the required dimensions of driving aisles for surface off-street parking to minimize impervious area and runoff?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Off-street parking regulations Are there opportunities to adjust design standards for off-street parking to better accommodate (or require) the integration of LID BMP's like filter strips and bioretention?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Design Guidelines and Standards						
	Trees and bioretention Are there opportunities to improve the compatibility of approved street trees and bioretention?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):

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	Continuous curb requirements Are there opportunities to remove requirements in order to facilitate on-site bioretention or dispersion?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Curb radii Are there opportunities to reduce impervious surface by reducing required radii?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Stormwater Management and Maintenance						
	Training Is there an opportunity to improve or require training in LID design and maintenance for staff involved in project review & enforcement?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Maintenance and Enforcement Is there an opportunity to improve/update LID facility maintenance and protection specs? Enforcement procedures? Inspection protocols?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Education Are there opportunities to standardize or require the education of adjacent property owners and/or the general public about proper LID maintenance?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

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	Zoning requirements						
	Individual open space requirements Can these requirements be revised to minimize conflicts with or obstacles to LID siting?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Passive vs. active open space requirements Can document be revised so that bioretention areas, dispersion areas, and other conserved open space be counted toward passive open space requirements?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Opportunities for Performance Based Designs (PUDs) What opportunities exist to remove barriers to LID facility siting within PUDs?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						
	Critical Areas and Shoreline Management						
	Allowance of LID BMPs in critical areas/shorelines when compatible Are there opportunities to revise critical areas ordinance(s) to permit specific LID BMP's where appropriate?	☐ Yes ☐ No X Does not apply	☐ Yes ☐ No ☐ See existing requirement			☐ Yes ☐ No If yes, include language : If no, explain why :	☐ Yes ☐ No If yes, list document title(s):
	Other						

Additional Notes: