

# DEVELOPMENT STANDARD ADVISORY COMMITTEE

Maureen Sheehan

City of Seattle

Major Institutions and School Coordinator

# OBJECTIVES

- Committee Members
- Purpose & Intent
- Schedule
- Roles & Responsibilities
- Evaluation Criteria
- Meeting Process
- Recommendations

# COMMITTEE MEMBERS

	NAME	CATEGORY
1	Tammi DeVore	Person residing within 600'
2	Sandra Harui	Person owning property or a business within 600'
3	Laura Cole Jackson	Representative of the general neighborhood
4	Mindy Black	Representative of the general neighborhood
5	Angie Kim	At large to represent citywide education issues
6	Kari Edmondson	Representatives of the PTSA
7	Mark Meuter	Representatives of the PTSA
8	Vincent Gonzales	Representative of Seattle Public Schools
Alt 1	Karen Lonergan	Representatives of the PTSA
Alt 2	Jason Robert	Person residing within 600'
Ex-Officio	Maureen Sheehan	City DON (Non-voting Chair)
Ex-Officio	Holly Godard	City Seattle Department of Construction & Inspections (Non-voting Member)

# PURPOSE & INTENT

- While most schools are located in single family zone neighborhoods, the land use code does not include a “school zone”
- Renovation and addition projects often times will not meet the Seattle Municipal Code (SMC) 23.51B development standards for schools. The school district may request a departure from the land use code per SMC 23.79.
- This committee is an opportunity for neighbors and the surrounding community to give the City feedback whether to allow departures.
- The committee can recommend to grant, grant with condition, or deny the requested departures.



# SCHEDULE

May 9, 2017 Committee Formed (90 day clock starts to conduct meetings)

June 6, 2017 - First Meeting

TBD – 2nd Meeting, if needed

TBD – 3rd Meeting, if needed (NLT August 7, 2017)

Recommendation report due to director of SDCI (drafted by DON, with the committee's final approval):

If 1 Meeting = July 6, 2017 (30 days after first meeting)

If 2-3 Meetings = September 4, 2017 (90 days after first meeting)

TBD, SDCI Director issues decision

# COMMITTEE ROLES & RESPONSIBILITIES

(SMC 23.79.008)

A. It shall conduct one or more public meetings within a ninety (90) day period from formation of the advisory committee. [May 9, 2017]

B. It shall gather and evaluate public comment.

C. It shall recommend the maximum departure which may be allowed for each development standard from which a departure has been requested. Minority reports shall be permitted. The advisory committee may not recommend that a standard be made more restrictive unless the restriction is necessary as a condition to mitigate the impacts of granting a development standard departure.

# EVALUATION CRITERIA - CONSISTENCY

(SMC 23.79.008)

Departures shall be evaluated for consistency with the general objectives and intent of the City's Land Use Code, including the rezone evaluation criteria in Chapter 23.34 of the Seattle Municipal Code, to ensure that the proposed facility is compatible with the character and use of its surroundings.

# EVALUATION CRITERIA - RELATIONSHIP

(SMC 23.79.008)

In reaching recommendations, the advisory committee shall consider and balance the interrelationships among the following factors:

**Relationship to Surrounding Areas.** The advisory committee shall evaluate the acceptable or necessary level of departure according to:

1. Appropriateness in relation to the character and scale of the surrounding area;
2. Presence of edges (significant setbacks, major arterials, topographic breaks, and similar features) which provide a transition in scale;
3. Location and design of structures to reduce the appearance of bulk;
4. Impacts on traffic, noise, circulation and parking in the area; and
5. Impacts on housing and open space. More flexibility in the development standards may be allowed if the impacts on the surrounding community are anticipated to be negligible or are reduced by mitigation; whereas, a minimal amount or no departure from development standards may be allowed if the anticipated impacts are significant and cannot be satisfactorily mitigated.

# EVALUATION CRITERIA - NEED

(SMC 23.79.008)

**Need for Departure.** The physical requirements of the specific proposal and the project's relationship to educational needs shall be balanced with the level of impacts on the surrounding area. Greater departure may be allowed for special facilities, such as a gymnasium, which are unique and/or an integral and necessary part of the educational process; whereas, a lesser or no departure may be granted for a facility which can be accommodated within the established development standards.

# MEETING PROCESS

- Robert's Rules of Order - DON Staff serves as non-voting Chair
- Presentations from School and SDOT (if necessary)
- Public Comment
- Committee Deliberation - reference criteria (SMC 23.79.008)
- Vote on each departure individually

# RECOMMENDATIONS

Recommendations must include consideration of the interrelationship among height, setback and landscaping standards when departures from height or setback are proposed.

QUESTIONS?





mahlum



# Departure Committee

Queen Anne Elementary School

06 June 2017





# Agenda

**Introductions**

**Purpose & Intent**

**Project Overview**

**Transportation Study**

**Departures Requested**

Lot Coverage

Off-site Parking

On-street Bus Loading

**Committee Clarifying Questions**

**Public Comment**

**Committee Recommendation**

# Introductions



# PURPOSE & INTENT

- While most schools are located in single family zone neighborhoods, the land use code does not include a “school zone”
- Renovation and addition projects often times will not meet the Seattle Municipal Code (SMC) 23.51B development standards for schools. The school district may request a departure from the land use code per SMC 23.79.
- This committee is an opportunity for neighbors and the surrounding community to give the City feedback whether to allow departures.
- The committee can recommend to grant, grant with condition, or deny the requested departures.

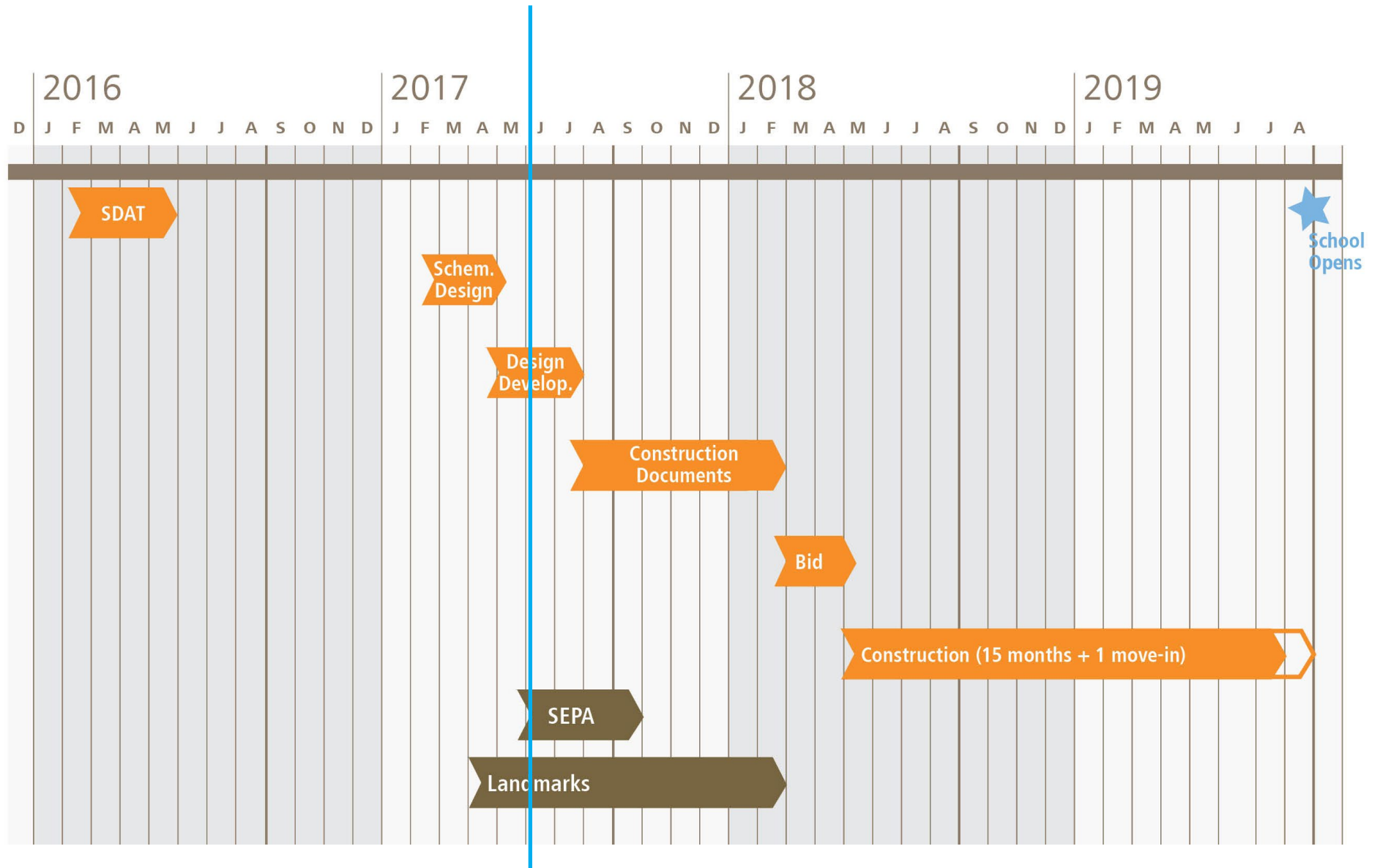
# Project Overview



## Project Overview

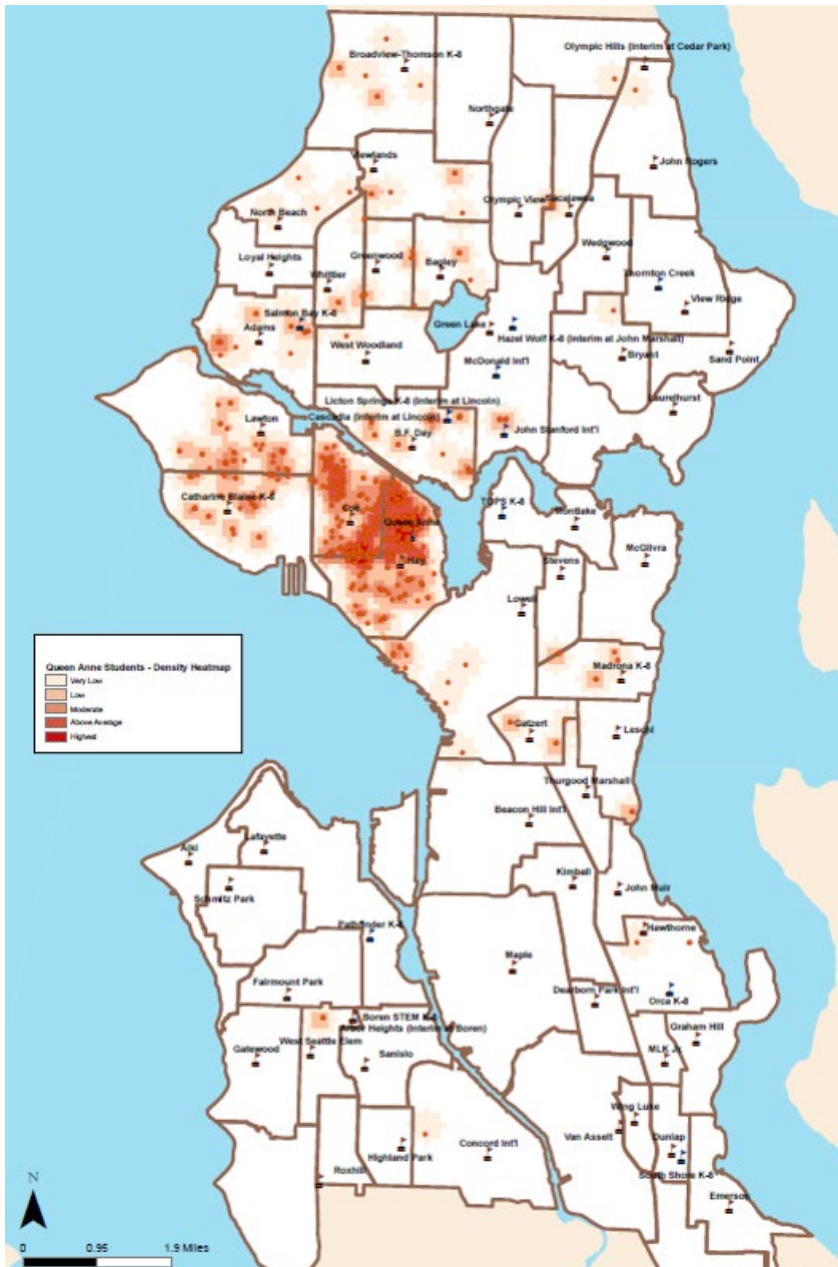
Queen Anne Elementary School has an existing enrollment of approximately 420 students. The proposed project includes building an addition with 8 classrooms of permanent capacity and a gymnasium to provide a total capacity of 500 students to address current and projected elementary growth in Queen Anne and downtown Seattle, and reduce overcrowding at elementary schools in the area.

# Schedule

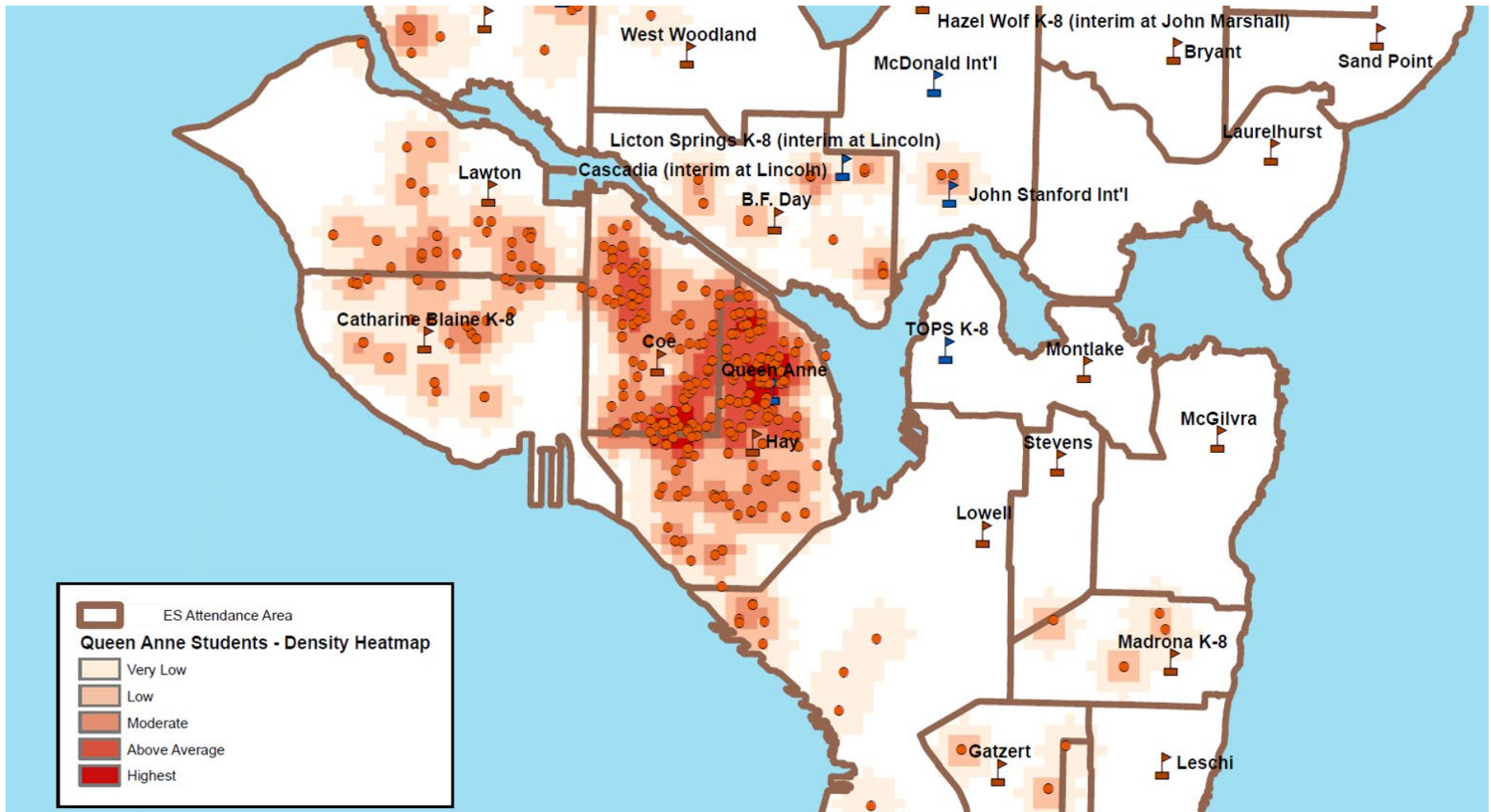




# Queen Anne Students - Density Heatmap



# Queen Anne Students - Density Heatmap







# Design Review Process - Agency

**Seattle  
Department of  
Construction and  
Inspections (SDCI)**

**Seattle  
Department of  
Transportation  
(SDOT)**

**School Traffic  
Safety Committee  
(STSC)**

**Department of  
Neighborhoods  
(DON)**

**Landmarks  
Preservation Board**

**King County -  
Public Health**

**Seattle Parks and  
Recreation**

**Seattle Public  
Utilities (SPU)**

**Seattle City Light  
(SCL)**

**Puget Sound  
Energy (PSE)**



# Design Review Process - District

**Teaching and Learning**

**Capital Projects**

**Operations**

**Maintenance**

**Legal**

**Risk Management**

**Self-Help**

**School Design Advisory Team (SDAT)**

**School Board**

**BEX Oversight Committee**

**Department of Technology Services (DoTs)**

**Transportation**





# School Design Advisory Team (SDAT)

**Janine Roy,**  
Principal

**Megan Palumbo,**  
Teacher

**Jenny Brailey,**  
Parent

**Ted Panton,**  
Parent

**Amy McCue Jessee,**  
Interim Principal

**Jeffrey Riley,**  
Teacher

**Elena Damm,**  
Parent

**Mark Stewart,**  
Parent

**Joe Bailey-Fogarty,**  
Teacher

**Jeff Rothenberg,**  
Teacher

**John Leary,**  
Parent

**Gloria Chambers,**  
Neighbor

**Julie Colando,**  
Teacher

**Rene Ward,**  
Teacher

**Jenny Lee,**  
Parent

**Patty Maxfield,**  
Neighbor

**Jana Hunter,**  
Teacher

**Nancy Buran,**  
Nutrition Services

**Mark Meuter,**  
Parent

**Geness Reichert,**  
Neighbor





# Master Plan Mission Statements

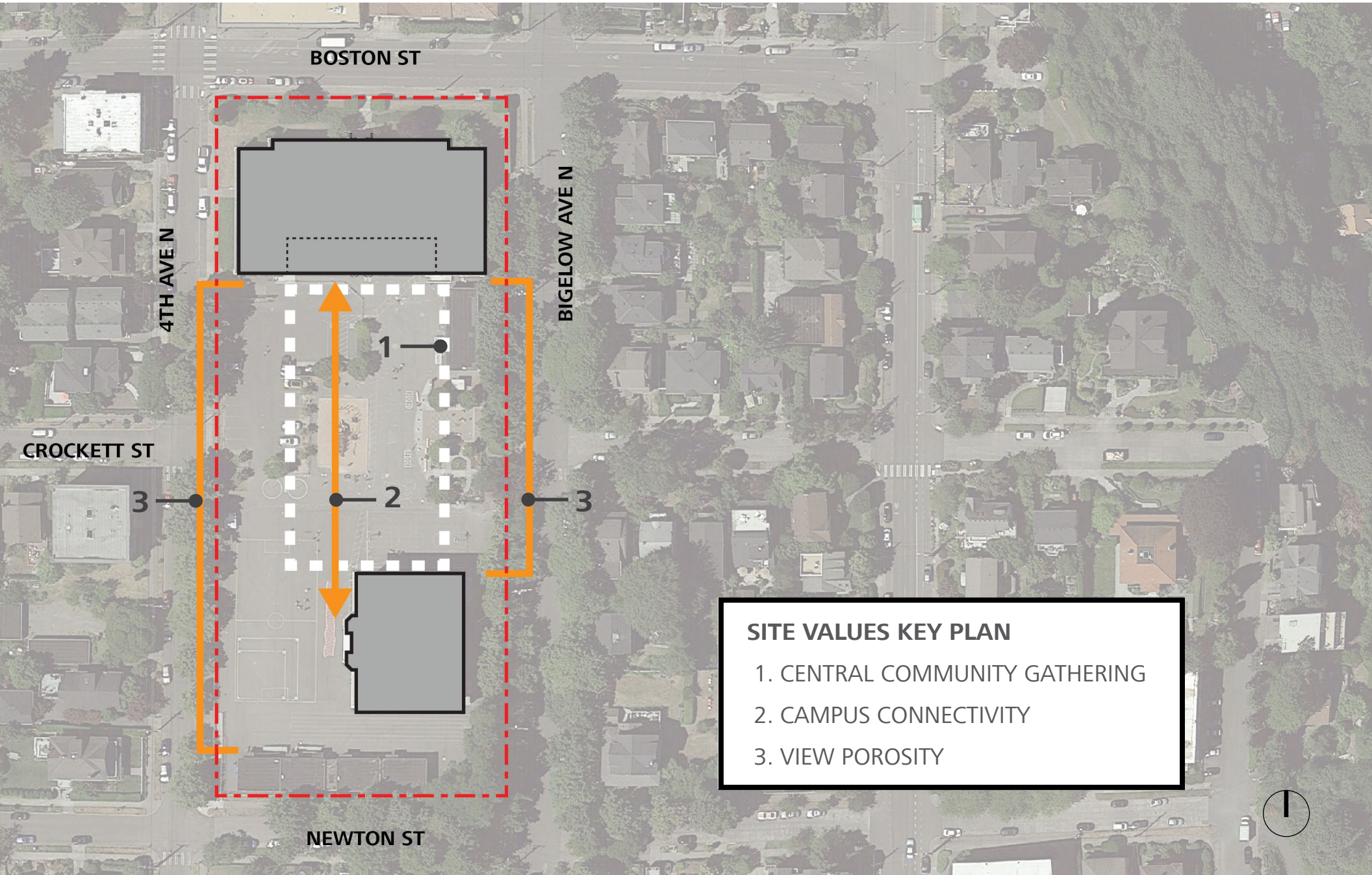
The new QAE encourages children's love of learning and social emotional development. It will place our most treasured group spaces - gym, dining, and library - at the heart of our campus, and encourage exploration, sharing and learning everywhere, inside and out, to maximize all students' potential.

Creating a space where all students have a sense of belonging and where learning and collaboration happen everywhere.

Come see the future of 21st century learning! This campus will "wow" you with all of the creative spaces for digital citizenry, project-based and S/E learning. From the soft outdoor play spaces to the hands-on, adaptable classrooms; all students feel they belong here. We invite you to gather with us, learn with us and play with us!



# Site Values



BOSTON ST

4TH AVE N

BIGELOW AVE N

CROCKETT ST

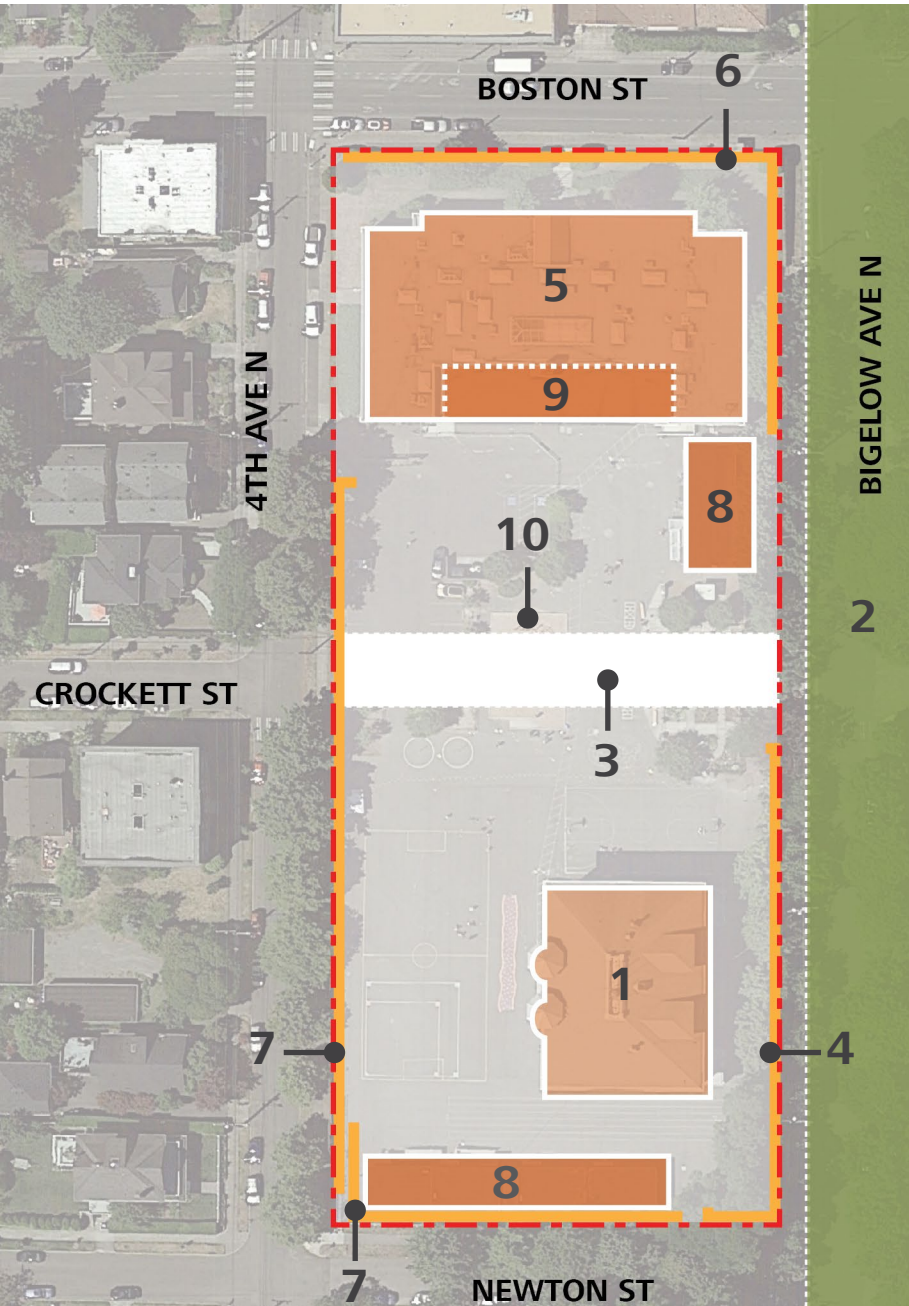
NEWTON ST

## SITE VALUES KEY PLAN

1. CENTRAL COMMUNITY GATHERING
2. CAMPUS CONNECTIVITY
3. VIEW POROSITY



# Site History & Designated Features



## SITE HISTORY KEY PLAN

1. 1905 WOOD BUILDING
2. 1916 QUEEN ANNE BOULEVARD [BIGELOW AVE N]
3. 1921 CROCKETT ST VACATED
4. 1921 RETAINING WALL
5. 1922 BRICK BUILDING
6. 1926 RETAINING WALL
7. 1953 RETAINING WALL
8. 1966 PORTABLES
9. 2010 MODIFIED COVERED PLAY
10. 2010 PLAY AREA

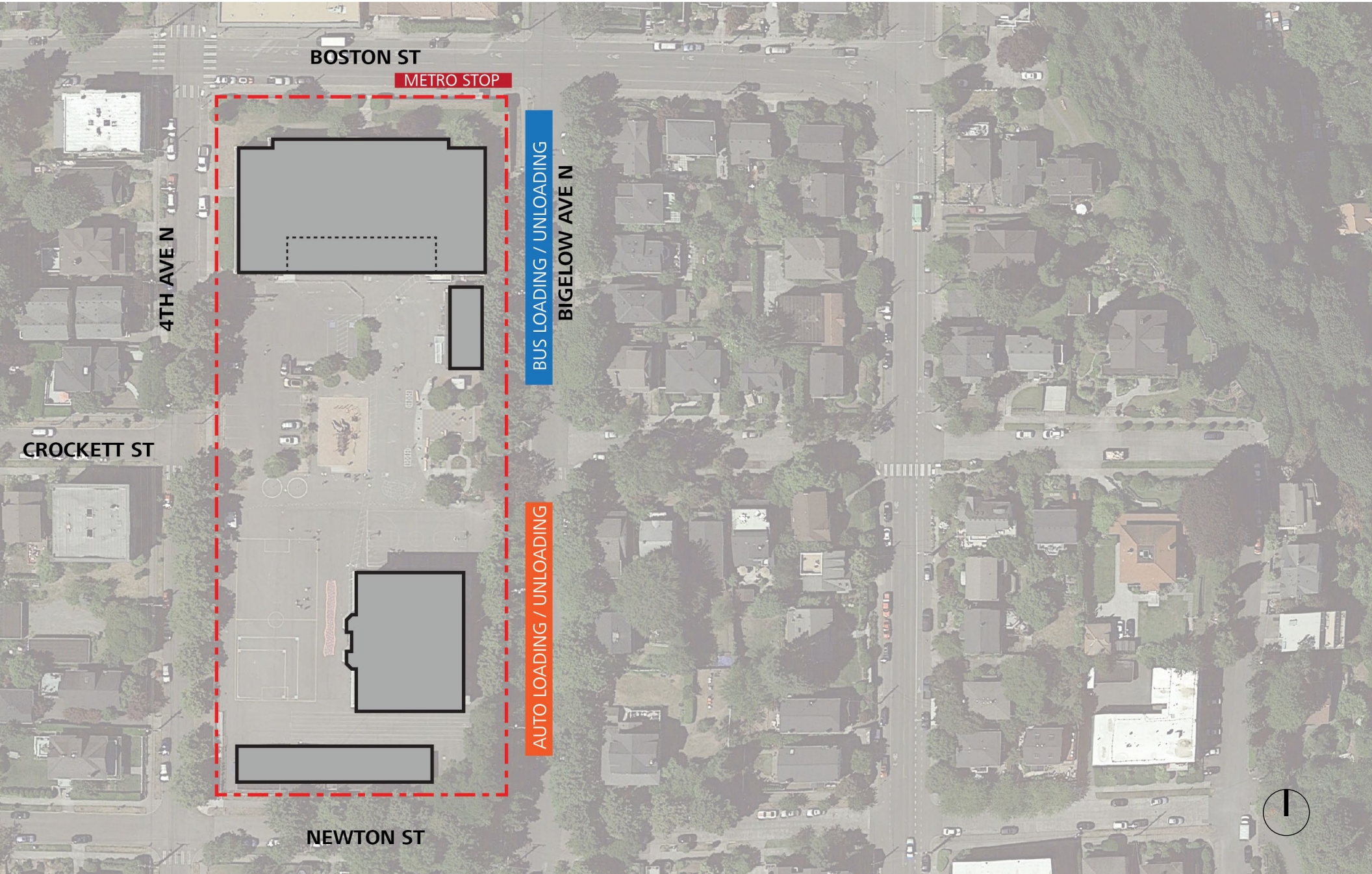
## DESIGNATED FEATURES

- SITE
- EXTERIOR OF 1905 WOOD BUILDING
- ENTRY STAIRCASE OF 1905 WOOD BUILDING
- QUEEN ANNE BOULEVARD [BIGELOW AVE N]





# Existing Site Plan



BOSTON ST

METRO STOP

4TH AVE N

CROCKETT ST

NEWTON ST

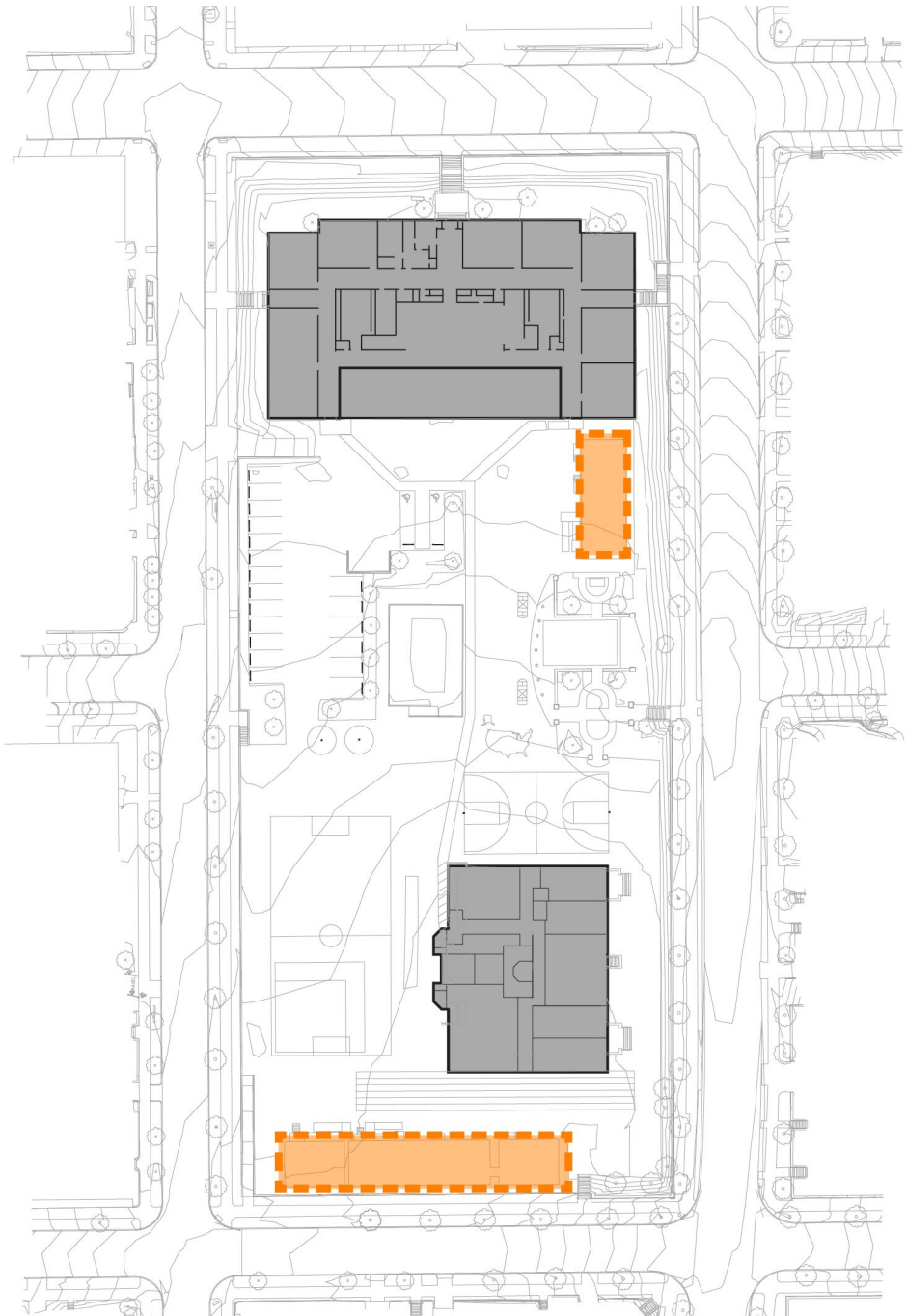
BUS LOADING / UNLOADING

BIGELOW AVE N

AUTO LOADING / UNLOADING



# Existing Floor Plan + Demolition

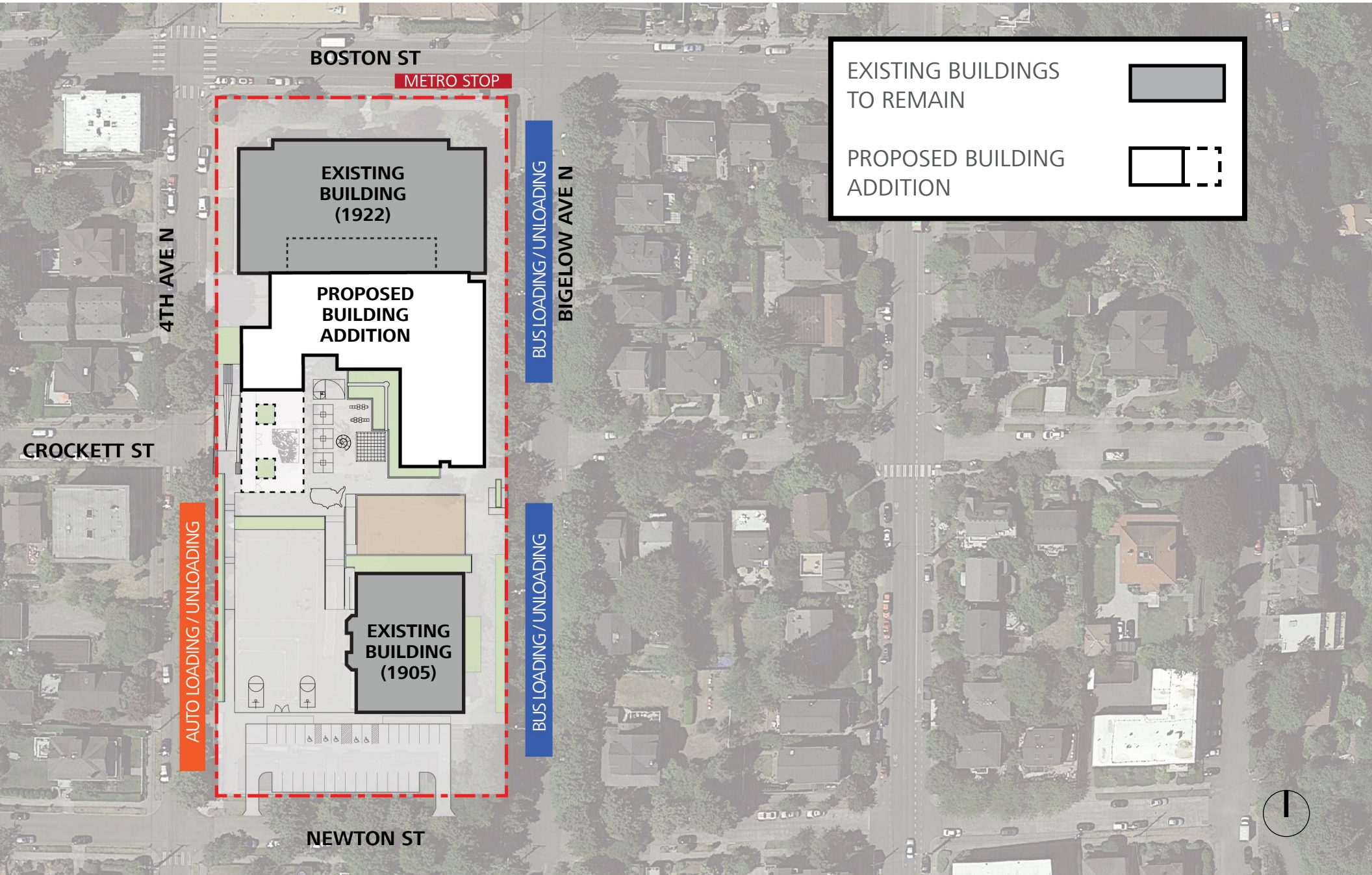


EXISTING BUILDINGS TO REMAIN	
EXISTING PORTABLES TO BE DEMOLISHED	

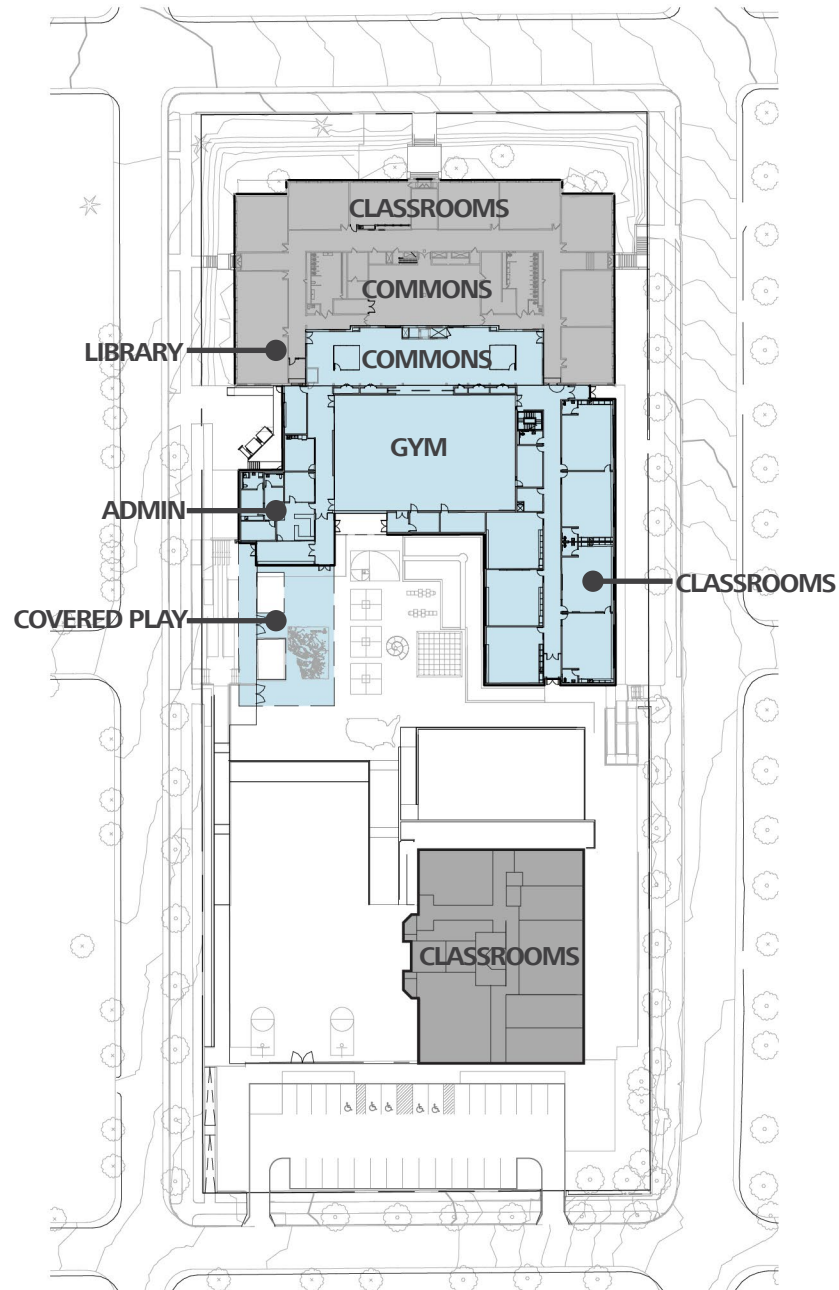




# Proposed Site Plan



# Proposed Floor Plan



EXISTING BUILDINGS  
TO REMAIN



PROPOSED BUILDING  
ADDITION

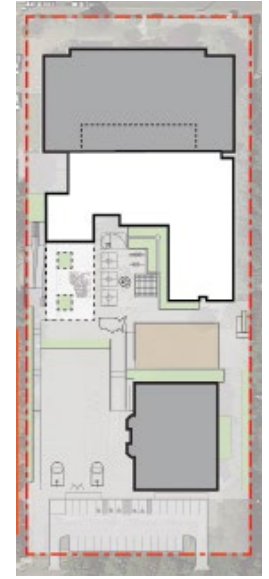




# Existing Site Entry 4th Ave N at Crockett St



# Proposed Site Entry 4th Ave N at Crockett St

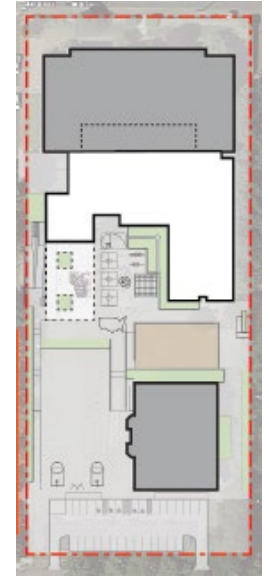




# Existing NE Corner View from Boston St looking SW



# Proposed NE Corner View from Boston St looking SW

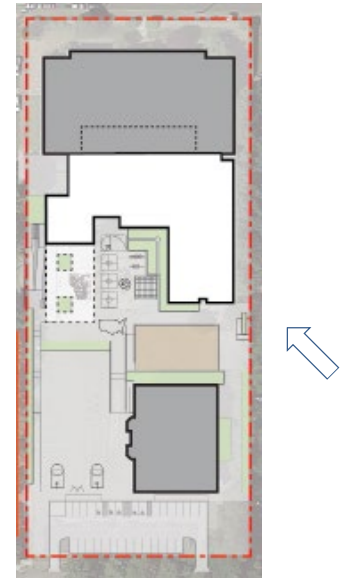




# Existing Site Entry Bigelow Ave N at Crockett St



# Proposed Site Entry Bigelow Ave N at Crockett St



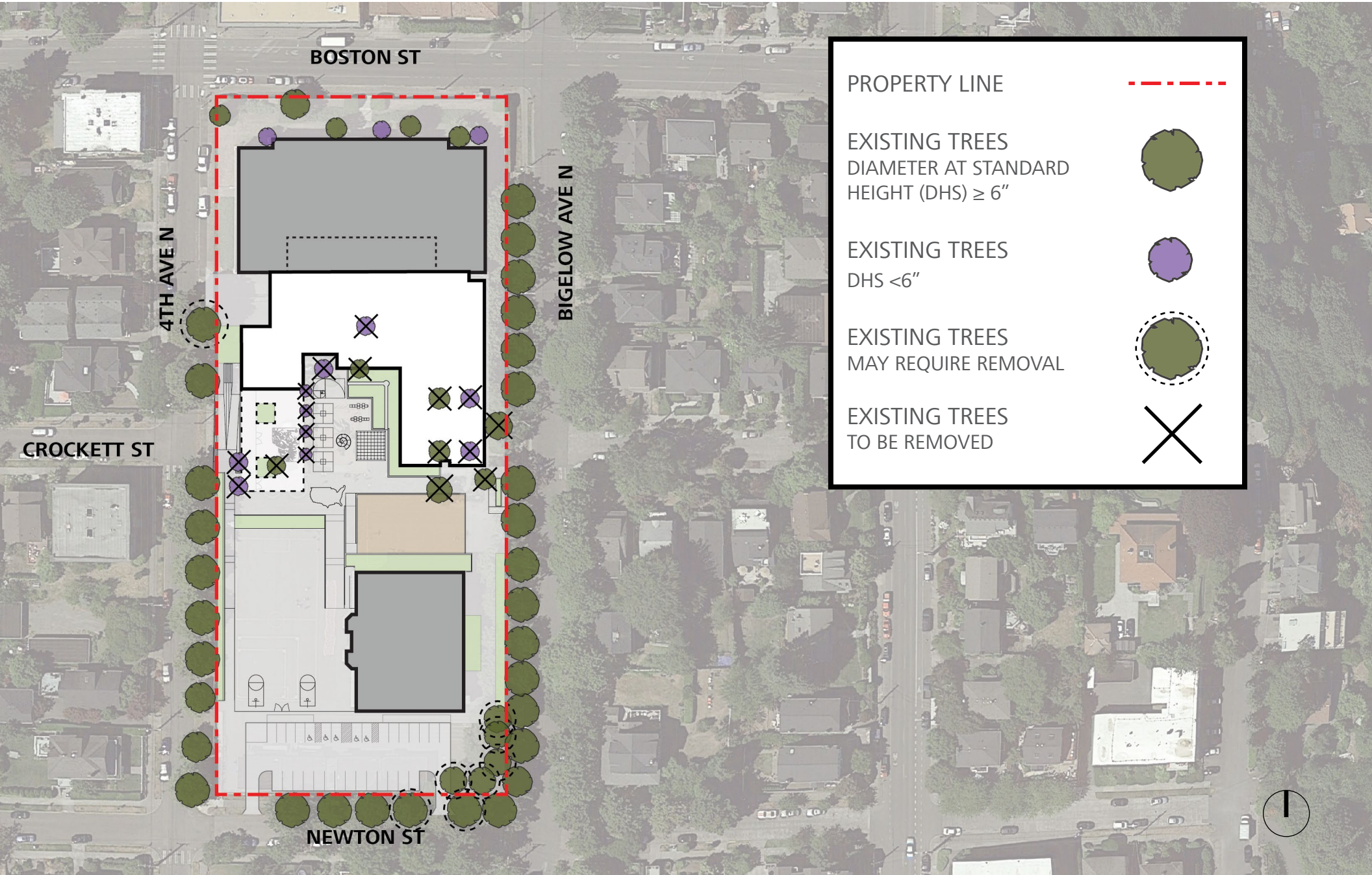


# Existing Tree Plan





# Tree Removal Plan



BOSTON ST

4TH AVE N

CROCKETT ST

NEWTON ST

BIGELOW AVE N

PROPERTY LINE



EXISTING TREES  
DIAMETER AT STANDARD  
HEIGHT (DHS)  $\geq 6''$



EXISTING TREES  
DHS  $< 6''$



EXISTING TREES  
MAY REQUIRE REMOVAL

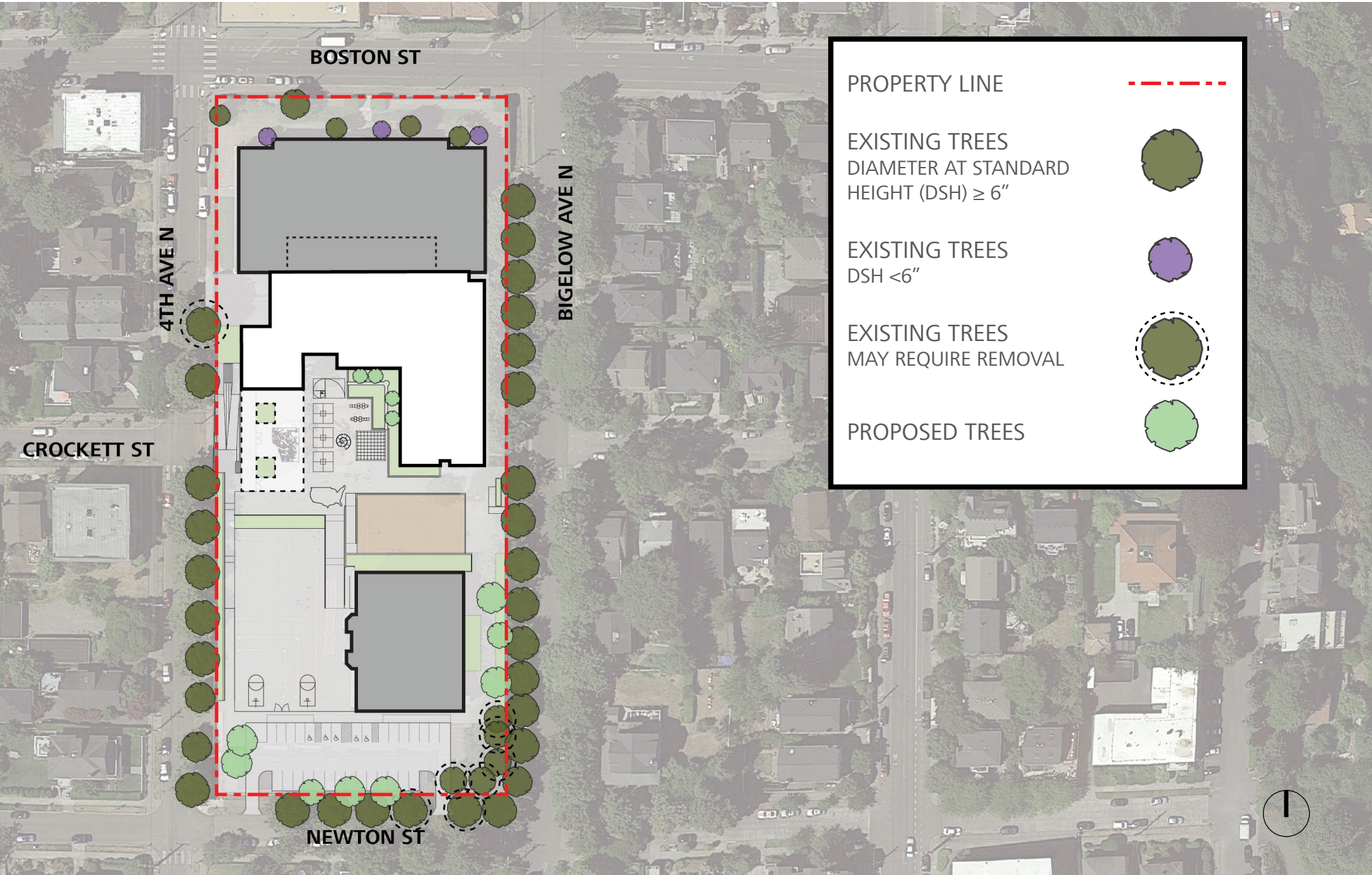







EXISTING TREES  
TO BE REMOVED





# Existing + Proposed Tree Plan

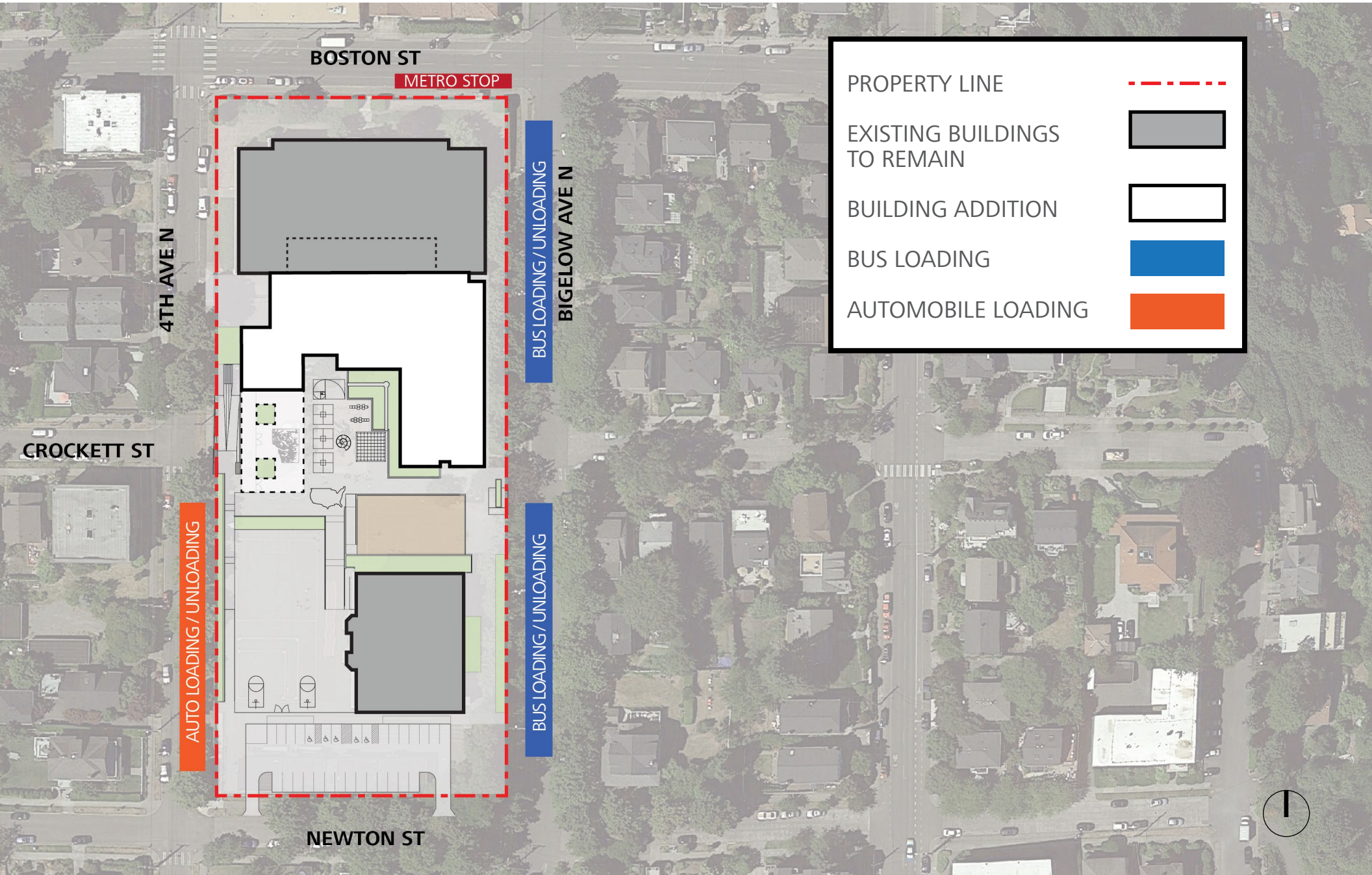


PROPERTY LINE	
EXISTING TREES DIAMETER AT STANDARD HEIGHT (DSH) $\geq 6''$	
EXISTING TREES DSH $< 6''$	
EXISTING TREES MAY REQUIRE REMOVAL	
PROPOSED TREES	

# Transportation Study



# Site Plan & Access



# Elements Evaluated in Transportation Study

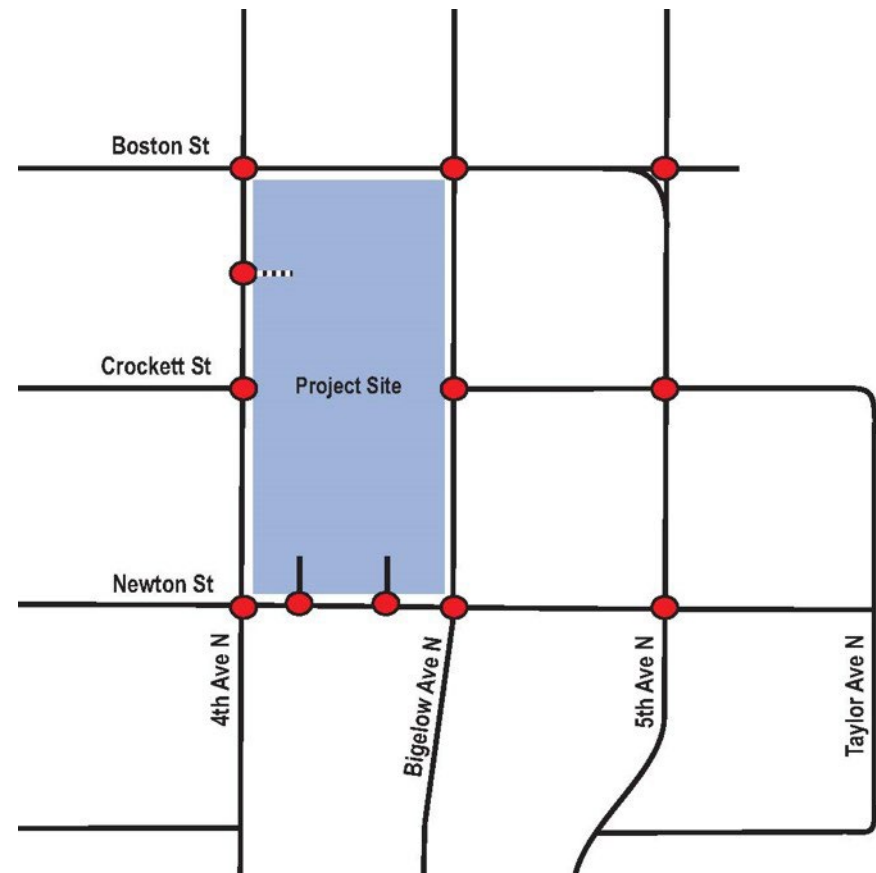
- Net increase in school trips due to proposal
- Traffic operations and safety at nine off-site intersections
- Site access changes
- On-street bus load/unload, circulation, and alternatives to Bigelow Avenue N
- Pedestrian and bicycle activity
- On-street parking impacts of added enrollment for school-day and occasional evening events
- Construction traffic
- Mitigation



# Transportation Study

## Analysis Findings:

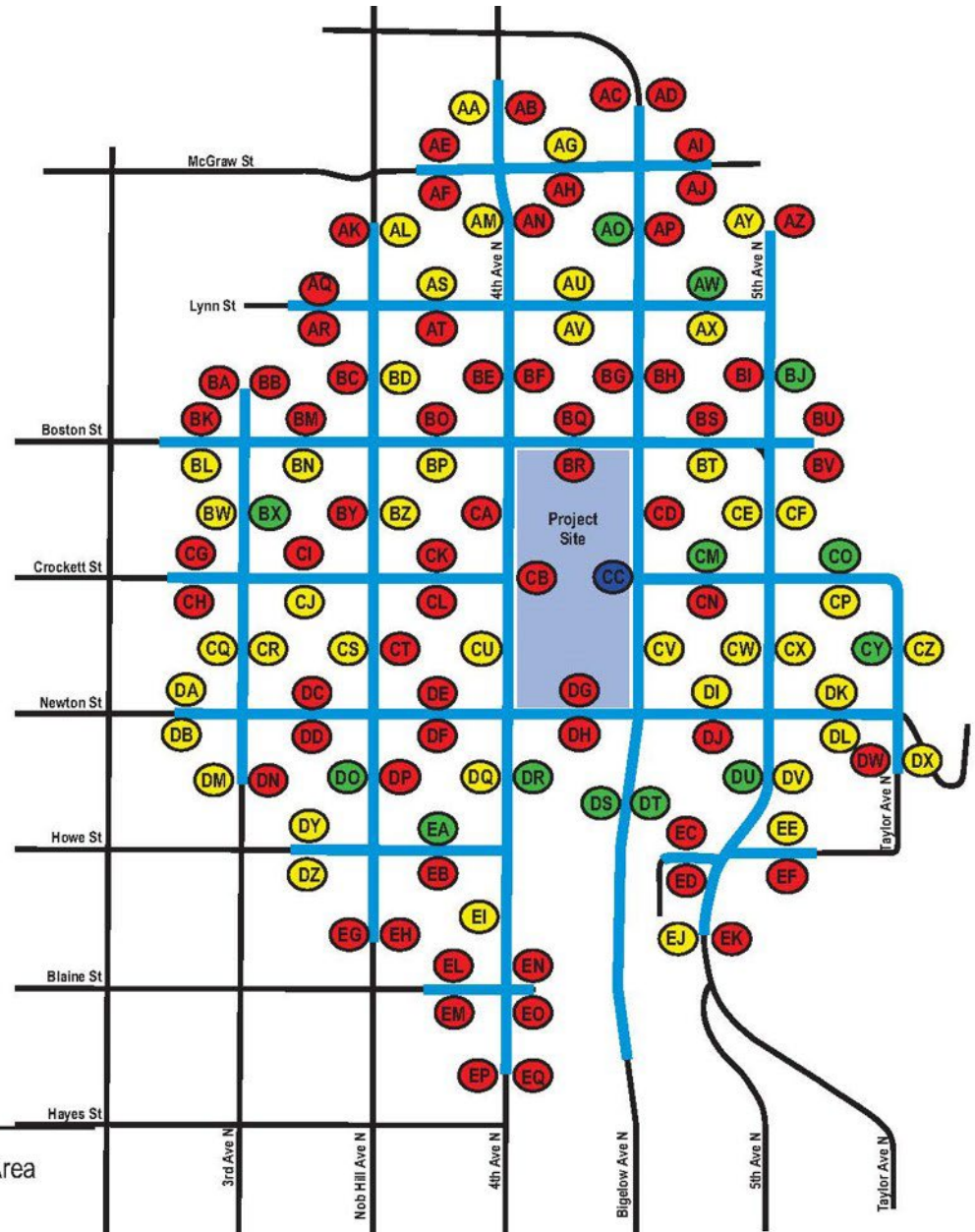
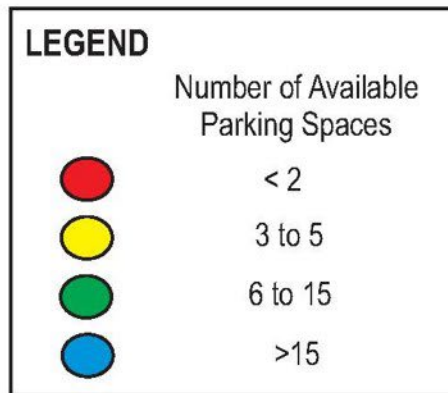
- **Trip Generation** – Increase of about 80 students estimated to generate net increases of 54 trips (28 in, 26 out) during the morning peak hour and 53 trips (25 in, 28 out) during the afternoon peak hour.
- **Traffic Operations** – Limited impacts with small changes in delays (less than 2 seconds) in the morning before school and in the afternoon when school is dismissed.
- **School bus load/unload** – Bigelow Avenue N is best suited to accommodate.
- **School Day Parking** – Demand increase of 12 or fewer vehicles on-street. Measured ~240 unused spaces (800 feet); can accommodate.
- **Evening Event Parking** – Large events (~one per month or less). Largest is accommodated (84%), but noticeable & full nearby. Added enrollment may increase event-related demand; but, can be accommodated on-street.



# On-Street Parking Availability - Weekday Midday

Total On-Street Parking Spaces within 800-ft walking distance = 711 Spaces

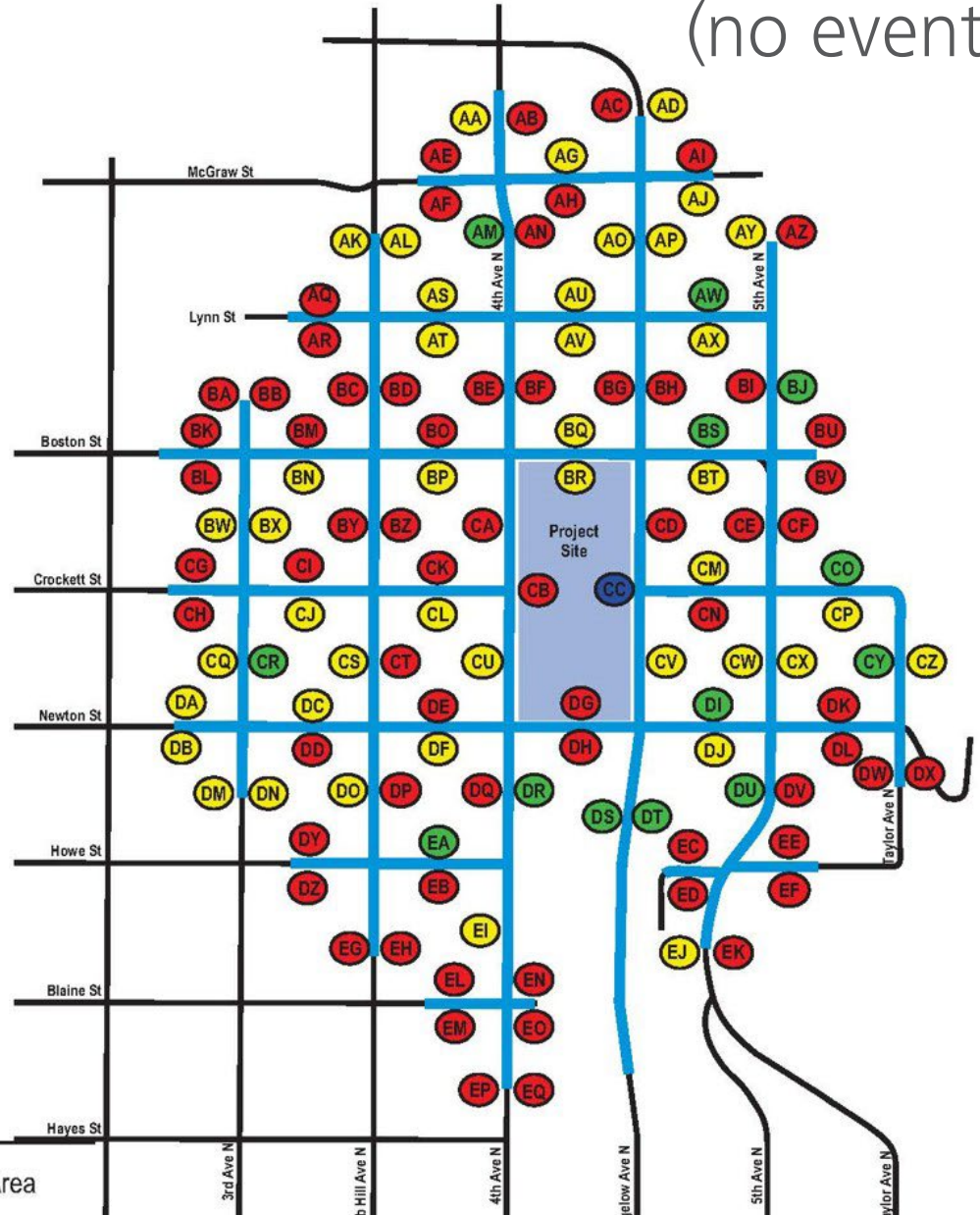
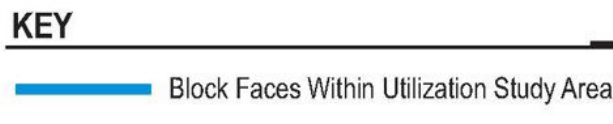
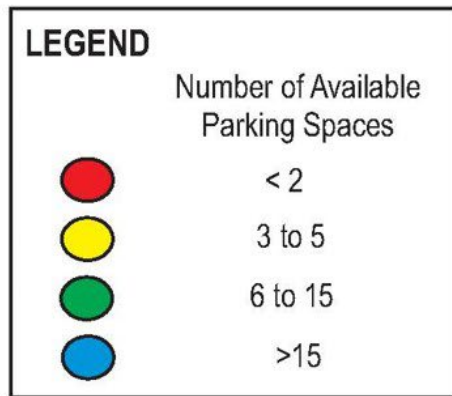
Number Available = 340 to 360 (between 10:30 and 11:00 a.m.)



# On-Street Parking Availability - Weekday Evening (no event)

Total On-Street Parking Spaces within 800-ft walking distance = 711 Spaces

Number Available = 300 to 325 (between 7:00 and 8:00 p.m.)



# Traffic and Parking Mitigation Recommendations:

## A. Develop a Transportation Management Plan (TMP) :

- Educate parents about desired access & load/unload protocols
- Encourage bus ridership, carpooling, and supervised walking to school (such as walking school buses)

## B. Work with SDOT and Seattle Parks & Recreation to establish locations, extent, & signage for:

- Family vehicle load/unload zones
- School-bus load/unload zones

## C. Construction Transportation Management Plan

- Define truck routes, lane closures, walkway closures, and parking disruptions
- Direct trucks along shortest route to arterials
- Measures to keep adjacent streets clean
- Identify parking locations for the construction staff

# Departures Requested:

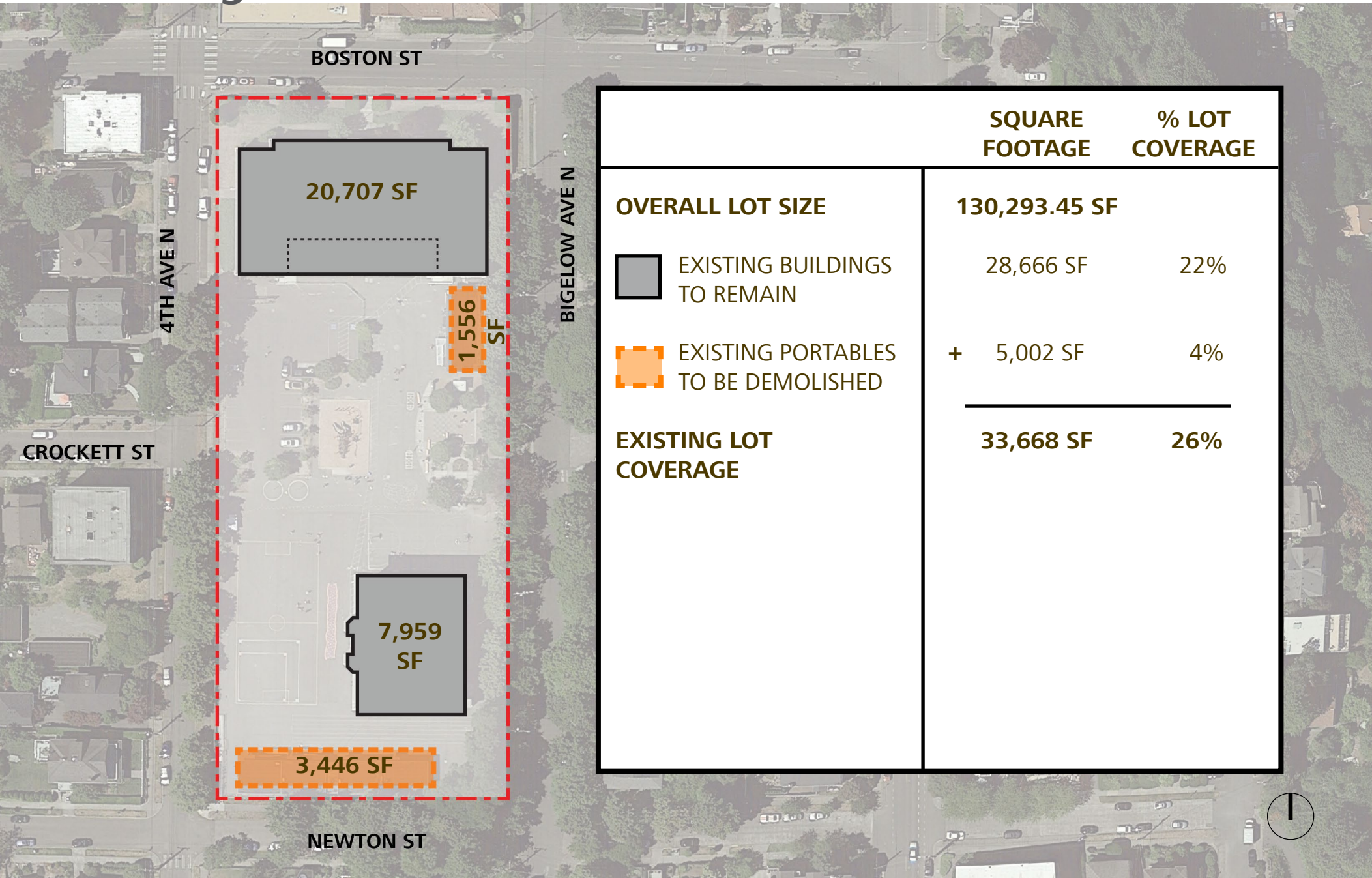
Lot Coverage

Off-street Parking

On-street Bus Loading

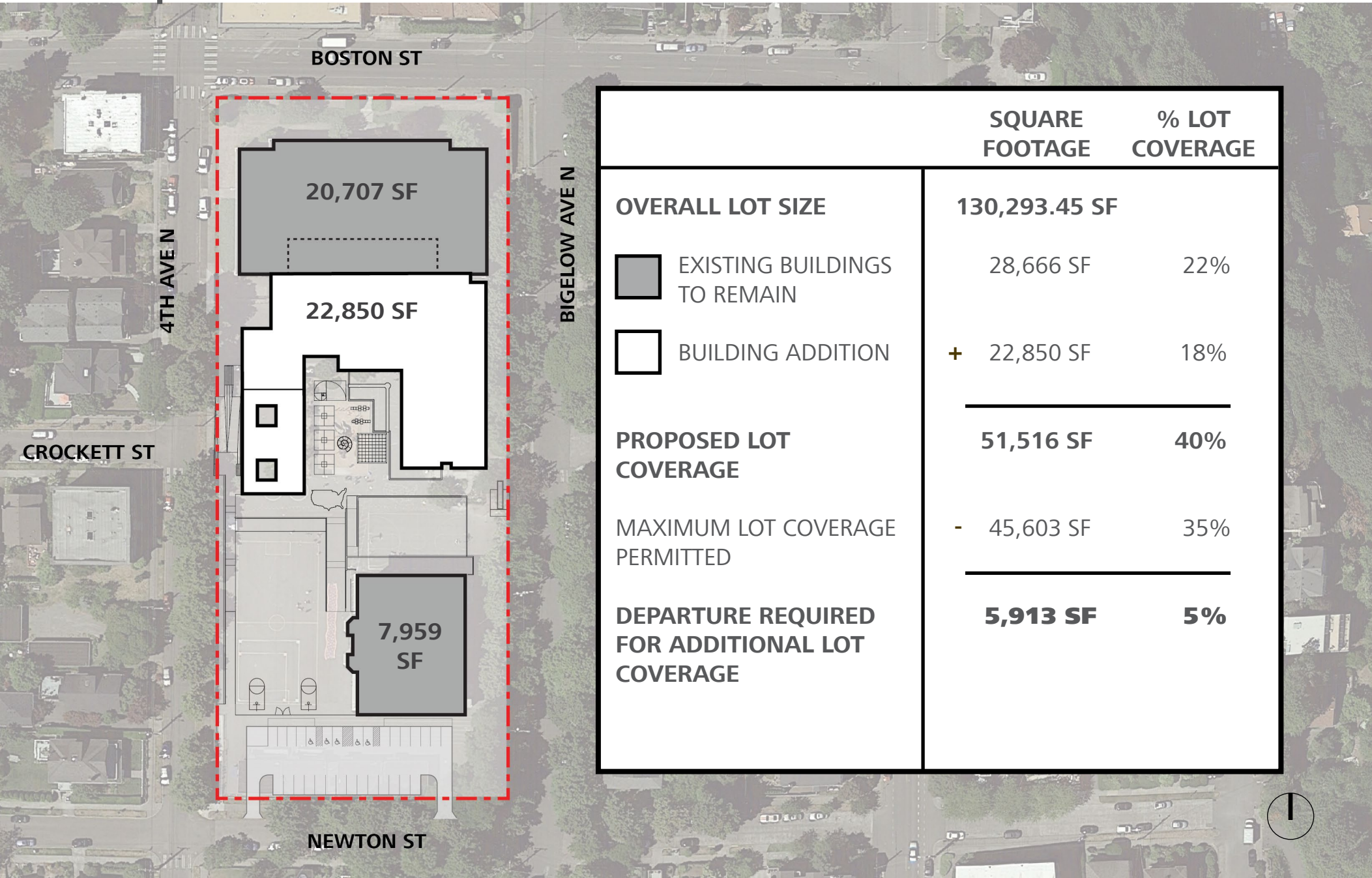


# Departure Requested: Lot Coverage, Public Schools Existing





# Departure Requested: Lot Coverage, Public Schools Proposed



	SQUARE FOOTAGE	% LOT COVERAGE
<b>OVERALL LOT SIZE</b>	<b>130,293.45 SF</b>	
<div style="display: flex; align-items: center;"> <div style="width: 20px; height: 20px; background-color: #808080; margin-right: 5px;"></div> <div>EXISTING BUILDINGS TO REMAIN</div> </div>	28,666 SF	22%
<div style="display: flex; align-items: center;"> <div style="width: 20px; height: 20px; border: 1px solid black; margin-right: 5px;"></div> <div>BUILDING ADDITION</div> </div>	+ 22,850 SF	18%
<b>PROPOSED LOT COVERAGE</b>	<b>51,516 SF</b>	<b>40%</b>
MAXIMUM LOT COVERAGE PERMITTED	- 45,603 SF	35%
<b>DEPARTURE REQUIRED FOR ADDITIONAL LOT COVERAGE</b>	<b>5,913 SF</b>	<b>5%</b>



# Departure Requested: Lot Coverage, Public Schools

## LOT COVERAGE

### SMC 23.51B.002 - PUBLIC SCHOOLS IN RESIDENTIAL ZONES

#### SMC 23.51B.002.C - LOT COVERAGE IN SINGLE FAMILY ZONES

1. FOR NEW PUBLIC SCHOOL CONSTRUCTION ON NEW PUBLIC SCHOOL SITES THE **MAXIMUM LOT COVERAGE PERMITTED FOR ALL STRUCTURES IS** 45 PERCENT OF THE LOT AREA FOR ONE STORY STRUCTURES OR **35 PERCENT OF THE LOT AREA IF ANY STRUCTURE OR PORTION OF A STRUCTURE HAS MORE THAN ONE STORY.**

3. **DEPARTURES FROM LOT COVERAGE LIMITS MAY BE GRANTED** OR REQUIRED PURSUANT TO THE PROCEDURES AND CRITERIA SET FORTH IN CHAPTER 23.79. UP TO 55 PERCENT LOT COVERAGE MAY BE ALLOWED FOR SINGLE-STORY STRUCTURES, AND **UP TO 45 PERCENT LOT COVERAGE FOR STRUCTURES OF MORE THAN ONE STORY.** LOT COVERAGE RESTRICTIONS MAY BE WAIVED BY THE DIRECTOR AS A TYPE I DECISION WHEN WAIVER WOULD CONTRIBUTE TO REDUCED DEMOLITION OF RESIDENTIAL STRUCTURES. ALL BUILDINGS, INCLUDING ACCESSORY BUILDINGS, SHALL NOT COVER MORE THAN 35 PERCENT OF THE AREA OF THE LOT.

## DEPARTURE REQUESTED LOT COVERAGE

MAXIMUM LOT COVERAGE PERMITTED:	35% (45,603 SF / 130,293.45 SF)
PROPOSED LOT COVERAGE:	40% (51,516 SF / 130,293.45 SF)

DEPARTURE REQUESTED *FOR ADDITIONAL 5% LOT COVERAGE*



# Departure Requested: Parking Requirements Existing



BOSTON ST

4TH AVE N

BIGELOW AVE N

CROCKETT ST

NEWTON ST

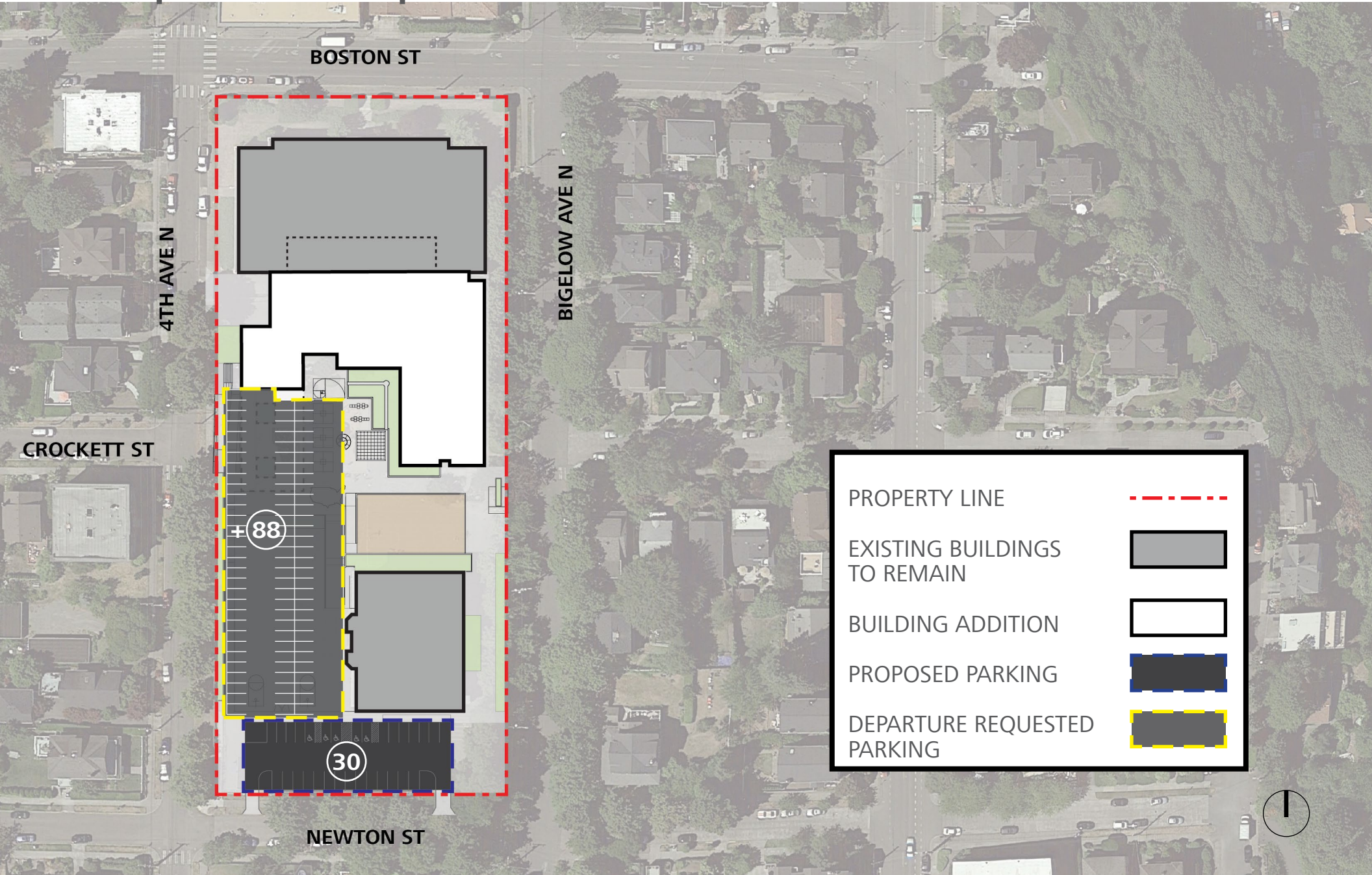
22

PROPERTY LINE	
EXISTING BUILDINGS	
EXISTING PARKING	





# Departure Requested: Parking Requirements Proposed + Departure



BOSTON ST

4TH AVE N






BIGELOW AVE N

CROCKETT ST

88

30

NEWTON ST

PROPERTY LINE	
EXISTING BUILDINGS TO REMAIN	
BUILDING ADDITION	
PROPOSED PARKING	
DEPARTURE REQUESTED PARKING	



# Departure Requested: Parking Requirements

## **PARKING REQUIREMENTS**

**SMC 23.54 QUANTITY AND DESIGN STANDARDS FOR ACCESS,  
OFF-STREET PARKING, AND SOLID WASTE STORAGE**

## **REQUIRED PARKING STALLS**

**SMC 23.54.015 REQUIRED PARKING  
Table C – PARKING FOR PUBLIC USES AND INSTITUTIONS  
Row N – SCHOOLS, PUBLIC ELEMENTARY AND SECONDARY**

1 SPACE FOR EACH 80 SQUARE FEET OF ALL AUDITORIA OR PUBLIC ASSEMBLY ROOMS FOR NEW PUBLIC SCHOOLS ON A NEW OR EXISTING PUBLIC SCHOOL SITE.

Footnote (7): WHEN AN EXISTING PUBLIC SCHOOL ON AN EXISTING PUBLIC SCHOOL SITE IS REMODELED, ADDITIONAL PARKING IS REQUIRED IF ANY AUDITORIUM OR OTHER PLACE OF ASSEMBLY IS EXPANDED OR ADDITIONAL FIXED SEATS ARE ADDED. ADDITIONAL PARKING IS REQUIRED AS SHOWN ON TABLE C FOR 23.54.015 FOR THE INCREASE IN FLOOR AREA.



# Departure Requested: Parking Requirements

**PARKING REQUIREMENTS**                      **SMC 23.54 QUANTITY AND DESIGN STANDARDS FOR ACCESS, OFF-STREET PARKING, AND SOLID WASTE STORAGE**

**REQUIRED PARKING STALLS**                      **SMC 23.54.015 REQUIRED PARKING  
Table C – PARKING FOR PUBLIC USES AND INSTITUTIONS  
Row N – SCHOOLS, PUBLIC ELEMENTARY AND SECONDARY**

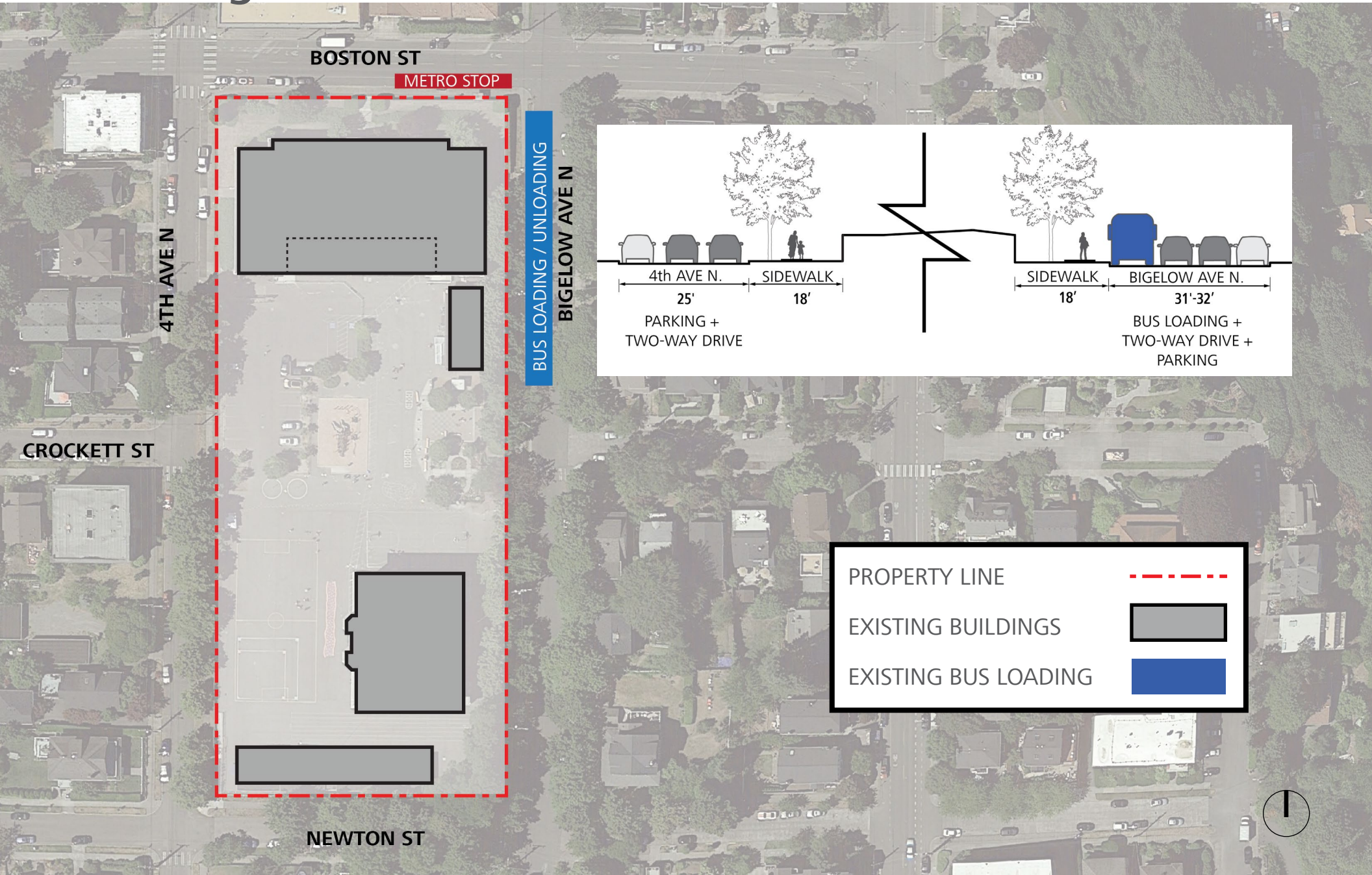
<b>PARKING CALCULATION</b>	AREA OF EXISTING COMMONS	1,838 SF / 80 SF	=	22.97 SPACES
	AREA OF EXPANDED COMMONS	1,865 SF / 80 SF	=	23.31 SPACES
	AREA OF GYM	5,664 SF / 80 SF	=	70.80 SPACES
<b>PARKING REQUIRED</b>				<b>117.08 SPACES ~ 118 SPACES</b>

<b>PARKING PROVIDED OFF-STREET</b>	ADA STALLS	(8' x 19')		5 SPACES
	MEDIUM STALLS	(8' x 16')		25 SPACES
	<b>TOTAL</b>			<b>30 SPACES</b>

<b>DEPARTURE REQUESTED PARKING</b>	TOTAL PARKING REQUIRED			118 SPACES
	PARKING PROVIDED			- 30 SPACES
	<b>DEPARTURE REQUEST</b>			<b>88 SPACES</b>

**DEPARTURE REQUESTED FOR 88 PARKING SPACES**

# Departure Requested: Bus Loading & Unloading Existing



BOSTON ST

METRO STOP

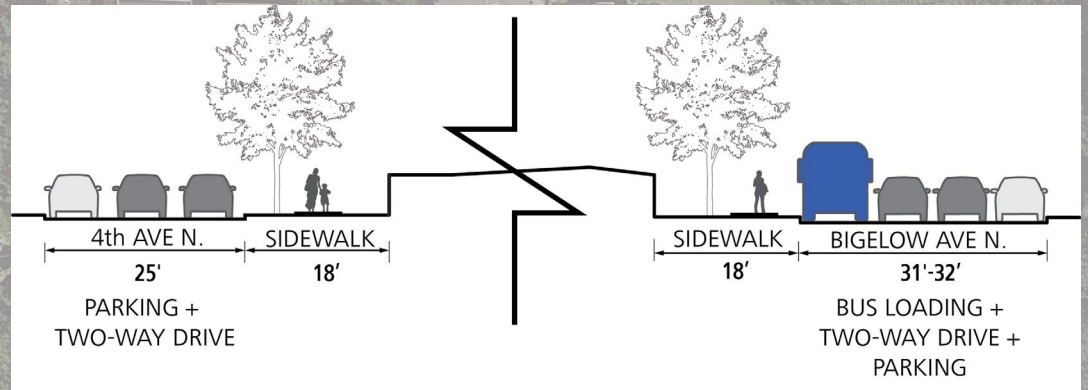
4TH AVE N

CROCKETT ST

NEWTON ST

BUS LOADING / UNLOADING

BIGELOW AVE N

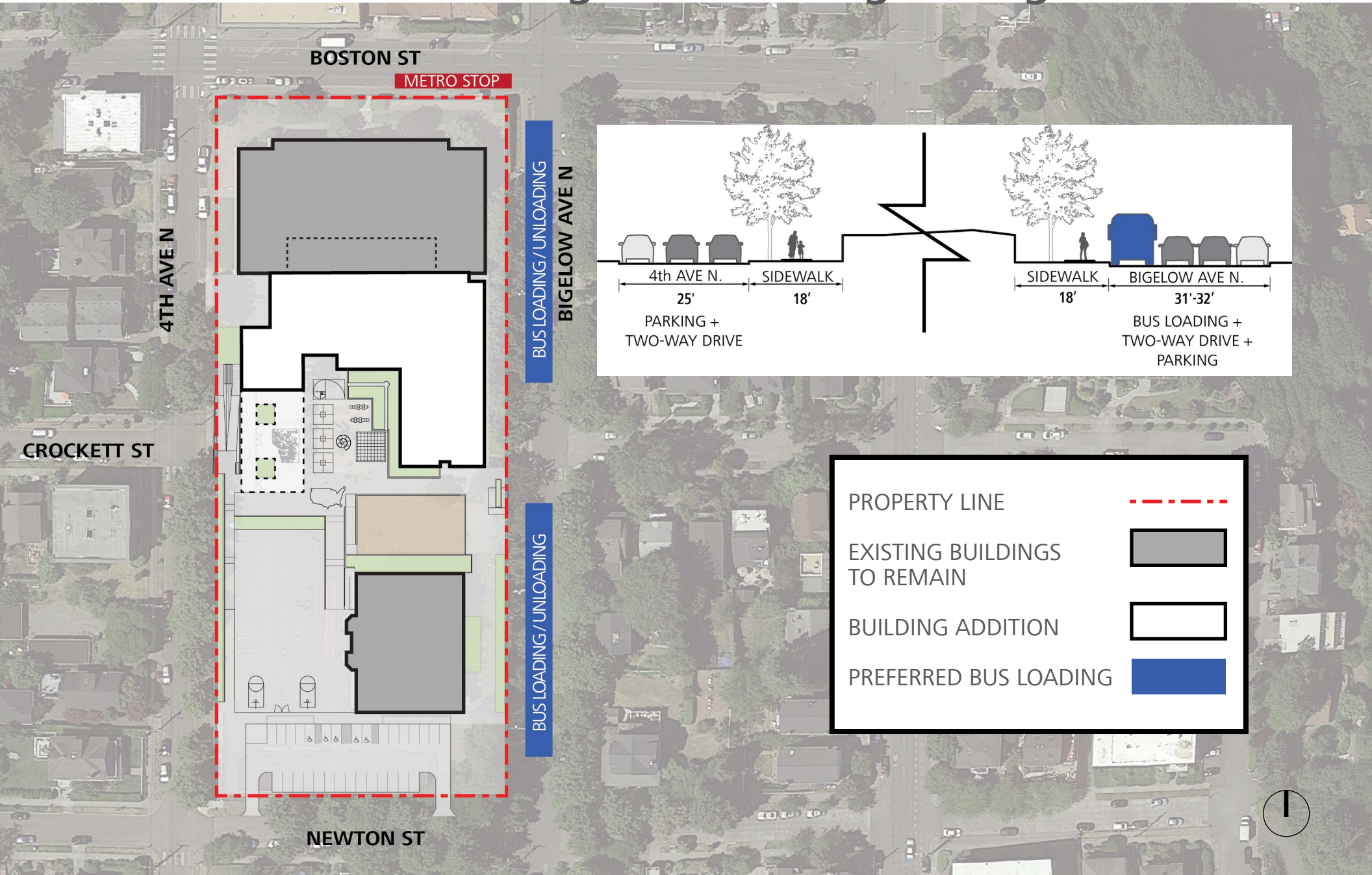


PROPERTY LINE	
EXISTING BUILDINGS	
EXISTING BUS LOADING	





# Departure Requested: Bus Loading & Unloading Preferred: Bus Loading & Unloading on Bigelow Ave N.



BOSTON ST

METRO STOP

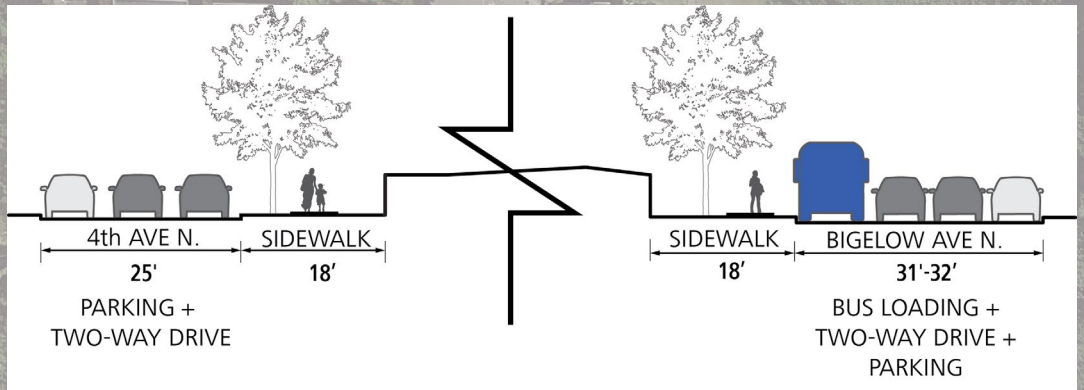
4TH AVE N





CROCKETT ST

NEWTON ST

BUS LOADING/UNLOADING  
BIGELOW AVE N

BUS LOADING/UNLOADING  
BIGELOW AVE N



PROPERTY LINE	
EXISTING BUILDINGS TO REMAIN	
BUILDING ADDITION	
PREFERRED BUS LOADING	





# Departure Requested: Bus Loading & Unloading Preferred: Bus Loading & Unloading on Bigelow Ave N.

## BUS LOADING REQUIREMENTS

### SMC 23.51B - PUBLIC SCHOOLS IN RESIDENTIAL ZONES

#### SMC 23.51B.002.I - BUS AND TRUCK LOADING & UNLOADING

## BUS LOADING LOCATION

4. WHEN A PUBLIC SCHOOL IS REMODELED OR REBUILT AT THE SAME SITE, AN EXISTING ON-STREET BUS LOADING AREA IS ALLOWED IF THE FOLLOWING CONDITIONS ARE MET:

- a. THE SCHOOL SITE IS NOT PROPOSED TO BE EXPANDED;
- b. THE STUDENT CAPACITY OF THE SCHOOL IS NOT BEING EXPANDED BY MORE THAN 25 PERCENT; AND
- c. THE LOCATION OF THE CURRENT ON-STREET BUS LOADING REMAINS THE SAME.

## DEPARTURE REQUESTED BUS LOADING & UNLOADING PREFERRED STRATEGY

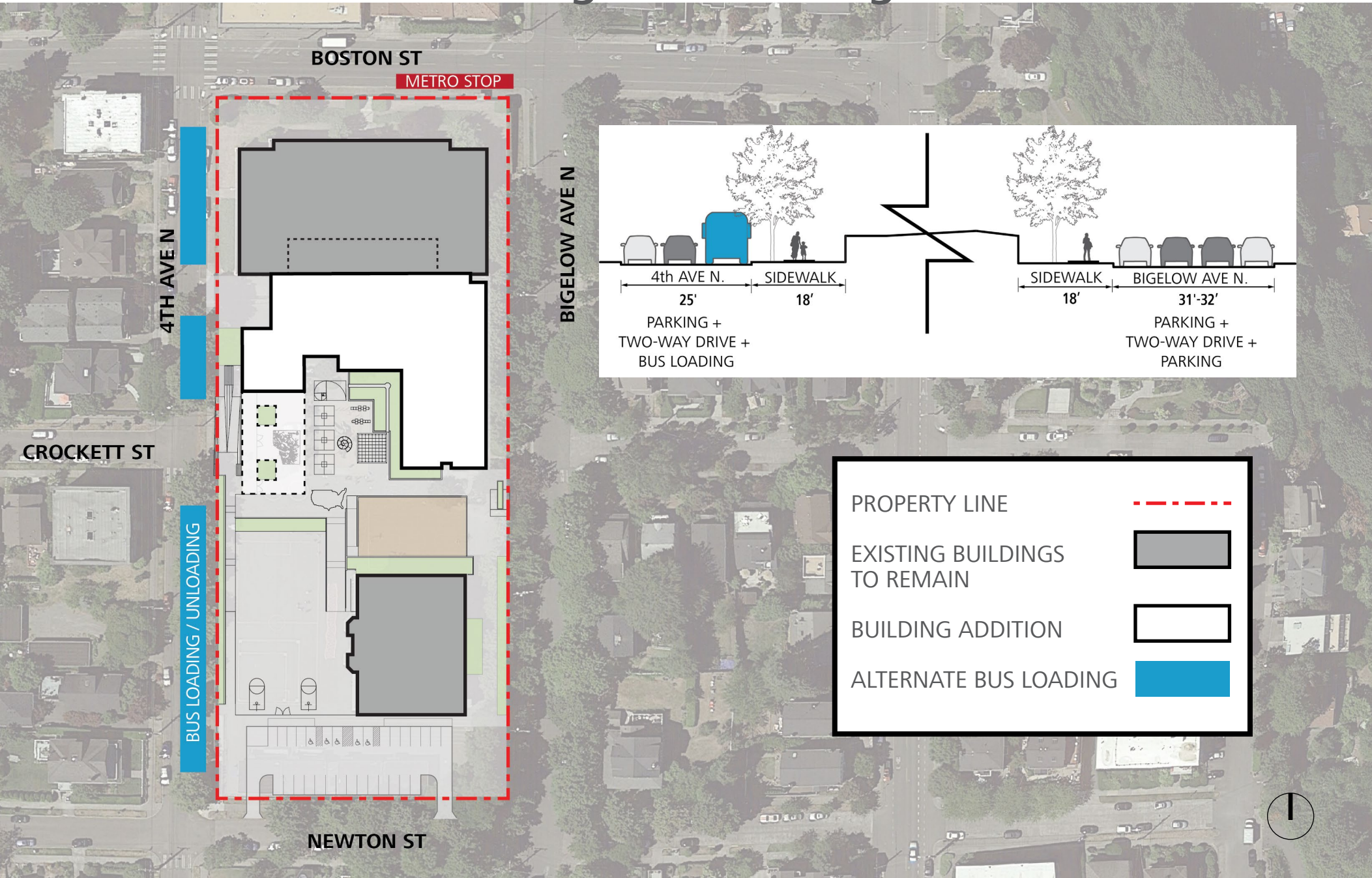
THERE IS NO ESTABLISHED AGREEMENT BETWEEN SEATTLE PUBLIC SCHOOLS AND SEATTLE PARKS AND RECREATION FOR BUS LOADING & UNLOADING ON BIGELOW AVE N.

**PREFERRED BUS LOADING & UNLOADING ON BIGELOW AVE N.**

**DEPARTURE REQUESTED FOR BUS LOADING & UNLOADING  
ON BIGELOW AVE N.**

# Departure Requested: Bus Loading & Unloading

## Alternate: Bus Loading & Unloading on 4th Ave N.



# Departure Requested: Bus Loading & Unloading Alternate: Bus Loading & Unloading on 4th Ave N.

## BUS LOADING REQUIREMENTS

### SMC 23.51B - PUBLIC SCHOOLS IN RESIDENTIAL ZONES

#### SMC 23.51B.002.I - BUS AND TRUCK LOADING & UNLOADING

## BUS LOADING LOCATION

4. WHEN A PUBLIC SCHOOL IS REMODELED OR REBUILT AT THE SAME SITE, AN EXISTING ON-STREET BUS LOADING AREA IS ALLOWED IF THE FOLLOWING CONDITIONS ARE MET:

- a. THE SCHOOL SITE IS NOT PROPOSED TO BE EXPANDED;
- b. THE STUDENT CAPACITY OF THE SCHOOL IS NOT BEING EXPANDED BY MORE THAN 25 PERCENT; AND
- c. THE LOCATION OF THE CURRENT ON-STREET BUS LOADING REMAINS THE SAME.

## DEPARTURE REQUESTED BUS LOADING & UNLOADING ALTERNATE STRATEGY

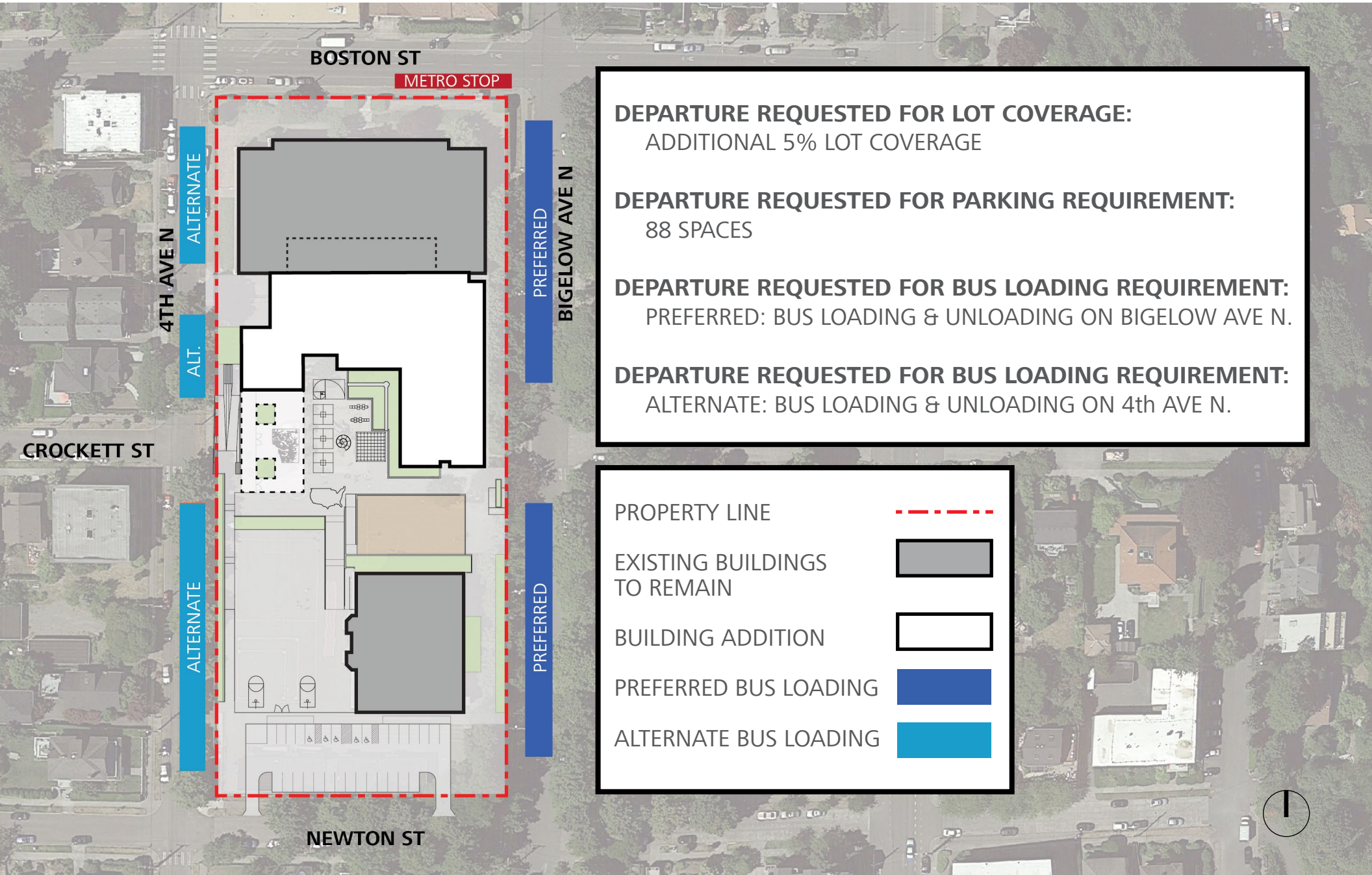
THERE IS NO ESTABLISHED AGREEMENT BETWEEN SEATTLE PUBLIC SCHOOLS AND SEATTLE PARKS AND RECREATION FOR BUS LOADING & UNLOADING ON BIGELOW AVE N.

**ALTERNATE BUS LOADING & UNLOADING ON 4th AVE N.**

**DEPARTURE REQUESTED *FOR BUS LOADING & UNLOADING***  
***ON 4th AVE N.***



# Departures Requested: Summary








**DEPARTURE REQUESTED FOR LOT COVERAGE:**  
ADDITIONAL 5% LOT COVERAGE

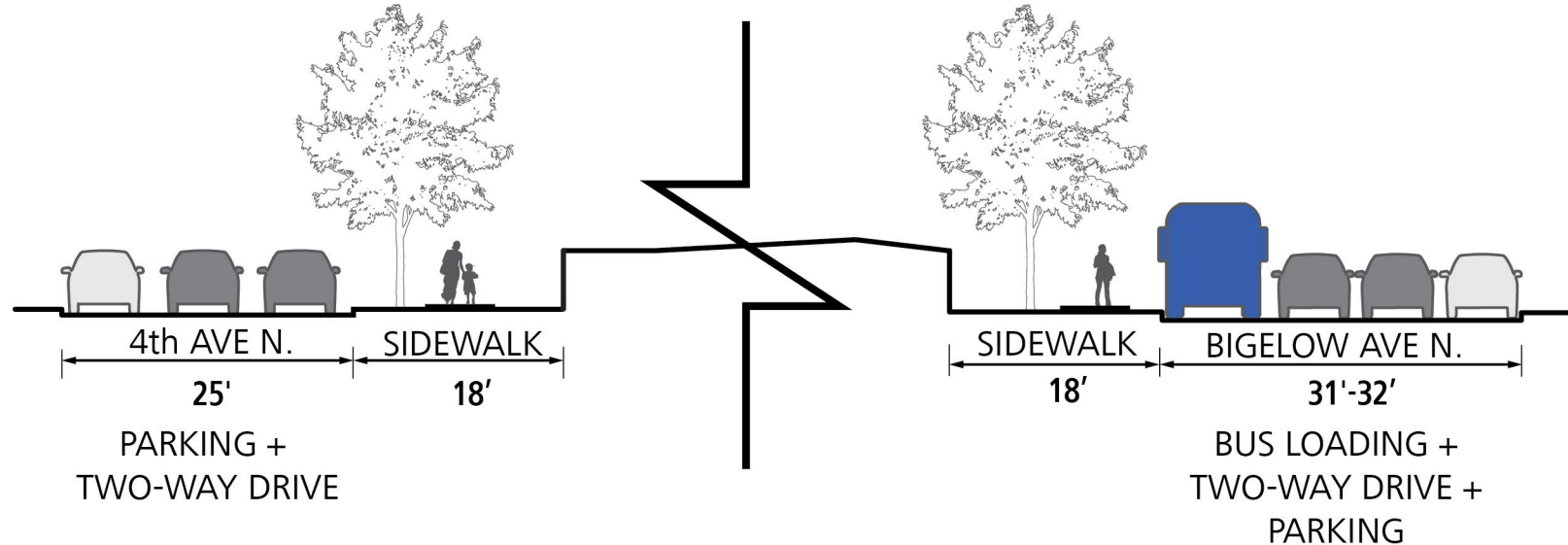
**DEPARTURE REQUESTED FOR PARKING REQUIREMENT:**  
88 SPACES

**DEPARTURE REQUESTED FOR BUS LOADING REQUIREMENT:**  
PREFERRED: BUS LOADING & UNLOADING ON BIGELOW AVE N.

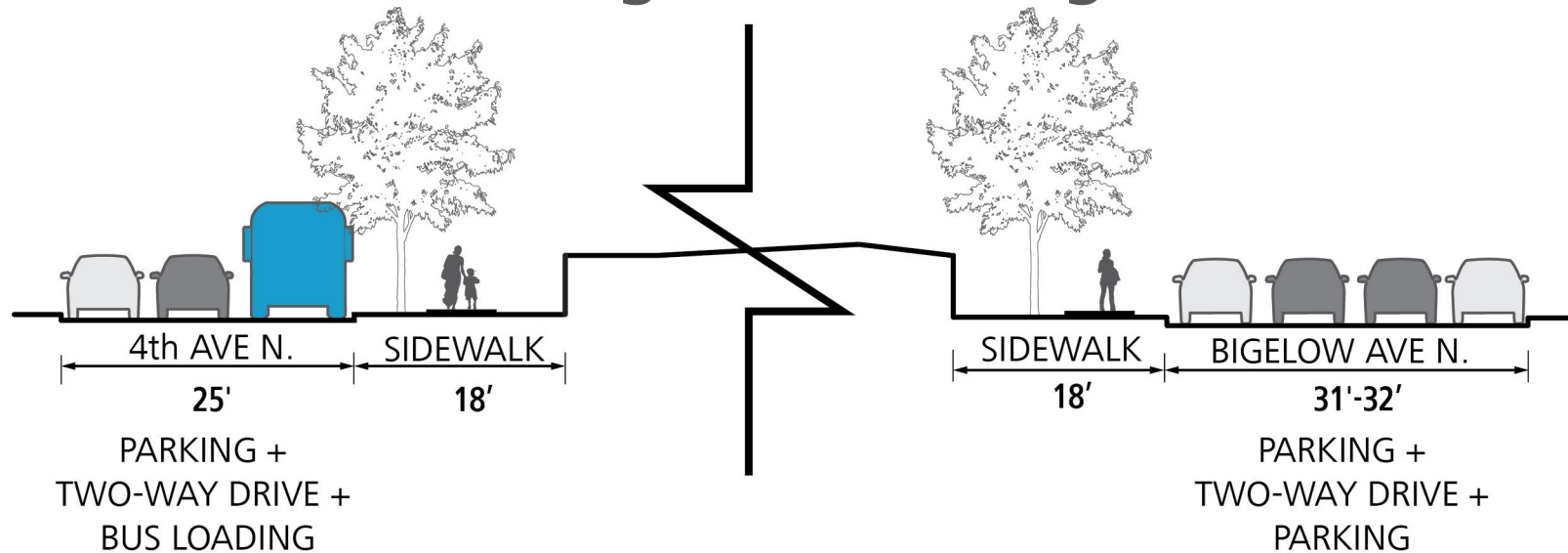
**DEPARTURE REQUESTED FOR BUS LOADING REQUIREMENT:**  
ALTERNATE: BUS LOADING & UNLOADING ON 4th AVE N.

- |                              |   |
|------------------------------|---|
| PROPERTY LINE                |  |
| EXISTING BUILDINGS TO REMAIN |  |
| BUILDING ADDITION            |  |
| PREFERRED BUS LOADING        |  |
| ALTERNATE BUS LOADING        |  |

# Departure Requested: Bus Loading & Unloading Preferred: Bus Loading & Unloading on Bigelow Ave N.



# Alternate: Bus Loading & Unloading on 4th Ave N.



# Committee Clarifying Questions

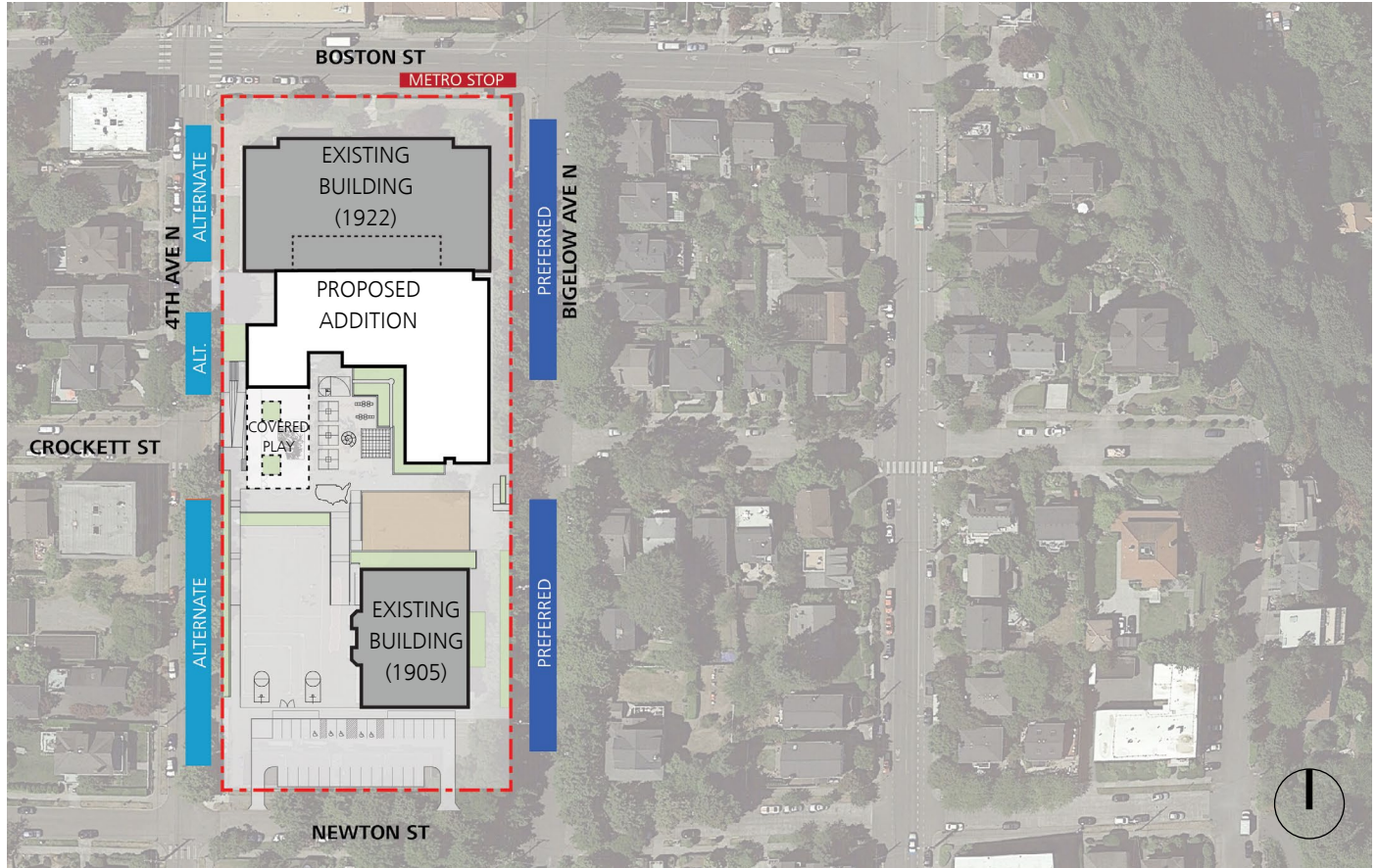


Public Comment

# Committee Recommendation

# Queen Anne Elementary School

SEATTLE PUBLIC SCHOOLS | SEATTLE, WASHINGTON



## DEPARTURE 1: LOT COVERAGE

SMC 23.51B.002.C.1

*Departure Requested for 5% Additional Lot Coverage*

## DEPARTURE 2: PARKING REQUIREMENT

SMC 23.54.015 Table C\*; Row N

\*footnote 7

*Departure Requested for 88 Parking Spaces*

## DEPARTURE 3: BUS LOADING REQUIREMENTS

SMC 23.51.B.002.I.4.a-c

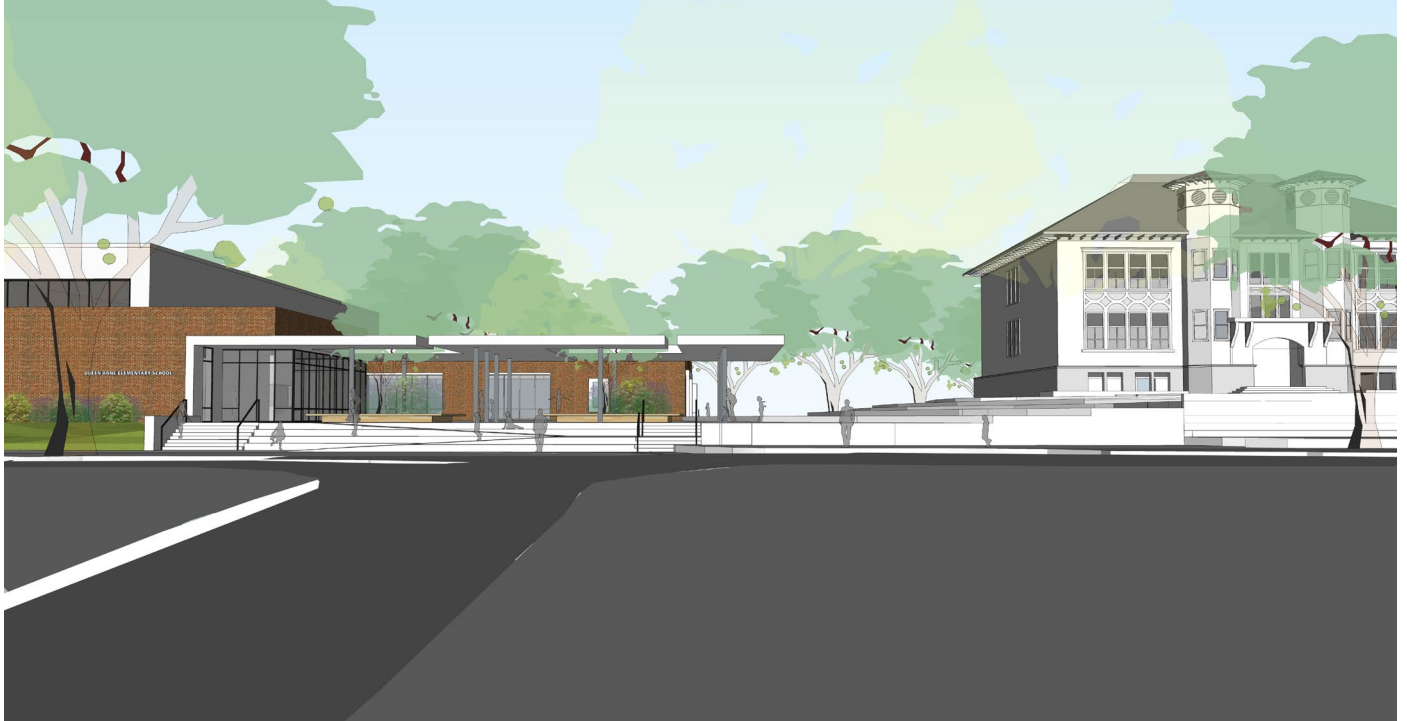
*Preferred Departure Requested for Bus Loading & Unloading on Bigelow Ave N (as shown in diagram above)*

*Alternate Departure Requested for Bus Loading & Unloading on 4th Ave N*



# Queen Anne Elementary School

SEATTLE PUBLIC SCHOOLS | SEATTLE, WASHINGTON



## PROJECT OVERVIEW

Queen Anne Elementary School has an existing enrollment of approximately 420 students. The proposed project includes building an addition with 8 classrooms of permanent capacity and a gymnasium to provide a total capacity of 500 students to address current and projected elementary growth in Queen Anne and downtown Seattle, and reduce overcrowding at elementary schools in the area.

### ANTICIPATED OCCUPANCY

Fall 2019

### OWNER

Seattle Public Schools

### ARCHITECT

Mahlum

### LANDSCAPE ARCHITECT

Cascade Design Collaborative

### CIVIL ENGINEER

LPD Engineering

### STRUCTURAL ENGINEER

PCS Structural Solutions

### MECH./ELEC. ENGINEER

Hargis Engineers

### ACOUSTICAL CONSULTANT

A3 Acoustics

### COST CONSULTANT

The Robinson Company

mahlum

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